



**TOWN OF MAMARONECK - VILLAGE OF LARCHMONT
COASTAL ZONE MANAGEMENT COMMISSION**

Monday, January 28, 2019

**Mamaroneck Town Center, Conference Room D, 740 W. Boston Post Road,
Mamaroneck, NY 10543**

Approval of Minutes

1. Approval of Minutes - November 26, 2018

Agenda Items

1. 84 Weaver Street Site Plan Approval
2. 145 East Garden Road

Old Business

New Business

Meeting Adjournment

Any physically handicapped person needing special assistance in order to attend the meeting should call the Town Administrator's office at 381-7810.



Town of Mamaroneck — Village of Larchmont

COASTAL ZONE MANAGEMENT COMMISSION

TOWN CENTER: 740 West Boston Post Road, Mamaroneck, NY 10543-3353

TEL: 914-381-7845 FAX: 914-381-8473 conservationdept@townofmamaroneck.org

CZMC Minutes- Draft November 26, 2018

A meeting of the Coastal Zone Management Commission (CZMC) was held on Monday, November 26, 2018 in the Mamaroneck Town Center, Conference Room D, 1st Floor, 740 W. Boston Post Road, Mamaroneck, New York. The meeting was called to order at 7:30 p.m.

MEMBERS PRESENT:

C. Alan Mason, Chairman
Howard McMichael
Matthew Teitsch
Sara Hanna
Bob Fletcher

OTHERS PRESENT:

Elizabeth Paul, Environmental Planner, Town of Mamaroneck
Frank Marsella, Architect, 40 Fernwood Road
Gino Frabasile, Civil Engineer, 40 Fernwood Road

1. Approval of Minutes

The minutes of the October 29, 2018 meeting were approved as revised with a correction to a typo.

2. Referral – 40 Fernwood Road

Architect, Frank Marsella and Engineer Gino Frabasile presented the proposal to demolish the existing single family house and construct a new single-family house. The applicant is seeking residential site plan approval from the Town Planning Board.

The proposal includes the removal of the existing garage and the relocation of the driveway to the Fernwood Road side of the corner lot. Although the footprint of the proposed house will be slightly larger than the existing footprint, the removal of the garage and the relocation of the driveway will result in a 771sf decrease in the amount of impervious surface on the site. A series of culvert units are being proposed to further reduce stormwater runoff from the site. CZMC requested that an additional street tree be planted in the Town's right of way if possible to offset the removal of trees from the property. CZMC found the proposal to be consistent with the policies in the Local Waterfront Revitalization Program.

3. **Old Business**
No old business to discuss.

4. **New Business**
No new business to discuss.

The meeting was adjourned at 8:20 p.m.

**Town of Mamaroneck - Village of Larchmont
Coastal Assessment Form (CAF)**

Applicants, or the appropriate municipal agency, shall complete this Coastal Assessment Form (CAF) for proposed actions which are subject to Local Consistency Review (see Waterfront Revitalization Law §§234-1 through 234-5 in the Code of the Town of Mamaroneck and §§292-1 through 292-4 in the Code of the Village of Larchmont). This assessment is intended to supplement other information used by the Bi-Municipal Coastal Zone Management Commission in making a determination of consistency with the Town of Mamaroneck and Village of Larchmont Local Waterfront Revitalization Program.

Upon completion of this form, it should be submitted as part of a complete application package for review. If assistance or further information is required for Town of Mamaroneck matters, please contact the Town of Mamaroneck Environmental Planner at (914) 381-7845. For Village of Larchmont matters, please contact the Village of Larchmont Building Inspector at (914) 834-6210.

PLEASE PRINT OR TYPE ALL ANSWERS.

A. GENERAL INFORMATION

Will the proposed action be undertaken by a municipal agency? Yes [] No [☒]

If yes, please list agency or agencies and contact person(s): _____

If no, please complete the applicant information:

Name of Applicant: C & D MARCHESE
Street Address: 84 WEAVER STREET
City, State, Zip: LARCHMONT, N.Y. 10588
Phone: 914 906 7118 Fax: — Email: dominic.marchese.925@yahoo.com

Location and ownership of property for which action is proposed:

Section: 4 Block: 6 Lot: 61
Owner of Property: SAME AS ABOVE
Street Address: _____
City, State, Zip: _____
Phone: _____ Fax: _____ Email: _____

Size of property (square feet): 23,357 Is the property now developed? Yes [☒] No []

Will project require a zoning variance? Yes [] No [☒]

If yes, briefly describe: _____

Describe any unique/unusual landforms on the project site (rock outcroppings, swales, etc.):

NONE

Percentage of site which contains slopes of 25% or greater: 0

Are there streams, lakes, ponds or wetlands existing within or contiguous to the project area?

If so, describe (name, size, characteristics): NO

Will the action require approval by a state or federal agency? Yes [] No [X]

If yes, specify which state or federal agency and attach a copy of pending application and any relevant information and/or documentation to this form:

B. DESCRIPTION OF SITE AND PROPOSED ACTION

Provide a written description of the nature and the extent of the proposed action. Attach plans or additional information as necessary and/or required by application procedures.

SEE PLANS - PROJECT PROPOSES TO DEMOLISH EXISTING
SINGLE FAMILY RESIDENCE & CONSTRUCT
NEW SINGLE FAMILY RESIDENCE. EXISTING
GARAGE TO REMAIN

C. COASTAL ASSESSMENT

Check either "Yes" or "No" for each of the following questions:

1. Will the proposed action be located in, or contiguous to, or have a **potentially adverse effect** upon any of the following designated resource areas?

	Yes	No	Maybe
a. Significant fish or wildlife habitat or designated critical environmental area	[]	[X]	[]
b. Scenic resources of local significance	[]	[X]	[]
c. Natural protective features in an erosion hazard area	[]	[X]	[]

NOTE: If the answer to any of the above questions is "Yes", please explain in Section D any measures which will be undertaken to mitigate the adverse effects.

2. Will the proposed action have a **significant effect** upon:

	Yes	No	Maybe
a. Commercial or recreational use of fish and wildlife resources.....	[]	[X]	[]
b. Scenic quality of the coastal environment	[]	[X]	[]
c. Development of future, or existing water dependent uses	[]	[X]	[]
d. Land or water uses within a small harbor area	[]	[X]	[]
e. Stability of the shoreline	[]	[X]	[]
f. Surface or groundwater quality.....	[]	[X]	[]
g. Existing or potential public recreation opportunities.....	[]	[X]	[]
h. Structures, sites or districts of historic, archeological or cultural significance to the local area, state or nation	[]	[X]	[]

3. Will the proposed action **involve or result in** any of the following:

	Yes	No	Maybe
a. Physical alteration of land along the shoreline, land underwater or coastal waters.....	[]	[X]	[]
b. Expansion of existing public services or infrastructure in or near undeveloped or low density areas of the coastal area?	[]	[X]	[]
c. Filling, dredging, excavation or mining in coastal waters	[]	[X]	[]
d. Reduction of existing or potential public access to or along the shore.....	[]	[X]	[]
e. Development within a designated flood or erosion hazard area.....	[]	[X]	[]
f. Development of a natural feature that protects against flooding or erosion	[]	[X]	[]
g. Replacement of eroded sand or soil.....	[]	[X]	[]
h. Construction or reconstruction of erosion protective structures	[]	[X]	[]
i. Any change in surface or groundwater quality	[]	[X]	[]
j. Removal of trees from the site	[X]	[]	[]

4. Project details:

	Yes	No	Maybe
a. If the project is to be located adjacent to the shore:			
1. Does the project require a waterfront site in order to function	[]	[]	[]
2. Will water-related recreation be provided	[]	[]	[]
3. Will public access to shore or state owned underwater lands be provided.....	[]	[]	[]
4. Will it replace a recreational or maritime use.....	[]	[]	[]
5. Do essential public services and facilities presently exist at or near the site..	[]	[]	[]

6. Is the site located near a flood prone area.....[] ☒ []
7. Is the site located in an area of high erosion.....[] ☒ []
- b. Is the site presently used by the community as an open space or recreation area.....[] ☒ []
- c. Does the project site offer or include scenic views/vistas known to be important to the community or the state[] ☒ []
- d. Will the surface area of any waterways or wetland areas be increased or decreased by the project.....[] ☒ []
- e. Will the project involve any waste discharges into coastal waters[] ☒ []
- f. Does the project involve discharge of toxins, hazardous substances or other pollutants into coastal waters.....[] ☒ []
- g. Will the project affect any area designated as a tidal or freshwater wetland.....[] ☒ []
- h. Will the project result in an alteration of drainage flow patterns or surface water runoff on or from the site.....[] ☒ []
- i. Will best management practices (BMPs) be utilized to control stormwater runoff[☒] [] []
- j. Will any aspect of the proposed project result in emissions which exceed federal or state air quality standards or generate significant amounts of nitrates or sulfates[] ☒ []

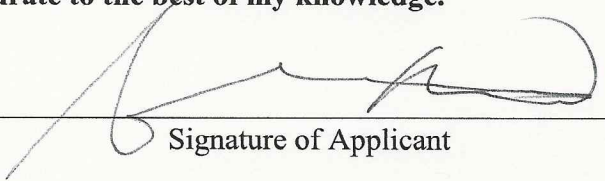
Please explain any of the above answers that may need further clarification in Section D.

D. COMMENTS AND ADDITIONAL INFORMATION: (continue on back if necessary)

N/A

I certify that I am the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: 1/18/19 20



Signature of Applicant

Prepared by: (if different than the applicant)

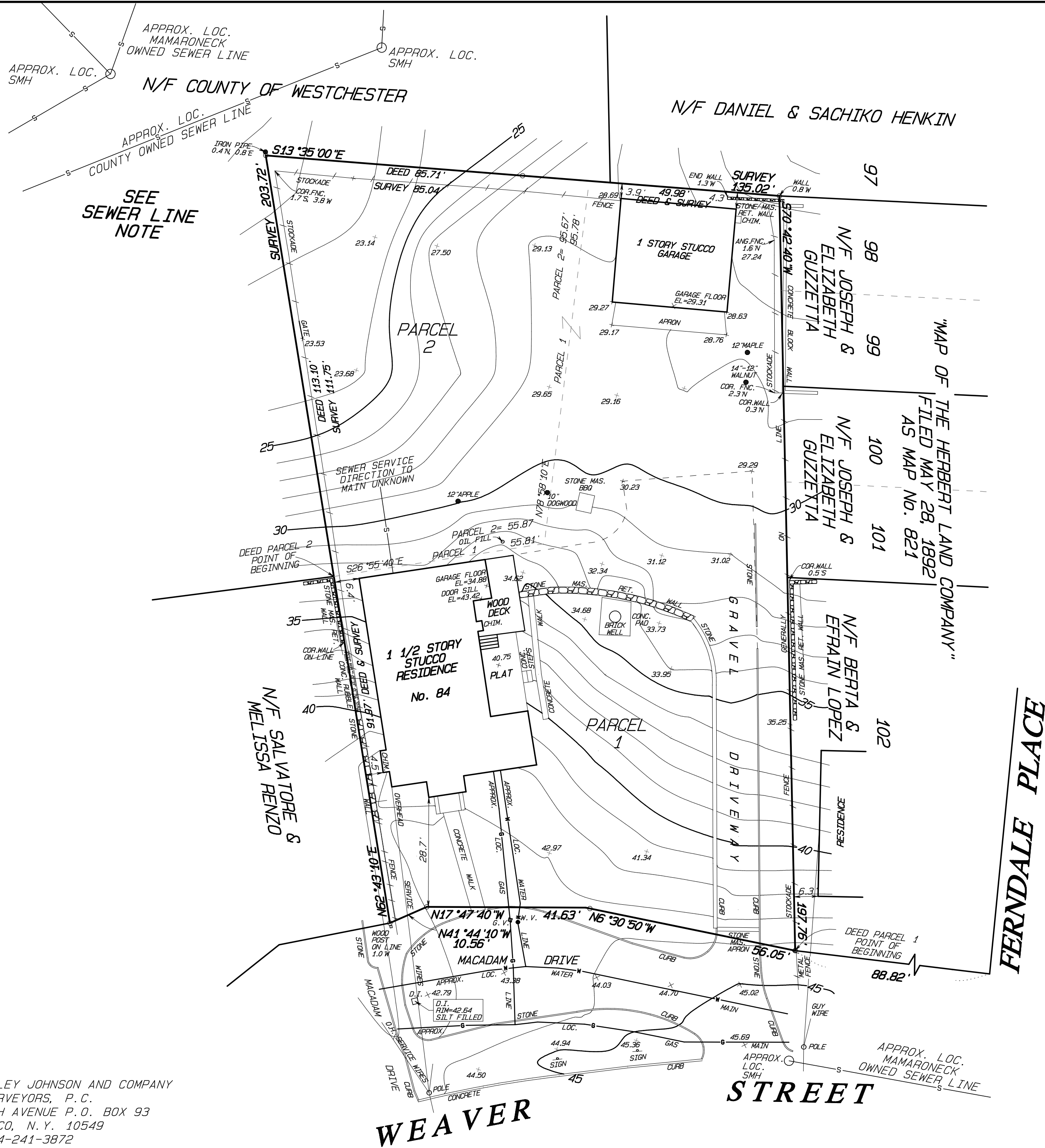
Name and Title: BENEDICT SALANITTO
Agency/Company: Civil Engineer
Street Address: 609 Brook Street
City, State, Zip: WAMALONGK NY 10543
Phone: 9147605125 Fax: _____ Email: bsalanitto@aol.com

I certify that I prepared this Coastal Assessment Form for the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: Jan 18 2019



Signature of Preparer



Parcel 1 Area = 16,171 S.F. or 0.371 Acres.
Parcel 2 Area = 7,186 S.F. or 0.165 Acres.
Total Area = 23,357 S.F. or 0.536 Acres.

Deed Reference: Liber 11920 Page 48.

Tax Identification: Section 4 Block 6 Lot 61.

In accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.

Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

All certifications are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

The location of underground improvements or encroachments hereon, if any exist, are not certified or shown.

Notes:

- 1) Elevations shown hereon are generally in accordance with Westchester County G.I.S. Topographic Datum.
- 2) Additional underground easements, utilities or structures, etc. other than those shown hereon may be encountered.
- 3) The subsurface information shown hereon, if any, is not guaranteed as to accuracy or completeness and should be verified by the contractor before any excavation.
- 4) The Sewer lines shown are taken from plans furnished by the Town of Mamaroneck and are not field located.

SURVEY BROUGHT TO DATE: OCTOBER 9, 2018
MAP REVISED: OCTOBER 10, 2018
SURVEYED: MAY 18, 2018
MAP PREPARED: JUNE 7, 2018

BY: 
NEW YORK STATE LICENSED LAND SURVEYOR NO. 49749
STEPHEN T. JOHNSON, P.L.S.

TOPOGRAPHIC SURVEY
PREPARED FOR
84 WEAVER STREET LLC

SITUATE IN THE
TOWN OF MAMARONECK
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

H. STANLEY JOHNSON AND COMPANY
LAND SURVEYORS, P.C.
42 SMITH AVENUE P.O. BOX 93
MT. KISCO, N.Y. 10549
TEL. 914-241-3872
FAX. 914-241-0438

New Residence @

84 Weaver Street,
Larchmont, NY 10538

28, November 2018 - Planning Board Issue

MK

MARSELLA + KNOETGEN ARCHITECTS, PLLC
154 EAST BOSTON POST ROAD, MAMARONECK, NY 10543
TEL 914 381 5198 FAX 914 381 5194 MK-ARCHITECTS.COM

SUBMISSIONS

Date	Description
11/9/18	Peer Review
11/28/18	Planning Board Issue
T.B.D.	Building Dept. Issue

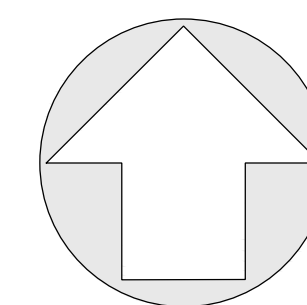
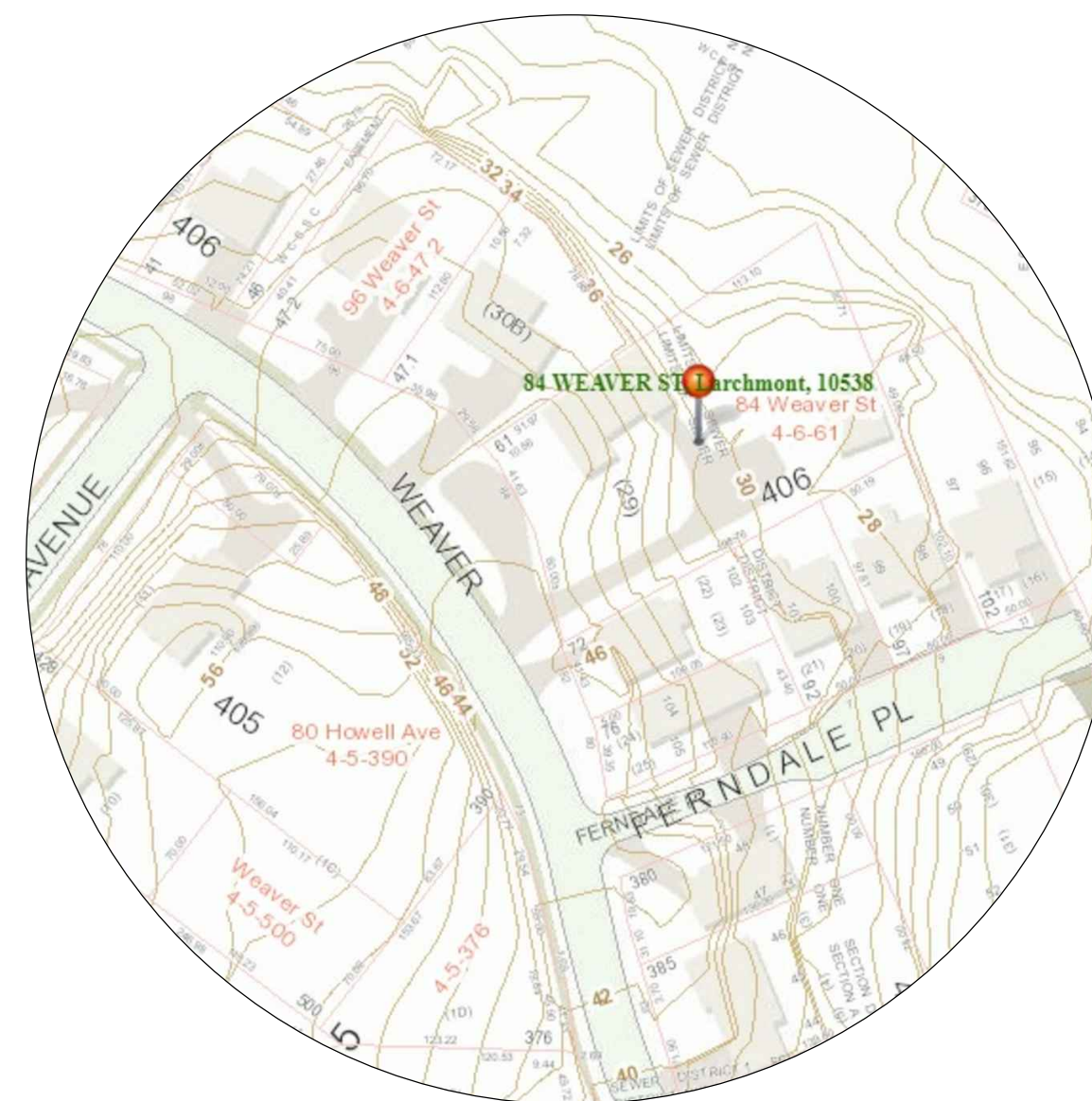
STAMP

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	DIA	DIAMETER	MECH	MECHANICAL	SECT.	SECTION
AC	AIR CONDITIONING	DET	DETAIL	MAX	MAXIMUM	SIM.	SIMILAR
ALUM	ALUMINUM	ELEC	ELECTRIC	MTL	METAL	SQ.	SQUARE
APPROX.	APPROXIMATELY	ELEV	ELEVATION	MO	MASONRY OPENING	S.F.	SQUARE FEET
ARCH.	ARCHITECTURAL	EQ.	EQUAL	NIC	NOT IN CONTRACT	STD	STANDARD
@	AT	EXIST	EXISTING	NTS	NOT TO SCALE	S.S.	STAINLESS STEEL
BLK	BLOCK	FL	FLOOR	NO OR #	NUMBER	STL	STEEL
BD	BOARD	FIN	FINISH	NSM	NON STRUCTURAL MEMBER	ST	STREET
BOT.	BOTTOM	FIXT.	FIXTURE	OC	ON CENTER	STRUCT	STRUCTURAL
B/O	BOTTOM OF	FTG	FOOTING	OPG	OPENING	TYP	TYPICAL
BLDG	BUILDING	FT	FOOT OR FEET	PTD	PAINTED	T.O.	TRIMMED OPENING
		FDN	FOUNDATION	PL	PLATE	T.O.W.	TOP OF WALL
CAB.	CABINET	GWB	GYP SUM WALLBOARD	PSI	POUNDS PER SQUARE INCH	TV	TELEVISION
CL.	CLOSET	HVAC	HEATING/VENTILATING	RAD.	RADIATOR	U.O.N.	UNLESS OTHERWISE NOTED
CLG	CEILING	UNIT(S)	AIR CONDITIONING	REINF.	REINFORCE OR	VCT	VINYL COMPOSITION TILE
CMU	CONCRETE MASONRY	HGT	HEIGHT	REINFORCING	REINFORCING	VERT	VERTICAL
COL.	COLUMN	IN OR "	INCH OR INCHES	REQ'D	REQUIRED	V.I.F.	VERIFY IN FIELD
CONC.	CONCRETE	LAV	LAVATORY	REV.	REVISION	W/	WITH
CONT.	CONTINUOUS			RM	ROOM		
DIM.	DIMENSION						
DN	DOWN						
DWG	DRAWING						

ZONE: R-7.5 SEC: 4 BLOCK: 6 LOT: 61

LOCATION MAP



SYMBOLS

LINE OF FOOTING STONE VENEER	CONC. FOUNDATION WALL SEE PLAN FOR WALL THICKNESS	SUPPLY REGISTER - FLOOR (MATCH FLOOR U.O.N.)	DWG. NO. 8 SHEET NO. A2 ELEVATION MARK
ADDITIONS NEW HOUSE CONSTRUCTION	NEW WOOD STUD PARTITION SEE PLAN FOR STUD SIZE ALL ALL STUDS @ 16" O.C. (U.O.N.)	SUPPLY REGISTER - WALL	DWG. NO. 4 SHEET NO. A2 INTERIOR ELEVATION MARK
INTERIOR BEARING PARTITION	MASONRY WALL W/ BLUESTONE CAP	RETURN REGISTER	SHEET NO. 3 SHEET NO. 3/A1 DETAIL OR SECTION MARK
STONE SITE WALL	EXISTING WALL TO REMAIN	INDICATES DROP IN FLOOR LEVEL	DWG. NO. 3/A1 DETAIL OR SECTION MARK
EXISTING CONSTRUCTION TO BE REMOVED	SPRAY FOAM INSULATION	FROST FREE HOSE BIB	ROOM NAME: HALL FLOOR FINISH: 9'-0" CEILING HEIGHT: 9'-0" CENTERLINE
FIBERGLASS BATT INSULATION	RIGID INSULATION	DOOR SIZE	BREAK MARK
NEW DOOR	EXISTING DOOR	EXTERIOR DOOR TYPES	AREA OF NO WORK
NEW WINDOW	EXISTING WINDOW	EXTERIOR WINDOW TYPES	STRUCTURAL SYMBOLS
		REVISION TAG	SIZE & SPACING X" X X" @ 16" O.C. FLOOR JOISTS
		SMOKE DETECTOR	X" X X" @ 16" O.C. FLOOR MEMBER
		SMOKE & CARBON MONOXIDE DETECTOR	PSL POST (UP) (ALL POSTS)
		CARBON MONOXIDE DETECTOR	PSL POST (DN) (ALL POSTS)
		HEAT DETECTOR	3 1/2" Ø x 3/8" STEEL COLUMN W/ 5/8" STEEL CAP AND BASE (TYP.)
			5x5x3/8" STEEL TUBE COLUMN W/ 5/8" STEEL CAP AND BASE (TYP.)
			BEAM POCKET
			TOP FLANGE HANGER

NOTE: THIS SHEET MAY CONTAIN SYMBOLS THAT ARE NOT APPLICABLE TO THIS PROJECT.

NOTE: ALL FLOOR & CEILING FRAMING MEMBERS ARE TO BE
FLUSH MOUNTED UNLESS OTHERWISE NOTED.

PROJECT CONSULTANTS

General Contractor

C & D Marbourne
505 West Street, Harrison, N.Y. 10528
T (914) 630-0741

Architects

Frank Marsella, AIA for
Marsella + Knoetgen Architects, PLLC
154 E. Bost Post Road, Mamaroneck, N.Y. 10543
T (914) 381-5198 F (914) 381-5194
fm@mk-architects.com

Storm Water Engineer

Benedict A. Salanitro, P.E., Consulting Engineer
609 Brook Street, Mamaroneck, NY 10543
bsalanitro@aol.com
T (914) 381-8055

Owner

C & D Marbourne
505 West Street, Harrison, N.Y. 10528
T (914) 630-0741

DRAWING LIST

- A0.0 TAX MAP, SITE & ADJACENT PROPERTY PHOTOS
- A1.0 AVG. GRADE DIAGRAM & STREET ELEVATION
- A2.0 PLOT PLAN, ZONING DATA & BLDG. AREA DIAGRAMS
- A3.0 FIRST FLOOR PLAN & BASEMENT PLAN
- A4.0 SECOND FLOOR PLAN & ROOF PLAN
- A5.0 FRONT ELEVATION & LEFT SIDE ELEVATION
- A6.0 REAR ELEVATION & RIGHT SIDE ELEVATION
- ER-1 DRAINAGE AND EROSION CONTROL PLAN
- ER-2 DRAINAGE AND EROSION CONTROL PLAN
- L-1 LANDSCAPE DEVELOPMENT PLAN
- EXISTING SURVEY

SAFETY DETECTOR REQUIREMENTS

INSTALL AS PER SECTION R314.2.2, SECTION R314.3 & SECTION R315.1 OF 2016 NEW YORK STATE
RESIDENTIAL CODE REQUIRED A MINIMUM OF THE FOLLOWING.

PROVIDE BATTERY OPERATED SMOKE DETECTORS IN EACH SLEEPING ROOM, OUTSIDE THE IMMEDIATE
VICINITY OF THE BEDROOMS, ONE SMOKE/CARBON MONOXIDE DETECTOR AT EACH LEVEL INCLUDING
THE ATTIC & BASEMENT. ALSO PROVIDE ONE HEAT DETECTOR AND ONE CARBON MONOXIDE
DETECTOR WITHIN SIX FEET OF THE BOILER UNIT.

TABLE N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING FRAME R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH
4A	0.35	0.55	0.40	49°	20 or 13 + 5°	8/13	R-19	10/13°	10/2FT

- Where section R402.1.2 would require R-49 insulation in the ceiling, installing R-38 over 100% of the ceiling
area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height
of uncompressed R-38 insulation extends over the wall top plate at the eaves.
- The first value is cavity insulation, the second value is continuous insulation, so 13+5 means R-13 cavity
insulation at the interior of the basement wall.
- The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets
the requirements.

STATEMENT OF COMPLIANCE:
The proposed building design represented in these documents is consistent with the building plans,
specifications, and other calculations submitted with the permit application. The proposed building has
been designed to meet the requirements of the New York State Energy Conservation Code, 2016

Architect: Frank Marsella, AIA Date

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA											
GROUND SNOW LOAD, (psf)	WIND SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH (IN.)	TERMITES	WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS
30	115-120	NO	YES	ZONE 1	C	SEVERE	42"	MODERATE/ HEAVY	0°-10°F	YES	NO

INTERIOR HEADER SCHEDULE
SIZE OF OPENING MEMBER REQUIRED
0' - 4' (2) 2x10
4' - 6' (2) 1½" x 9½" LVL

EXTERIOR HEADER SCHEDULE
SIZE OF OPENING MEMBER REQUIRED
0' - 4' (2) 1½" x 9½" LVL
4' - 8' (2) 1½" x 117½" LVL

STEEL LINTEL SCHEDULE
SIZE OF OPENING ANGLE REQUIRED
0' - 4' L4" x 3½" x ⅜"
4' - 6' L5" x 3½" x ⅜"
6' - 9' L6" x 3½" x ⅜"

DESIGN LOADS

ROOF
LIVE: 30 LBS/SF
DEAD: 30 LBS/SF
TOTAL LOAD: 60 LBS/SF

ATTIC
LIVE: 20 LBS/SF
DEAD (no storage): 20 LBS/SF
DEAD (w/storage): 30 LBS/SF
TOTAL LOAD: 40-50 LBS/SF

INTERIOR
PARTITIONS
LIVE: 0 LBS/SF
DEAD: 20 LBS/SF
TOTAL LOAD: 20 LBS/SF

EXTERIOR
WALLS
LIVE: 0 LBS/SF
DEAD: 40 LBS/SF
TOTAL LOAD: 40 LBS/SF

FLOORS
LIVE: 40 LBS/SF
DEAD: 20 LBS/SF
TOTAL LOAD: 60 LBS/SF

New Residence @ 84 Weaver Street, Larchmont, NY 10538
11/28/18 - Planning Board Issue



2 84 Weaver St Front View



3 84 Weaver St Right Side



4 84 Weaver St Rear View



5 View Towards Weaver St South



6 Neighbor to Left (94 Weaver St)



7 Neighbor to Right (82 Weaver St)



8 Neighbor Across Weaver St



9 View Towards Weaver St North



10 Rear Neighbor (Central School)



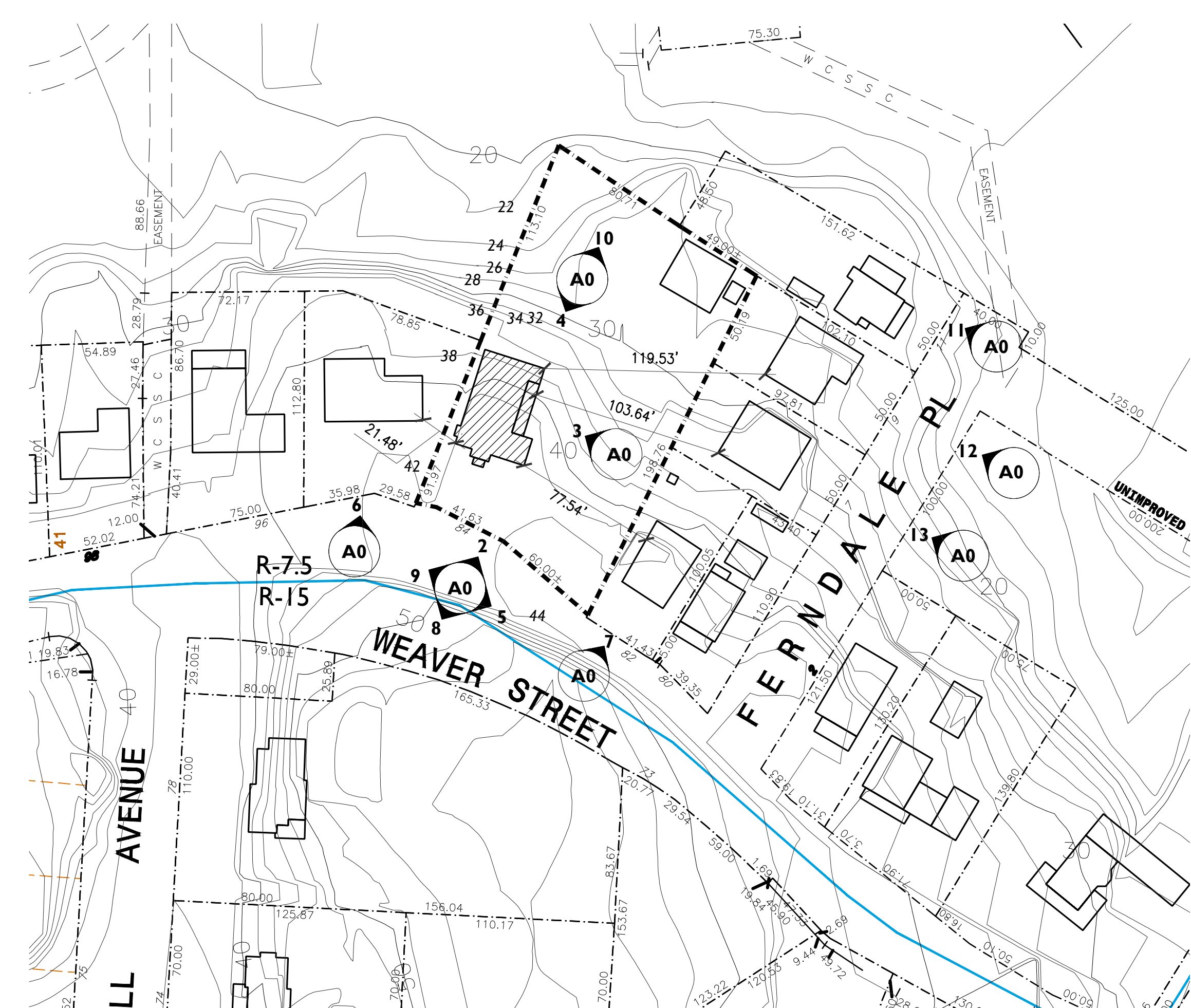
11 Rear Neighbor (11 Ferndale Pl)



12 Right Neighbor (7 Ferndale Pl)



13 Right Neighbor (9 Ferndale Pl)



I Location Map



154 EAST BOSTON POST RD
MAMARONECK, NY 10543

T 914.381.5198
F 914.381.5194

MK-ARCHITECTS.COM

This document and the information contained herein is specifically created for the person(s) and location noted on the title box and may not be re-used and/or altered for any other purpose other than this project and must be accompanied by the seal and signature of Marsella & Knoetgen Architects, PLLC. No other person(s), entity or professional organization shall sign and/or seal this document for any other purpose whatsoever.

SUBMISSIONS:

PEER REVIEW - 11/09/18

ISSUE FOR PLANNING - 11/28/18

ISSUE FOR BLDG. PERMIT - T.B.D.

NO.	DATE	REVISION
1	11/09/18	ISSUE FOR PLANNING
2	11/28/18	ISSUE FOR BLDG. PERMIT

PROJECT NAME	New Residence @ 84 Weaver Street
BUILDING NAME & ADDRESS	84 Weaver Street Larchmont, NY 10538
PROJECT NUMBER	84 Weaver

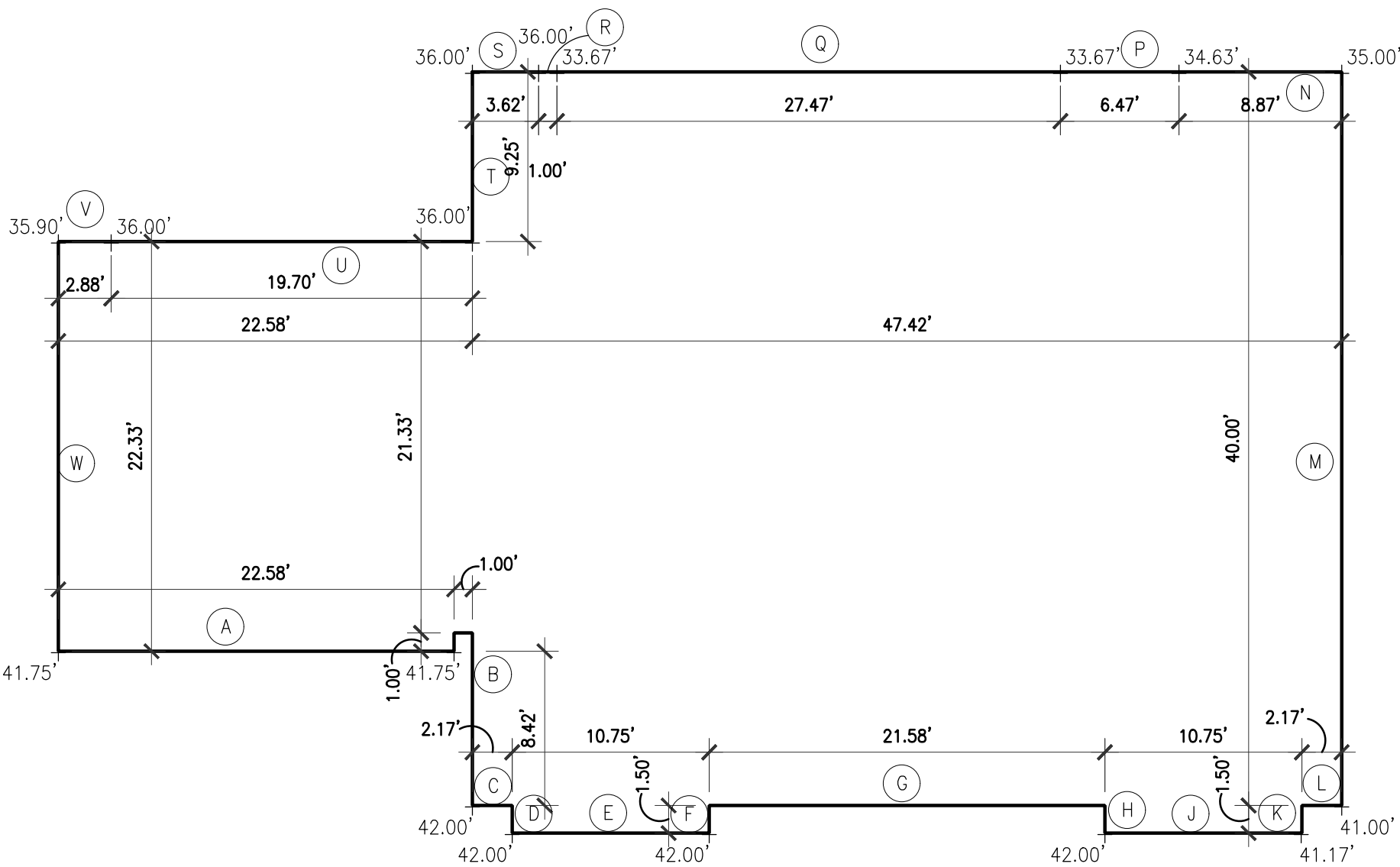
DRAWING TITLE	SITE PHOTOS
SCALE	as noted
CAD FILENAME	84Weaver_DWG
DRAWING NUMBER	A0.0



2 84 Weaver St Front View

AVERAGE GRADE

SPACE	EL. 1	EL. 2	LENGTH	(EL. 1+EL. 2)/2 x LENGTH
A	41.75	41.75	22.58	942.71
B	41.75	42.00	8.42	352.59
C	42.00	42.00	2.17	91.14
D	42.00	42.00	1.50	63.00
E	42.00	42.00	10.75	451.50
F	42.00	42.00	1.50	63.00
G	42.00	42.00	21.58	906.36
H	42.00	42.00	1.50	63.00
J	42.00	41.17	10.75	447.04
K	41.17	41.17	1.50	61.76
L	41.17	41.00	2.17	89.15
M	41.00	35.00	40.00	1520.00
N	35.00	34.63	8.87	308.81
P	34.63	33.67	6.47	220.95
Q	33.67	33.67	27.47	924.91
R	33.67	36.00	1.00	34.84
S	36.00	36.00	3.62	130.32
T	36.00	36.00	9.25	333.00
U	36.00	36.00	19.70	709.20
V	36.00	35.90	2.88	103.54
W	35.90	41.75	22.33	866.96
TOTAL			226.01	8683.78
Average Grade =				38.42
1st Floor El. =				44.00
1st Floor El. - Average Grade =				5.58



I Avg. Grade Diagram
n.t.s.

This document and the information contained herein is specifically created for the person(s) and location noted on the title box and may not be re-used and/or altered for any other purpose other than this project and must be accompanied by the seal and signature of Marsella & Knoetgen Architects, PLLC. No other person(s), entity or professional organization shall sign and/or seal this document for any other purpose whatsoever.

SUBMISSIONS:

PEER REVIEW - 11/09/18

ISSUE FOR PLANNING - 11/28/18

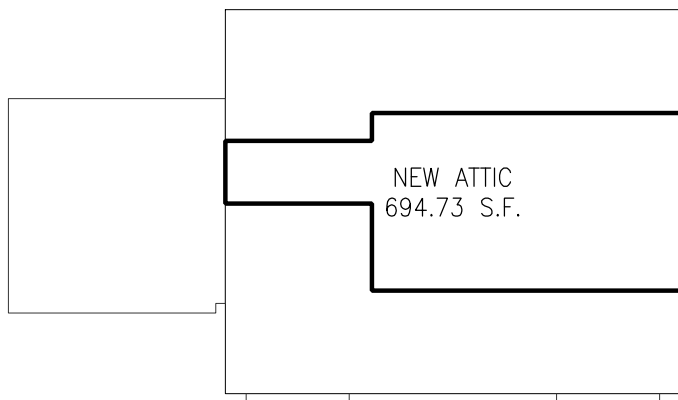
ISSUE FOR BLDG. PERMIT - T.B.D.

NO.	DATE	REVISION
ISSUE / REVISION		
SHEET	BLOCK	LOT

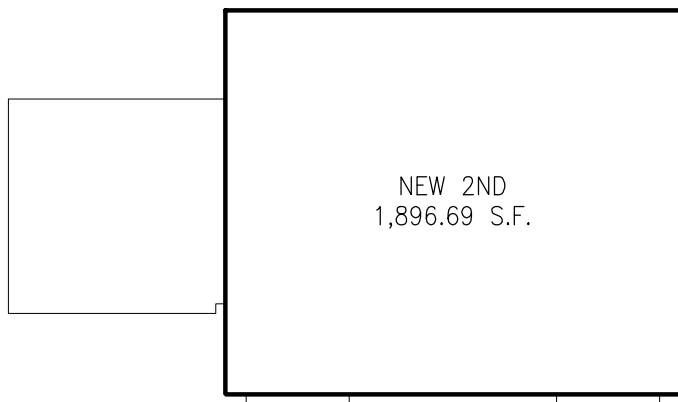
PROJECT NAME
New Residence @ 84 Weaver Street
BUILDING NAME & ADDRESS
84 Weaver Street Larchmont, NY 10538
PROJECT NUMBER
84 Weaver

DRAWING TITLE	
AVG. GRADE DIAGRAM & STREET ELEVATION	
SCALE	DRAWN BY
as noted	AI
CAD FILENAME	DATE
84Weaver.DWG	11/28/18
DRAWING NUMBER	

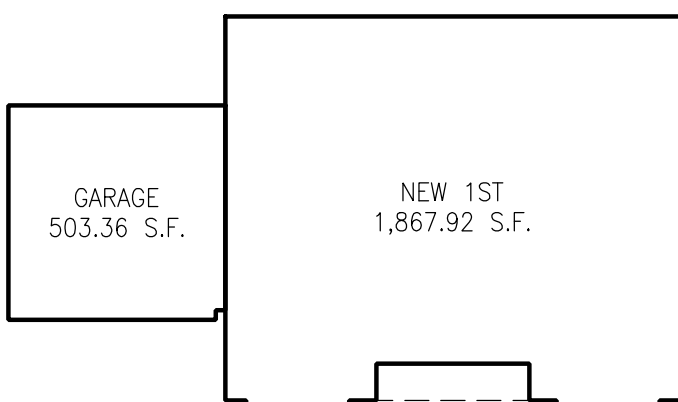
AI.0



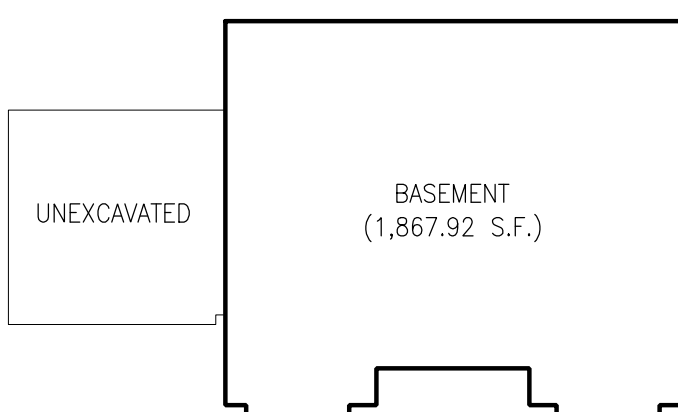
NEW: 694.73 S.F.
TOTAL: 694.73 S.F.
ATTIC (AREA @ 5'-0" & ABOVE)



NEW: 1,896.69 S.F.
TOTAL: 1,896.69 S.F.
2ND FLOOR



NEW: 1,867.92 S.F.
GARAGE: 503.36 S.F.
TOTAL: 2,371.28 S.F.
1ST FLOOR

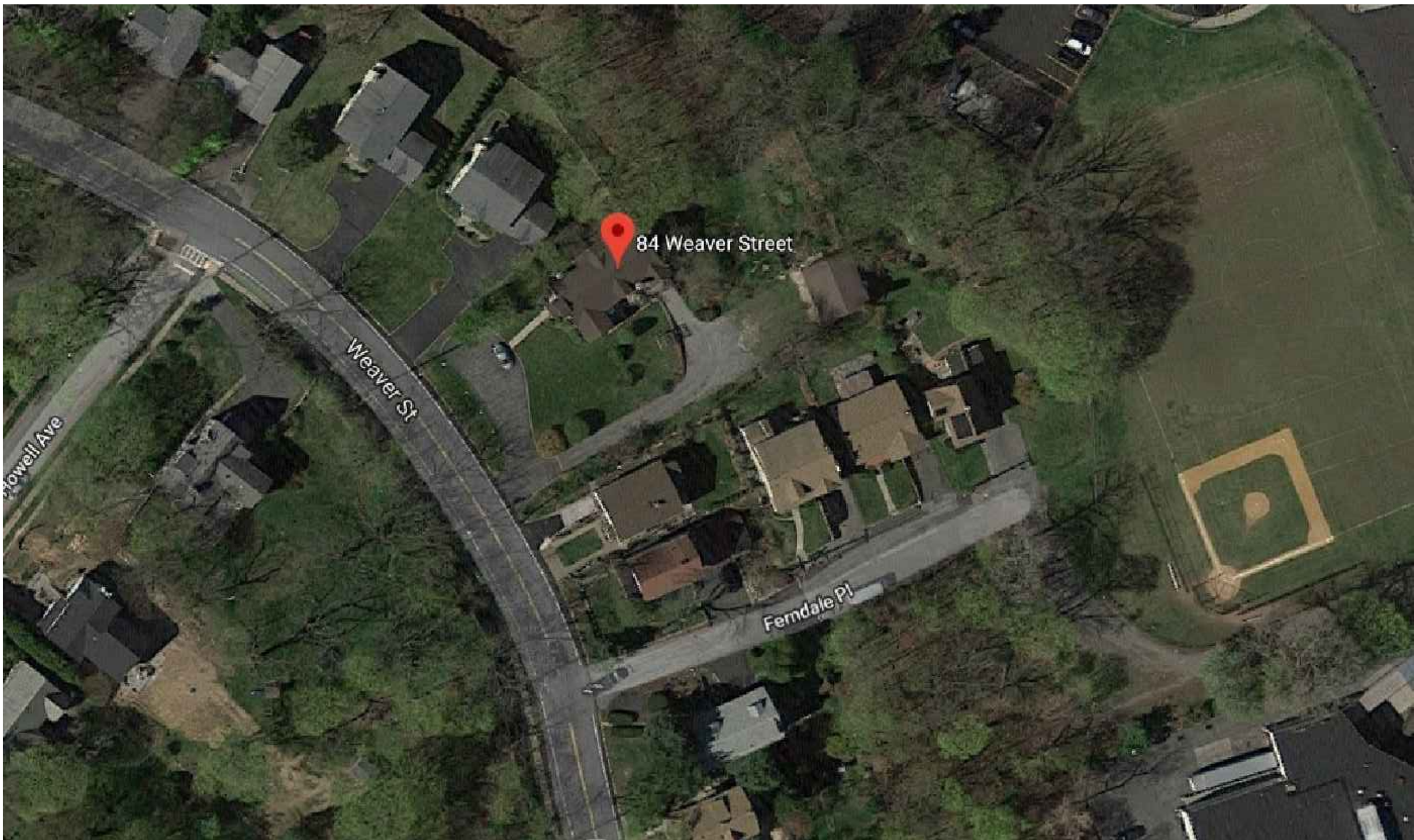


NEW BASEMENT: N/A (1,867.92 S.F.)
TOTAL: N/A (1,867.92 S.F.)
BASEMENT

TOTAL EXISTING = 0 S.F.
TOTAL NEW = 2,371.28 + 1,896.69 + 694.73 = 4,962.70 S.F.
GRAND TOTAL = 4,962.70 S.F.

2 Building Area Diagrams

1" = 20'

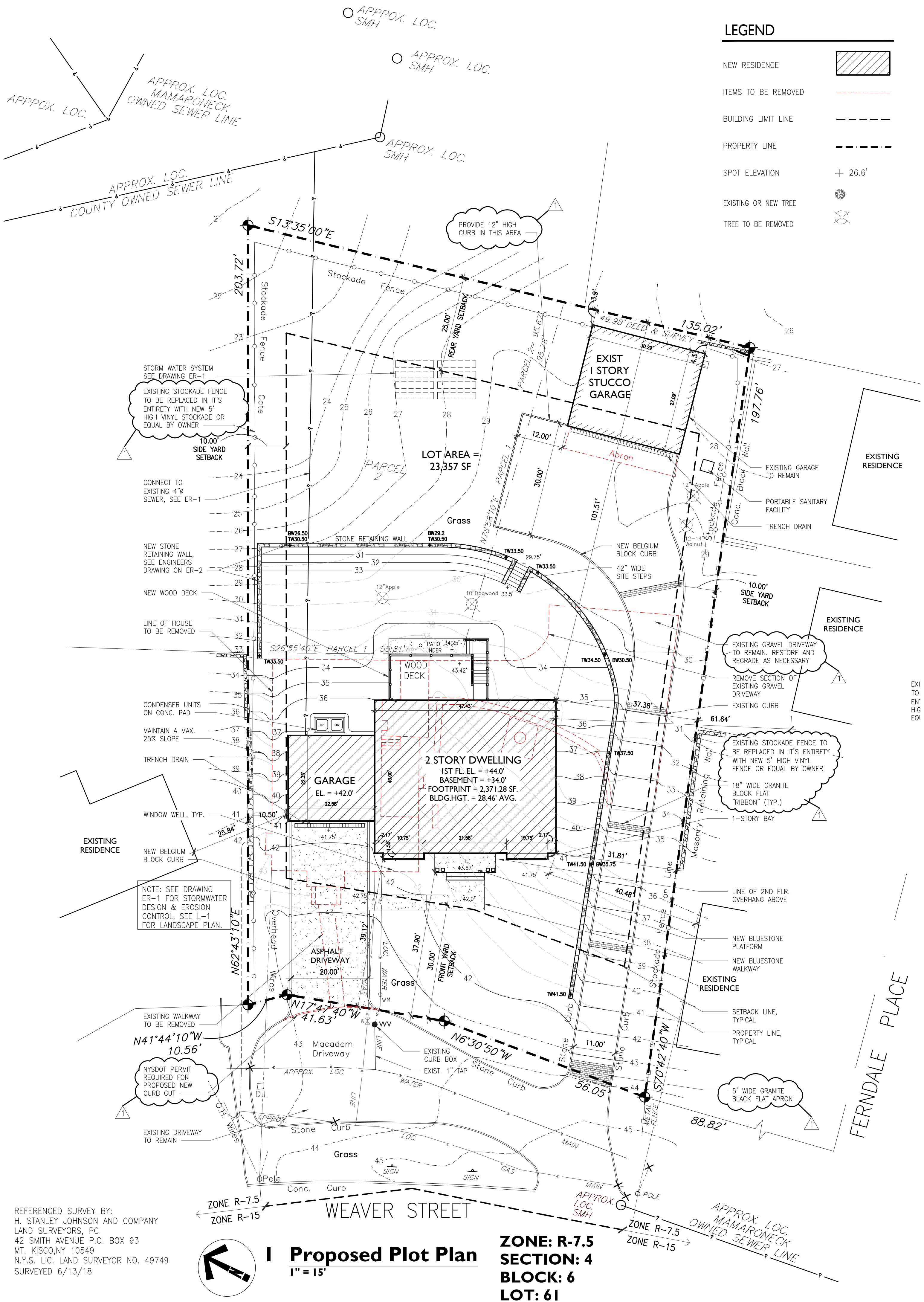


3 Aerial View

84 WEAVER STREET ZONING ANALYSIS

ZONING AS PERMITTED	ZONING AS EXISTING	ZONING AS PROPOSED	RESULT
DISTRICT: R-7.5, SINGLE FAM. RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	
LOT DATA MIN. LOT SIZE = 7,500 S.F. MIN. LOT WIDTH = 75.0' MIN. LOT DEPTH = 100.0'	LOT DATA ACTUAL LOT SIZE = 23,357 SF ACTUAL LOT WIDTH = 97.68' ACTUAL LOT DEPTH = 197.76'	LOT DATA ACTUAL LOT SIZE = 23,357 SF ACTUAL LOT WIDTH = 97.68' ACTUAL LOT DEPTH = 197.76'	
LOT COVERAGE MAX. COVERAGE = 35% = .35*23,357 = 8,174.9 SF	LOT COVERAGE HOUSE / PATIOS = 2,317.3 SF DRIVEWAY / APRON = 2,641.67 SF STEPS/WALKWAY = 183.80 SF GARAGE = 821.12 SF TOTAL = 5,963.89 SF < 8,174.9 SF = 5,963.89 SF/23,357 = 25.5%	LOT COVERAGE HOUSE / PATIO = 2,885.23 SF DRIVEWAY = 3,851.07 SF STEPS/WALKWAY = 260.33 SF EXIST. DET. GARAGE = 821.12 SF TOTAL = 7,817.75 SF < 8,174.9 SF = 7,817.75 SF/23,357 = 33.5%	
F.A.R. MAX. F.A.R. = 5,938.6 +(10*4) = 5,978.6 SF = 5,978.6/23,357= .255	F.A.R. = EXISTING DWELLING NOT SURVEYED	F.A.R. = 4,962.70/23,357= .212 BASEMENT = (1,867.92 SF) FIRST FLOOR = 1,867.92 SF GARAGE = 503.36 SF SECOND FLOOR = 1,896.69 SF ATTIC = 694.73 SF TOTAL = 4,962.70 SF	✓
MIN. YARD OFFSETS FRONT 1 = 30.0' (1) SIDE = 10.0' TOTAL OF (2) = 20.0' REAR YARD = 25.0'	YARD OFFSETS FRONT 1 = 28.7' (1) SIDE = 4.5' TOTAL OF (2) = 71.2' REAR YARD = 101.0'	YARD OFFSETS FRONT 1 = 37.90' (1) SIDE = 10.50' TOTAL OF (2) = 42.31' REAR YARD = 101.51'	✓ ✓ ✓ ✓
MAX. BUILDING HEIGHT = 2 1/2 STORY, 35'-0"	BUILDING HGT = 2½ STY., ±26.5' AVG.	BUILDING HGT = 2½ STY., 31.04' AVG.	

NO VARIANCE REQUIRED = ☒ VARIANCE REQUIRED = ☐



Proposed Plot Plan

1" = 15'

ZONE: R-7.5
SECTION: 4
BLOCK: 6
LOT: 61

MK
MARSELLA + KNOETGEN
ARCHITECTS
PLLC

154 EAST BOSTON POST RD
MAMARONECK, NY 10543

T 914.381.5198
F 914.381.5194

MK-ARCHITECTS.COM

This document and the information contained therein is specifically created for the person(s) and location noted on the title box and may not be re-used and/or altered for any other purpose other than this project and must be accompanied by the seal and signature of Marsella & Knoetgen Architects, PLLC. No other person(s), entity or professional organization shall sign and/or seal this document for any other purpose whatsoever.

SUBMISSIONS:

PEER REVIEW - 11/09/18
ISSUE FOR PLANNING - 11/28/18
ISSUE FOR PLANNING 2 - 12/26/18
ISSUE FOR BLDG. PERMIT - T.B.D.

12/26/18 PLANNING BD. COMMENTS

NO.	DATE	REVISION
ISSUE / REVISION		
SHEET	BLOCK	LOT

PROJECT NAME
**New Residence @
84 Weaver Street**

BUILDING NAME & ADDRESS
**84 Weaver Street
Larchmont, NY 10538**

PROJECT NUMBER
84 Weaver

DRAWING TITLE
PLOT PLANS

SCALE
as noted

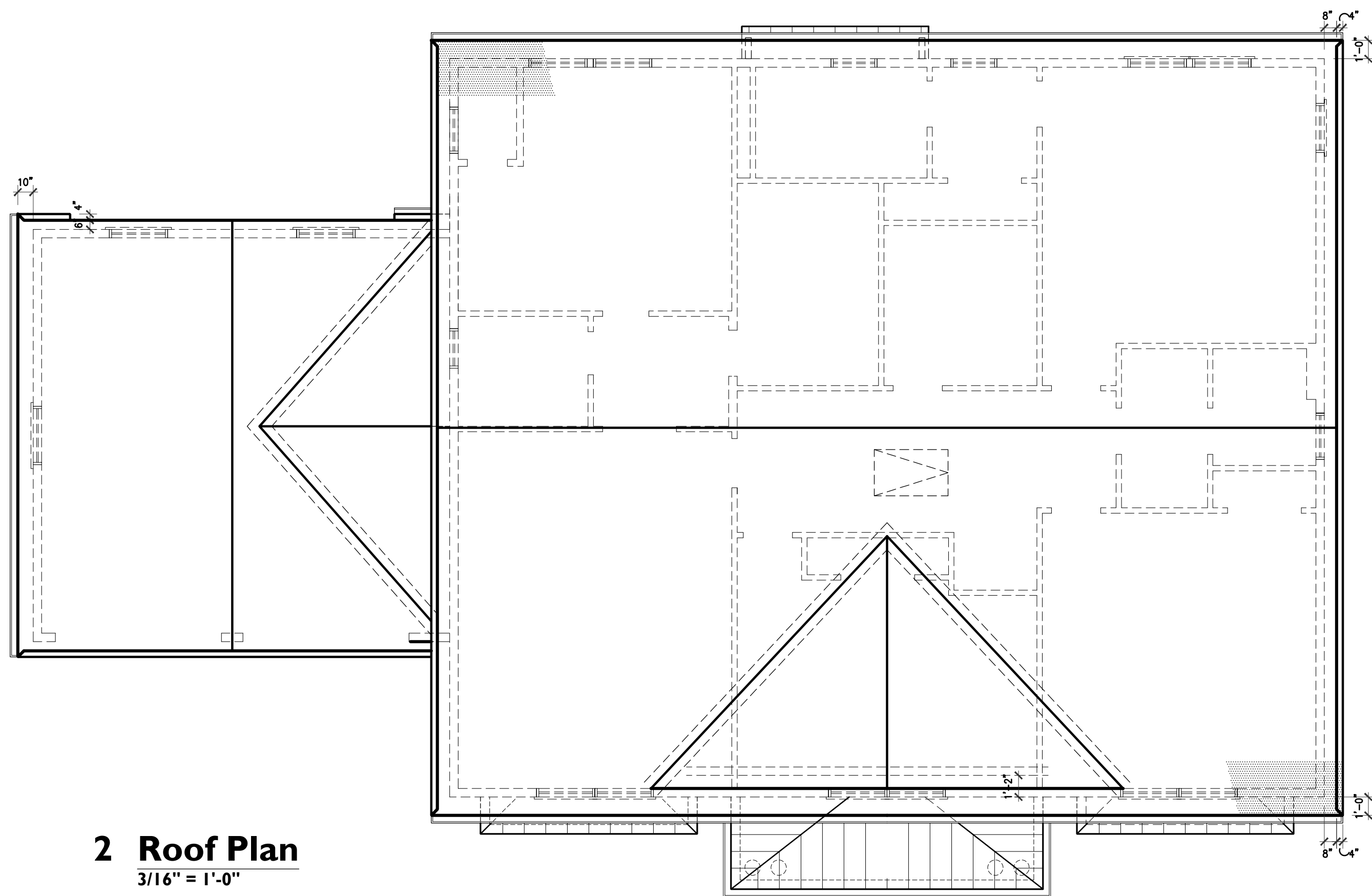
DRAWN BY
AI

CAD FILENAME
84Weaver-SD1.dwg

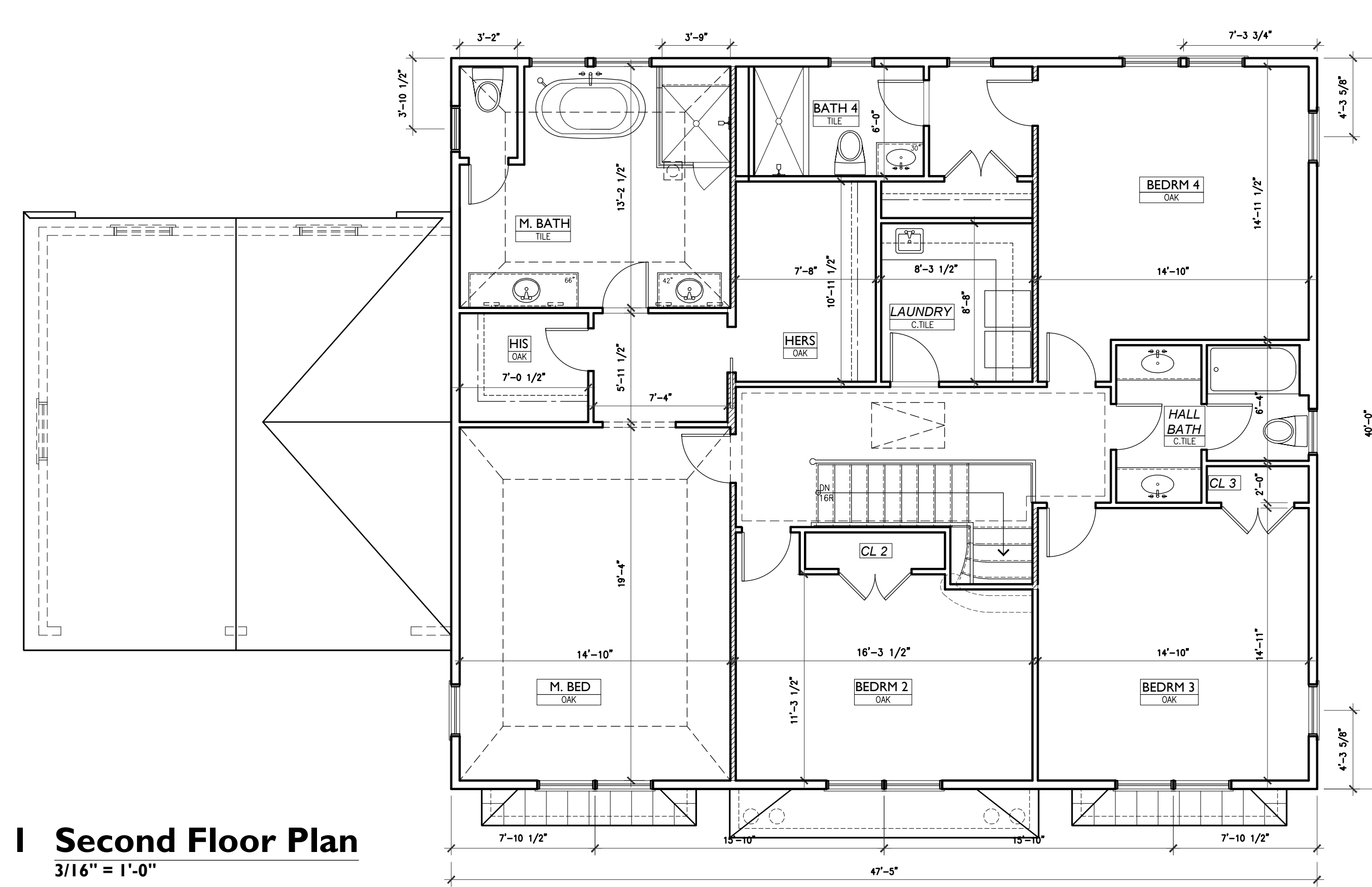
DATE
12/26/18

DRAWING NUMBER

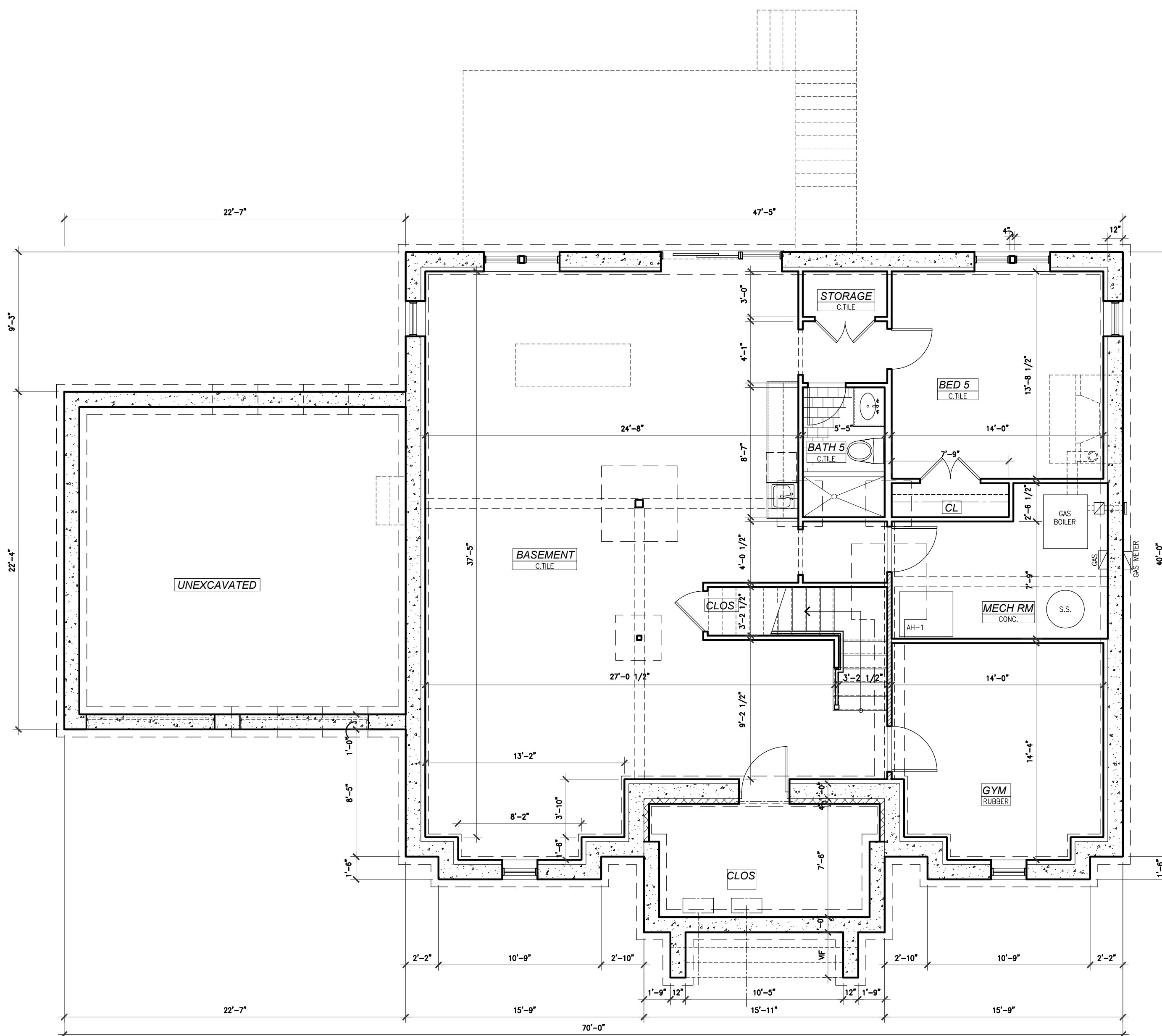
A2.0



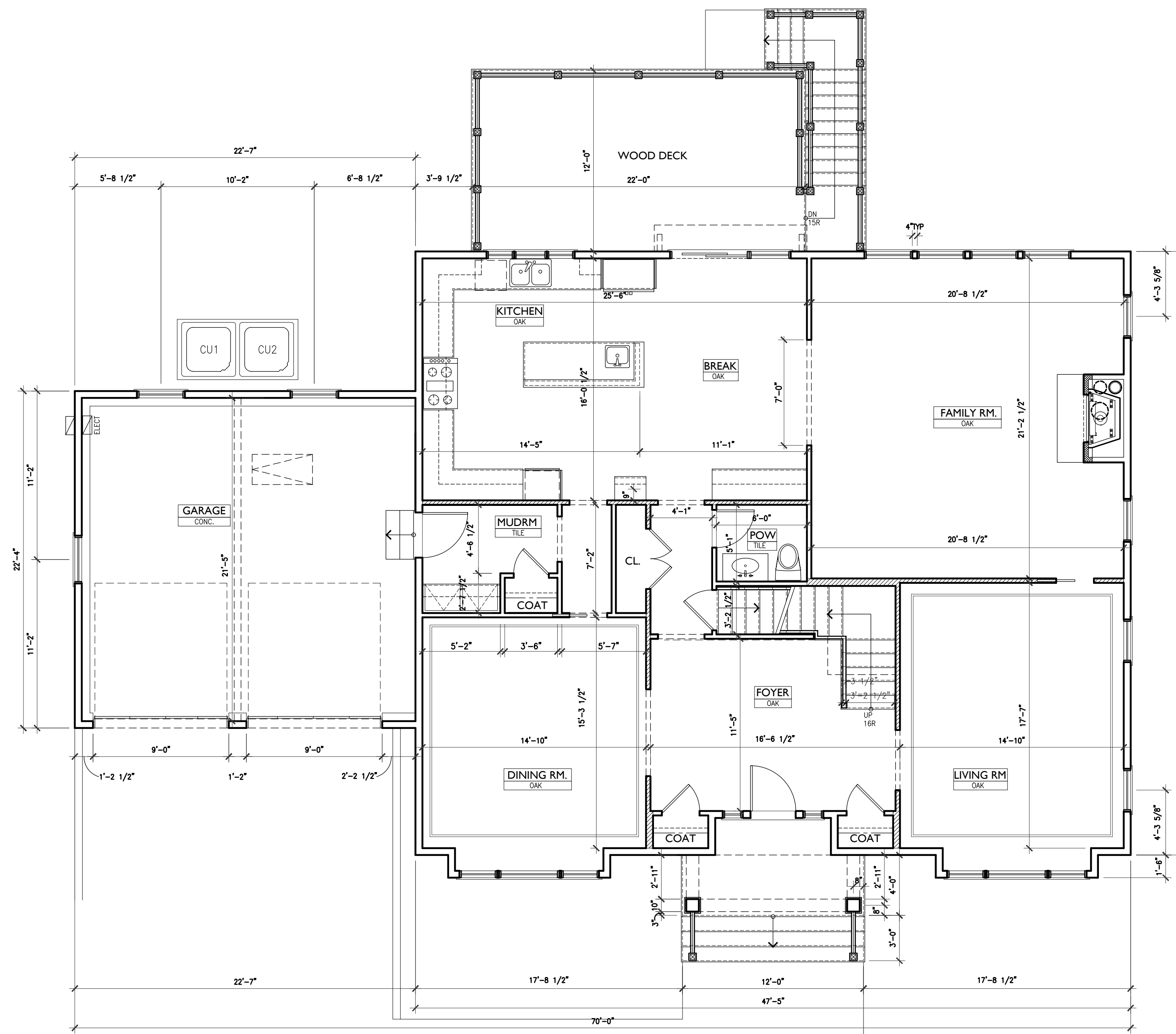
2 Roof Plan
3/16" = 1'-0"



1 Second Floor Plan
3/16" = 1'-0"



2 Basement Plan
3/16" = 1'-0"



1 First Floor Plan
3/16" = 1'-0"

This document and the information contained therein is specifically created for the person(s) and location noted on the title box and may not be re-used and/or altered for any other purpose other than this project and must be accompanied by the seal and signature of Marsella & Knoetgen Architects, PLLC. No other person(s), entity or professional organization shall sign and/or seal this document for any other purpose whatsoever.

SUBMISSIONS:

PEER REVIEW - 11/09/18

ISSUE FOR PLANNING - 11/28/18

ISSUE FOR BLDG. PERMIT - T.B.D.

NO.	DATE	REVISION
ISSUE / REVISION		
SHEET	BLOCK	LOT

PROJECT NAME
New Residence @
84 Weaver Street

BUILDING NAME & ADDRESS
84 Weaver Street
Larchmont, NY 10538

PROJECT NUMBER
84 Weaver

DRAWING TITLE
Proposed Floor Plans

SCALE 3/16" = 1'-0"	DRAWN BY FM/DF
CAD FILENAME 84Weaver-SD1.dwg	DATE 11/28/18

DRAWING NUMBER

A3.0

This document and the information contained therein is specifically created for the person(s) and location noted on the title box and may not be re-used and/or altered for any other purpose other than this project and must be accompanied by the seal and signature of Marsella & Knoetgen Architects, PLLC. No other person(s), entity or professional organization shall sign and/or seal this document for any other purpose whatsoever.

SUBMISSIONS:

PEER REVIEW - 11/09/18

ISSUE FOR PLANNING - 11/28/18

ISSUE FOR BLDG. PERMIT - T.B.D.

NO.	DATE	REVISION
ISSUE / REVISION		
SHEET	BLOCK	LOT

PROJECT NAME
**New Residence @
84 Weaver Street**

BUILDING NAME & ADDRESS
**84 Weaver Street
Larchmont, NY 10538**

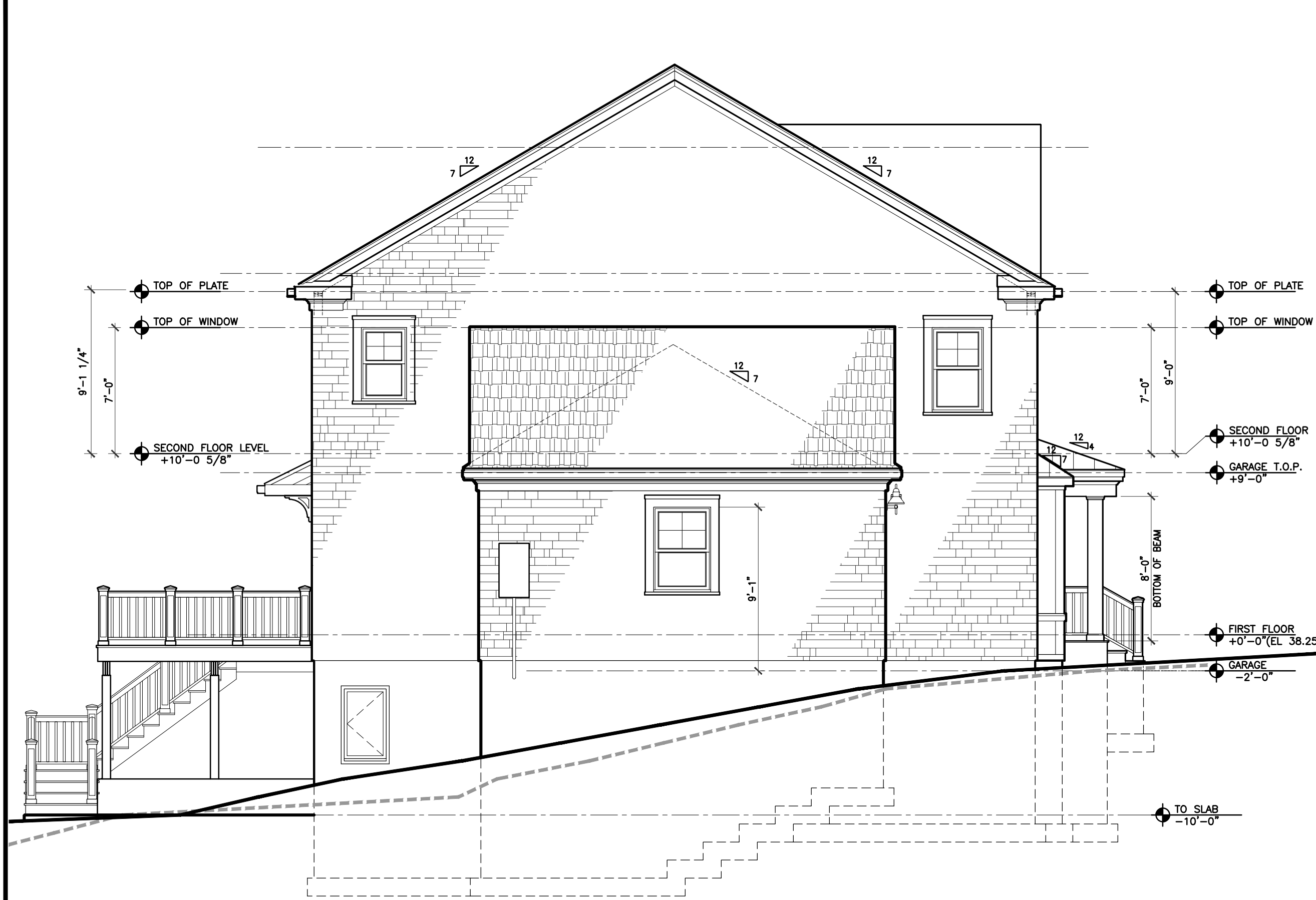
PROJECT NUMBER
84 Weaver

DRAWING TITLE
**Front and Left
Side Elevations**

SCALE 3/16" = 1'-0"	DRAWN BY FM/DF
CAD FILENAME 84Weaver-SD1.dwg	DATE 11/28/18

DRAWING NUMBER

A4.0



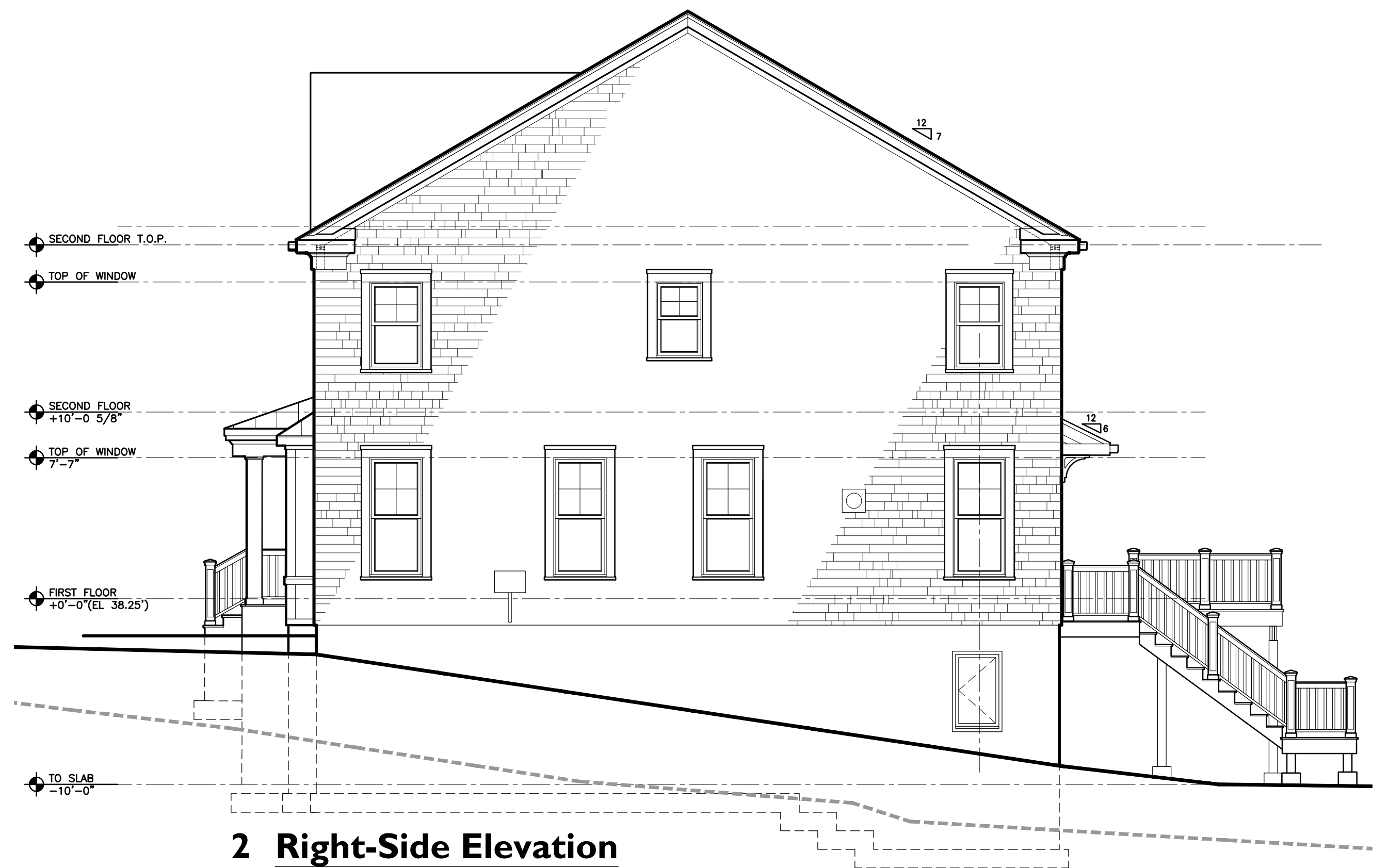
2 Left-Side Elevation
3/16" = 1'-0"



1 Front Elevation
3/16" = 1'-0"



1 Rear Elevation
3/16" = 1'-0"



2 Right-Side Elevation
3/16" = 1'-0"

STORMWATER SYSTEM NOTES:

1. ALL RUNOFF FROM THE PROPOSED HOUSE AND PATIO TO BE COLLECTED AND CONVEYED INTO THE PROPOSED STORMWATER SYSTEM AS SHOWN.
2. IT SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION FOR THE STORMWATER SYSTEM THAT NO UTILITIES ARE IN INTERFERENCE.
3. CONTRACTOR TO VERIFY ALL PROPOSED ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. ALL ELEVATIONS BASED ON THE TOPOGRAPHIC INFORMATION PROVIDED BY MARSELLA & KNOETGEN ARCHITECTS DATED 10/04/2018.
5. ALL STORM WATER PIPING TO BE 4" SCHED. 40 PVC UNLESS OTHERWISE NOTED.

- DRAINAGE INFORMATION:**
1. PROPOSED IMPROVEMENTS SHOWN ON THIS SHEET IS OBTAINED FROM THE PROPOSED SITE PLAN PROVIDED BY MARSELLA & KNOETGEN ARCHITECTS DATED 10/04/2018.
 2. PROPERTY SURVEY AND EXISTING ELEVATION PROVIDED MARSELLA & KNOETGEN ARCHITECTS DATED 10/04/2018
 3. SITE PLAN SHOWN HEREIN SHALL BE USED SOLELY TO ILLUSTRATE LOCATION OF THE STORMWATER SYSTEM & EROSION CONTROL PROVISIONS.

GENERAL NOTES:

1. ALL WORK MATERIALS, SPECIFICATIONS, REGULATIONS, RULES, PERMITS, ETC. OF ALL STATE, COUNTY AND THE TOWN OF MAMARONECK SHALL BE FOLLOWED BY THE CONTRACTOR.
2. ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURER'S RECOMMENDATIONS.
3. CONTRACTORS AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE JOB. CONTRACTOR SHALL SUPPLY THE REQUIRED INSURANCES AS SPECIFIED BY THE TOWN OF MAMARONECK.
4. CONTRACTOR SHALL FURNISH ALL PERMITS, LICENSES AND APPROVALS NECESSARY TO COMPLETE THE WORK.
5. CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS AND SERVICES FOR SATISFACTORY COMPLETION OF ALL WORK.
6. JOB SITE SHALL BE KEPT CLEAN AT ALL TIMES. TRASH TO BE REMOVED FROM THE SITE DAILY.
7. NOTIFY THE ENGINEER OF ANY UNSUITABLE SUB-SOIL CONDITIONS IF ENCOUNTERED DURING EXCAVATION.
8. CARE SHALL BE TAKEN TO PROTECT THE TREES TO REMAIN FROM THE METHODS OF CONSTRUCTION, TRAFFICKING AND STORAGE OF MATERIALS. RETURN THOSE AREAS DAMAGED BY SUCH TO THEIR ORIGINAL CONDITION.
9. DURING CONSTRUCTION, PROVISIONS FOR SAFE PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES.

INSTALLATION & MAINTENANCE OF EROSION CONTROL

- CONSTRUCTION SCHEDULE**
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO START
- EROSION CONTROL MEASURES**
Install all erosion control measures prior to start of construction. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to installation.
- INSPECTION BY MUNICIPALITY**

- MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)**
After any rain causing runoff Contractor to inspect dikes, silt fences, etc. and remove any excessive sediment, and inspect stockpiles and correct any problems with seed establishment. Inspectors shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.
- STOCK PILING OF EXCAVATED MATERIAL**
Strip Topsoil and Stockpile. Stockpile Excavation Subgrade. Seed piles with 1 lb. total annual rye or remove from site within 2 days.
- INSPECTION BY MUNICIPALITY**

- FINAL GRADING**
Remove unwanted subgrade from site. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.
- INSPECTION BY MUNICIPALITY**

- LANDSCAPING**
Spread topsoil evenly over areas to be seeded. Hand rake level. Broadcast 1.25 lb. Bag of Jonathan Green "Fastgrow" mix or equal over areas to be seeded. Apply straw mulch and water within 2 days of completion of topsoiling. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.
- INSPECTION BY MUNICIPALITY**

- FINAL LANDSCAPING**
Grass established. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.
- INSPECTION BY MUNICIPALITY**

- FINAL INSPECTION**
All erosion control measures removed and grass established.
Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

CODE 753 :

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES AND INSURE THAT INTERFERENCES WITH THE PROPOSED STORMWATER SYSTEM DO NOT EXIST.**

- 811**
Know what's below.
Call before you dig.

- TEMPORARY CONCRETE WASHOUT FACILITY - STRAW BALE**

- PLAN VIEW**
1. Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a seeded condition.

- 2. Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.**

- 3. Each straw bale is to be staked in place using (2) 2"x2"x4" wooden stakes.**

- TEMPORARY CONCRETE WASHOUT FACILITY - STRAW BALE**

- SCALE : NOT TO SCALE**

- INSTALLATION NOTES:**

1. STONE SIZE - USE 7" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT

2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 6" FEET (EXCEPT ON 4" SINGLE

3. WIDTH - 24" MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCREASES OR DECREASES OCCUR.

4. FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.

5. SURFACE WATER - ALL SURFACE WATER FLOWING OR ORIENTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MODIFIED BERM WITH A SLOPE WILL BE PROVIDED.

6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF RESIDENT DIRT AND PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.

7. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- STABILIZED CONSTRUCTION ENTRANCE**

- NOTE: TO BE CONSTRUCTED IF DIRECTED BY THE VILLAGE OF MAMARONECK

- SCALE : NOT TO SCALE

- SOIL STOCKPILE DETAIL**

- SCALE : NOT TO SCALE

- TRENCH DRAIN DETAIL**

- SCALE : NOT TO SCALE

- CONCRETE SETTING BED AND BACKING BED - (CONTINUOUS)**

- SCALE : NOT TO SCALE

- BEIGIAN BLOCK CURB**

- SCALE : NOT TO SCALE

- DRYWELL UNITS**

- DRYWELL UNITS TO BE INSTALLED WITH A CLEARANCE FROM ALL PROPERTY LINES & STRUCTURES TO BE A MIN. 10'-0".

- CONSTRUCTION NOTE:**

- CONTRACTOR TO VERIFY ALL INVERT AND ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

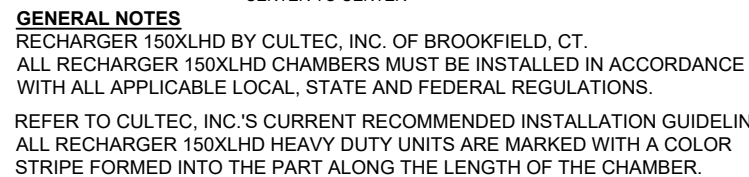
- APPROVED BY TOWN ENGINEER

- DATE

- PROPOSED SITE PLAN**

- SCALE: 1" = 15'

- "APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"



SCALE : NOT TO SCALE



SCALE : NOT TO SCALE



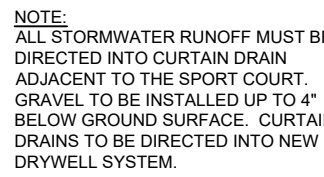
SCALE : NOT TO SCALE



SCALE : NOT TO SCALE



SCALE : NOT TO SCALE



CURTAIN DRAIN DETAIL

SCALE : NOT TO SCALE



SCALE : NOT TO SCALE



SCALE : NOT TO SCALE



DO NOT SCALE DRAWINGS

2	ENGINEERING COMMENTS	01-12-2019
1	TOWN REVIEW	12-23-2018
No.	DESCRIPTION	DATE

- REVISIONS -

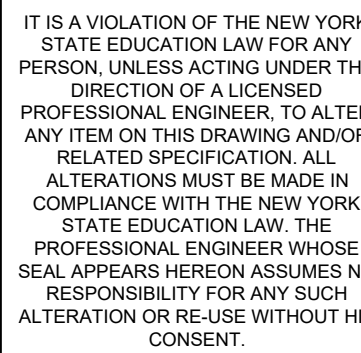


84 WEAVER STREET
LARCHMONT
NEW YORK 10583

Benedict A. Salanitra, P.E., PC

CIVIL ENGINEER

609 BROOK STREET
Mamaroneck, New York 10543



PROJECT No: 100718

DATE : 10/07/18

SCALE : AS NOTED

DRAWN BY : V.S

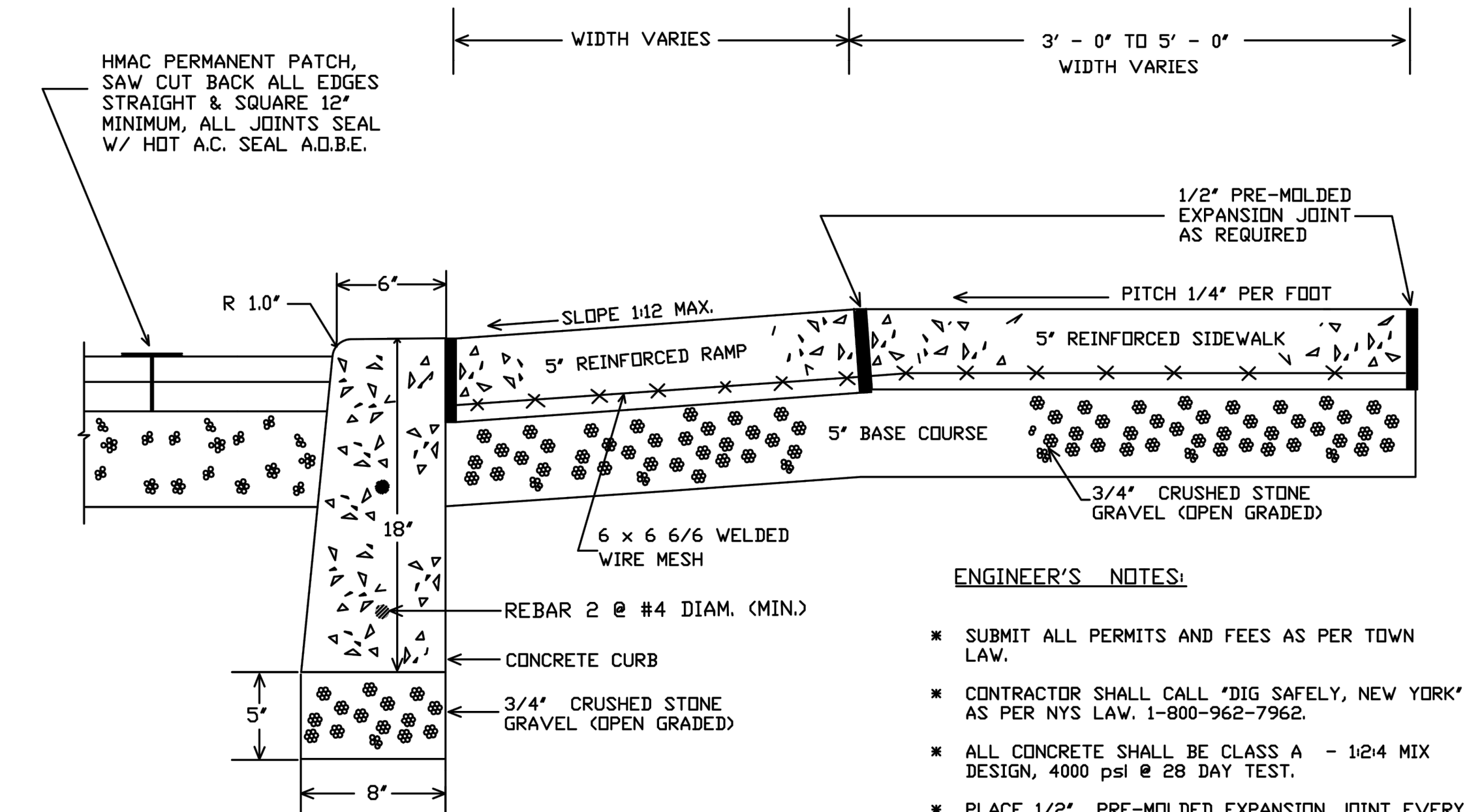
SHEET No

ER-2

"APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED _____"

APPROVED BY TOWN ENGINEER

DATE _____

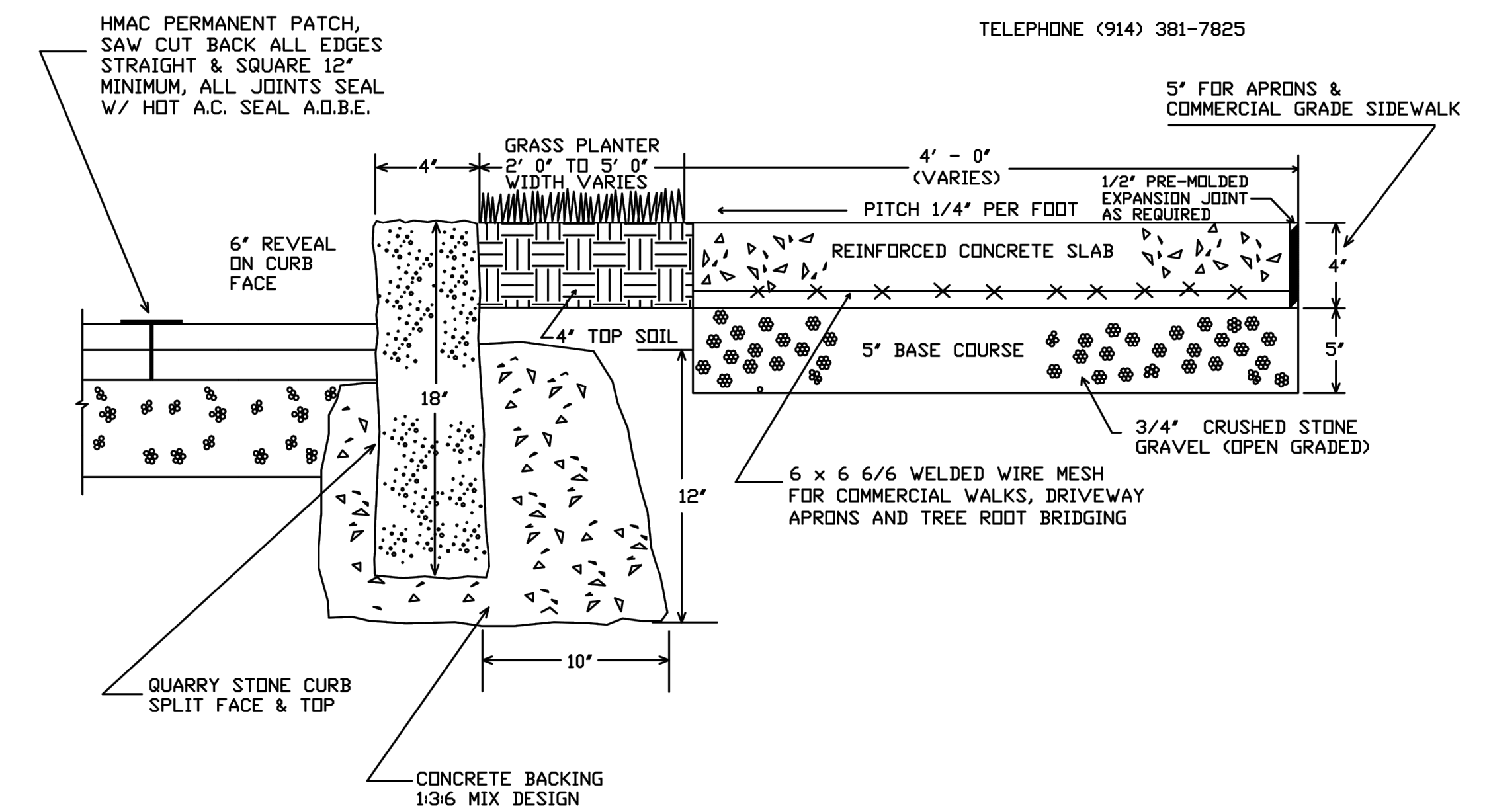


4 Sidewalk, Apron & Drop Curb Detail n.t.s.

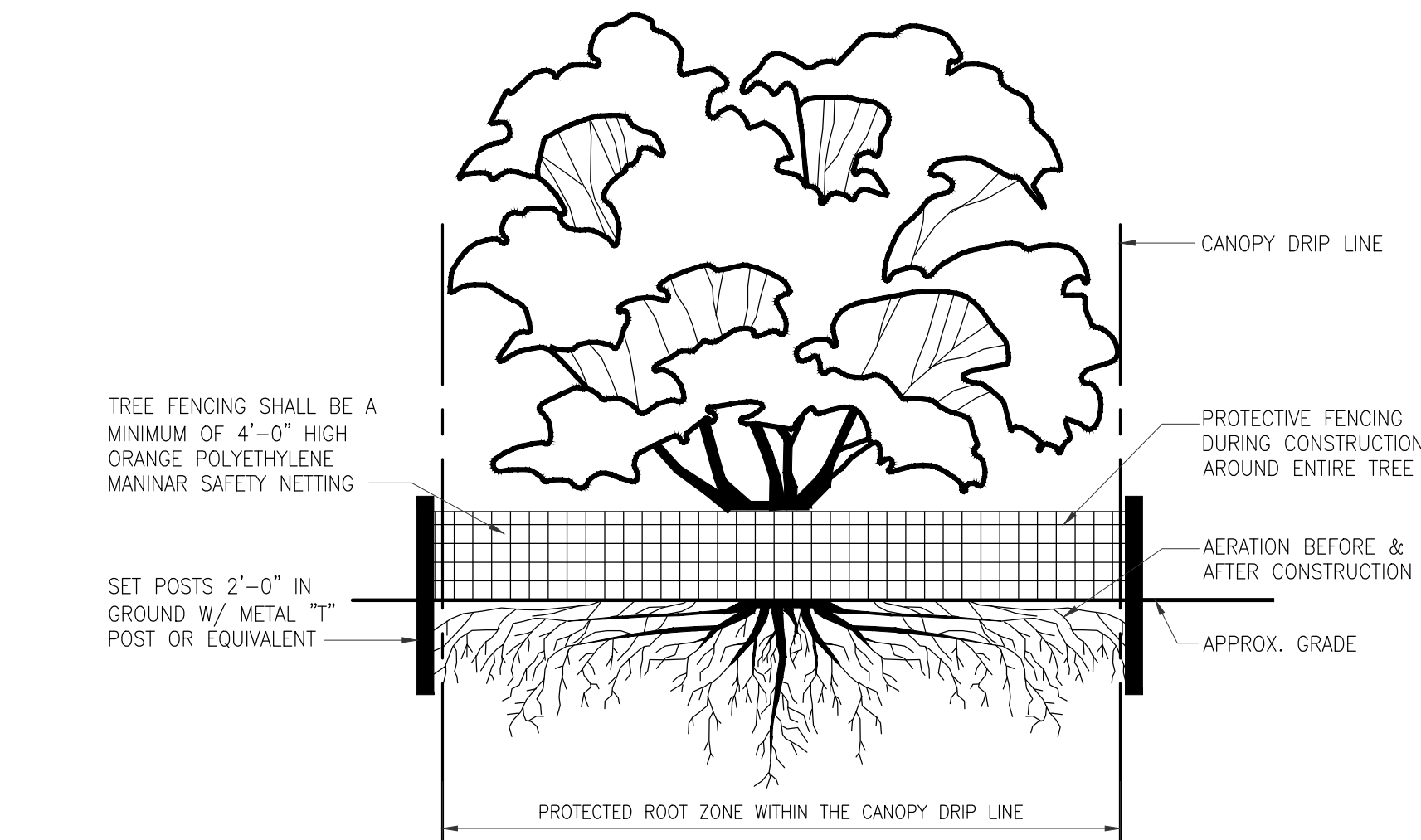
ENGINEER'S NOTES:

- * SUBMIT ALL PERMITS AND FEES AS PER TOWN LAW.
- * CONTRACTOR SHALL CALL "DIG SAFELY, NEW YORK" AS PER NYS LAW, 1-800-962-7962.
- * ALL CONCRETE SHALL BE CLASS A - 124 MIX DESIGN, 4000 psi @ 28 DAY TEST.
- * PLACE 1/2" PRE-MOLDED EXPANSION JOINT EVERY 20 FEET. APPLY BROOM FINISH AND TROWEL ALL EDGES.
- * ALL CONCRETE SHALL BE TREATED WITH A CURING AGENT APPROVED BY THE TOWN.
- * ALL SUBGRADE SHALL BE MECHANICALLY COMPACTED @ 95% STD. PROCTOR TEST.
- * ALL SIDEWALK INTENDED FOR VEHICLE PASSAGE SHALL BE 5" THICK W/ 6"x6" 6/6 WELDED WIRE MESH REINFORCEMENT.
- * ARRANGE FOR INSPECTION WITH HIGHWAY DEPARTMENT PRIOR TO PLACEMENT OF CONCRETE.

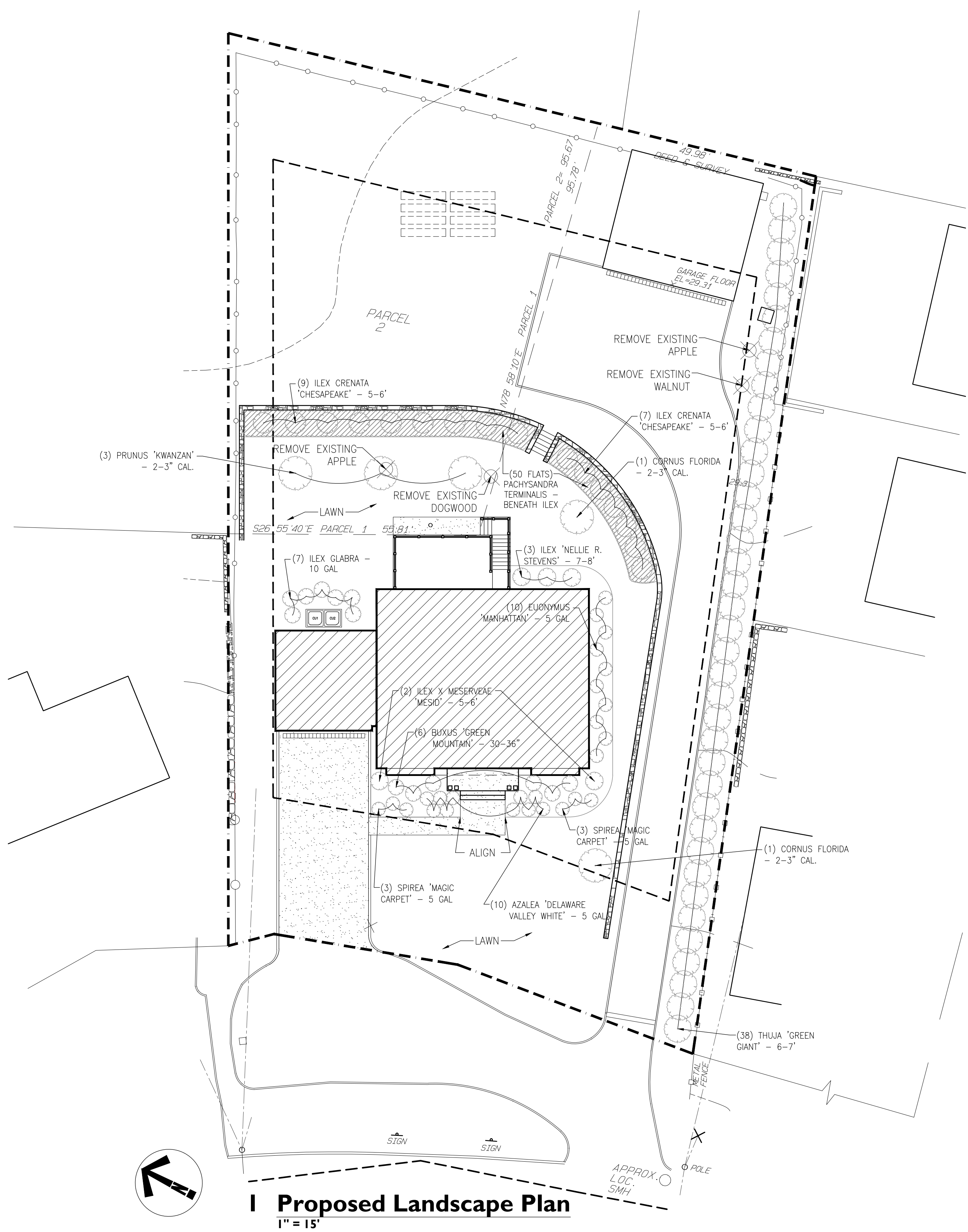
TELEPHONE (914) 381-7825



3 Sidewalk & Stone Curb Detail n.t.s.



2 Tree Protection Detail not to scale



Qty.	Type	Botanical Name	Common Name	Size	Spacing	Comments
TREES						
2		Cornus florida	Flowering Dogwood	2-3" cal.		
3		Prunus 'Kwanzan'	Flowering Japanese Cherry	2-3" cal.		
38		Thuja 'Green Giant'	Green Giant Arborvitae	6-7'	5'	
SHRUBS						
6		Buxus 'Green Mountain'	Green Mountain Boxwood	30"-36"		
16		Ilex crenata 'Chesapeake'	Chesapeake Japanese Holly	5'-6'		
6		Spirea japonica 'Magic Carpet'	Magic Carpet Spirea	5 gal.		
7		Ilex glabra	Inkberry	10 gal.		
3		Ilex 'Nellie R. Stevens'	Nellie Stevens Holly	7-8'		
10		Euonymus 'Manhattan'	Manhattan Euonymus	5 gal.		
2		Ilex x meserveae 'Mesid'	Blue Maid Holly	5'-6'		
10		Azalea 'Delaware Valley White'	Delaware Valley White Azalea	5 gal.		
GRASSES, ROSES, PERENNIALS, & VINES						
50		Pachysandra terminalis	Japanese Pachysandra	Flats		Beneath Ilex 'Chesapeake' to hold slope

This document and the information contained therein is specifically created for the person(s) and location noted on the title box and may not be re-used and/or altered for any other purpose other than this project and must be accompanied by the seal and signature of Marsella & Knoetgen Architects, PLLC. No other person(s), entity or professional organization shall sign and/or seal this document for any other purpose whatsoever.

SUBMISSIONS:

PEER REVIEW - 11/09/18

ISSUE FOR PLANNING - 11/28/18

ISSUE FOR BLDG. PERMIT - T.B.D.

Landscape Design

Beresford Lanscape Design
407 Ward Avenue
Mamaroneck, N.Y. 10543
T (914) 777-3580

NO.	DATE	REVISION
ISSUE / REVISION		
SHEET	BLOCK	LOT

Project Name New Residence @ 84 Weaver Street

BUILDING NAME & ADDRESS
84 Weaver Street
Larchmont, NY 10538

PROJECT NUMBER
84 Weaver

Drawing Title Landscape Development Plan

SCALE
1" = 15'

CAD FILENAME
84Weaver_DWG

DRAWING NUMBER

**Town of Mamaroneck - Village of Larchmont
Coastal Assessment Form (CAF)**

Applicants, or the appropriate municipal agency, shall complete this Coastal Assessment Form (CAF) for proposed actions which are subject to Local Consistency Review (see Waterfront Revitalization Law §§234-1 through 234-5 in the Code of the Town of Mamaroneck and §§292-1 through 292-4 in the Code of the Village of Larchmont). This assessment is intended to supplement other information used by the Bi-Municipal Coastal Zone Management Commission in making a determination of consistency with the Town of Mamaroneck and Village of Larchmont Local Waterfront Revitalization Program.

Upon completion of this form, it should be submitted as part of a complete application package for review. If assistance or further information is required for Town of Mamaroneck matters, please contact the Town of Mamaroneck Environmental Planner at (914) 381-7845. For Village of Larchmont matters, please contact the Village of Larchmont Building Inspector at (914) 834-6210.

RECEIVED

PLEASE PRINT OR TYPE ALL ANSWERS.

JAN 18 2019

A. GENERAL INFORMATION

CZMC

Will the proposed action be undertaken by a municipal agency? Yes ☐ No ☒

If yes, please list agency or agencies and contact person(s): _____

If no, please complete the applicant information:

Name of Applicant: Stephen Marsh
Street Address: 30 Homer Ave
City, State, Zip: Larchmont NY 10538
Phone: 917-612-3383 Fax: _____ Email: Steve@marshdev.com

Location and ownership of property for which action is proposed:

Section: 2 Block: 12 Lot: 215
Owner of Property: Red Garden Rd by Stephen Marsh
Street Address: ~~30 Homer Ave~~ 145 E. GARDEN RD. (E.P.)
City, State, Zip: Larchmont NY 10538
Phone: 917-612-3383 Fax: _____ Email: Steve@marshdev.com

Size of property (square feet): 12,201 Is the property now developed? Yes ☒ No ☐

Will project require a zoning variance? Yes ☐ No ☒

If yes, briefly describe: _____

Describe any unique/unusual landforms on the project site (rock outcroppings, swales, etc.):

N/A

Percentage of site which contains slopes of 25% or greater: NO

Are there streams, lakes, ponds or wetlands existing within or contiguous to the project area?

If so, describe (name, size, characteristics): NO

Will the action require approval by a state or federal agency? Yes ☐ No ☒

If yes, specify which state or federal agency and attach a copy of pending application and any relevant information and/or documentation to this form: _____

B. DESCRIPTION OF SITE AND PROPOSED ACTION

Provide a written description of the nature and the extent of the proposed action. Attach plans or additional information as necessary and/or required by application procedures.

Demo existing house and rebuild new single family house on the property.

C. COASTAL ASSESSMENT

Check either "Yes" or "No" for each of the following questions:

1. Will the proposed action be located in, or contiguous to, or have a **potentially adverse effect** upon any of the following designated resource areas?

	Yes	No	Maybe
a. Significant fish or wildlife habitat or designated critical environmental area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Scenic resources of local significance	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Natural protective features in an erosion hazard area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

NOTE: If the answer to any of the above questions is "Yes", please explain in Section D any measures which will be undertaken to mitigate the adverse effects.

2. Will the proposed action have a **significant effect** upon:

	Yes	No	Maybe
a. Commercial or recreational use of fish and wildlife resources	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Scenic quality of the coastal environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Development of future, or existing water dependent uses	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Land or water uses within a small harbor area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Stability of the shoreline	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Surface or groundwater quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Existing or potential public recreation opportunities	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Structures, sites or districts of historic, archeological or cultural significance to the local area, state or nation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

3. Will the proposed action **involve or result in** any of the following:

	Yes	No	Maybe
a. Physical alteration of land along the shoreline, land underwater or coastal waters	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Expansion of existing public services or infrastructure in or near undeveloped or low density areas of the coastal area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Filling, dredging, excavation or mining in coastal waters	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Reduction of existing or potential public access to or along the shore	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Development within a designated flood or erosion hazard area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Development of a natural feature that protects against flooding or erosion	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Replacement of eroded sand or soil	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Construction or reconstruction of erosion protective structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. Any change in surface or groundwater quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Removal of trees from the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Project details:

	Yes	No	Maybe
a. If the project is to be located adjacent to the shore:			
1. Does the project require a waterfront site in order to function	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will water-related recreation be provided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will public access to shore or state owned underwater lands be provided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will it replace a recreational or maritime use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Do essential public services and facilities presently exist at or near the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- Please explain any of the above answers that may need further clarification in Section D.**

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper appears to be a standard notebook page or a sheet of stationery. There is no handwriting or other markings on the page.

I certify that I am the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

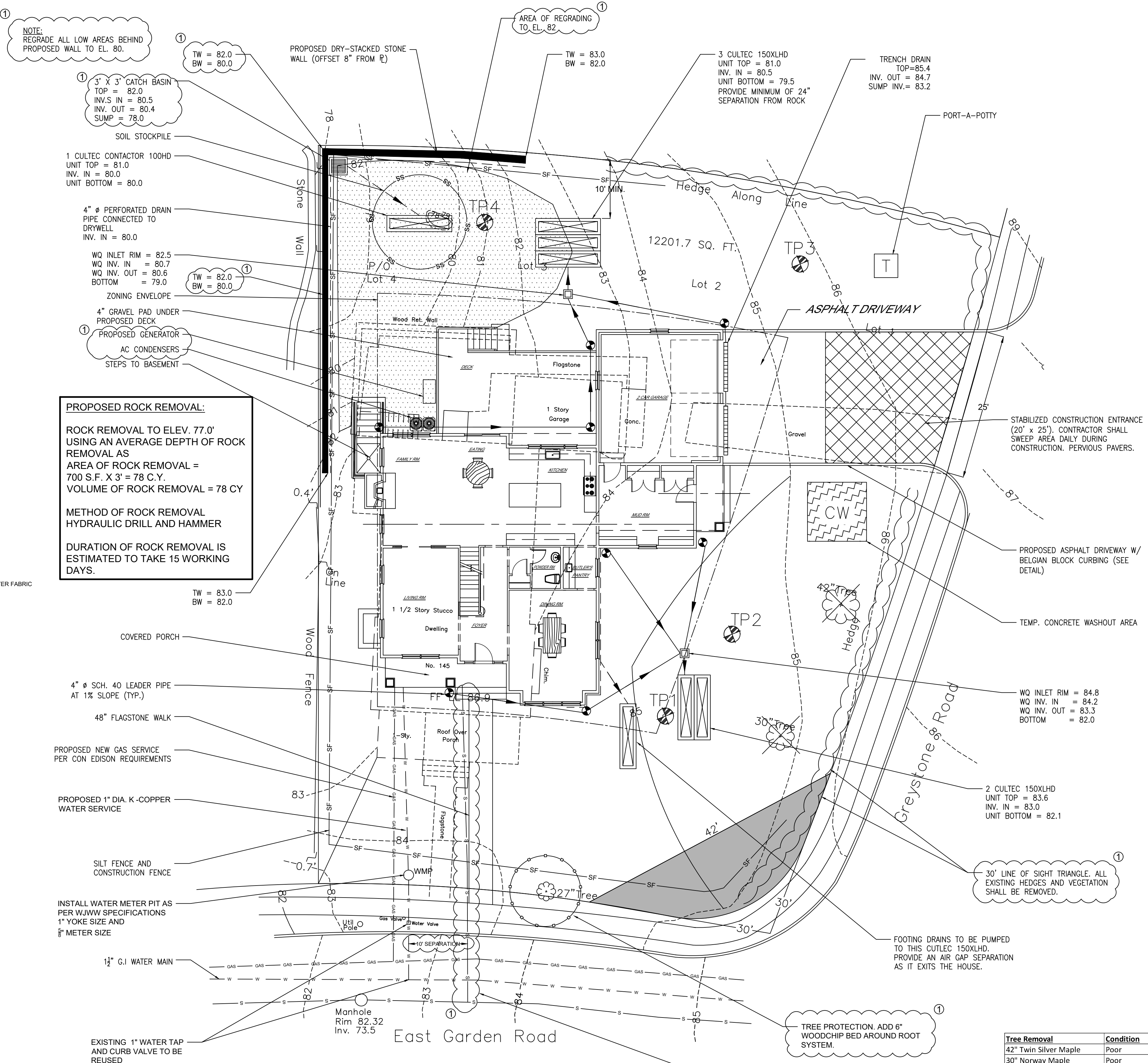
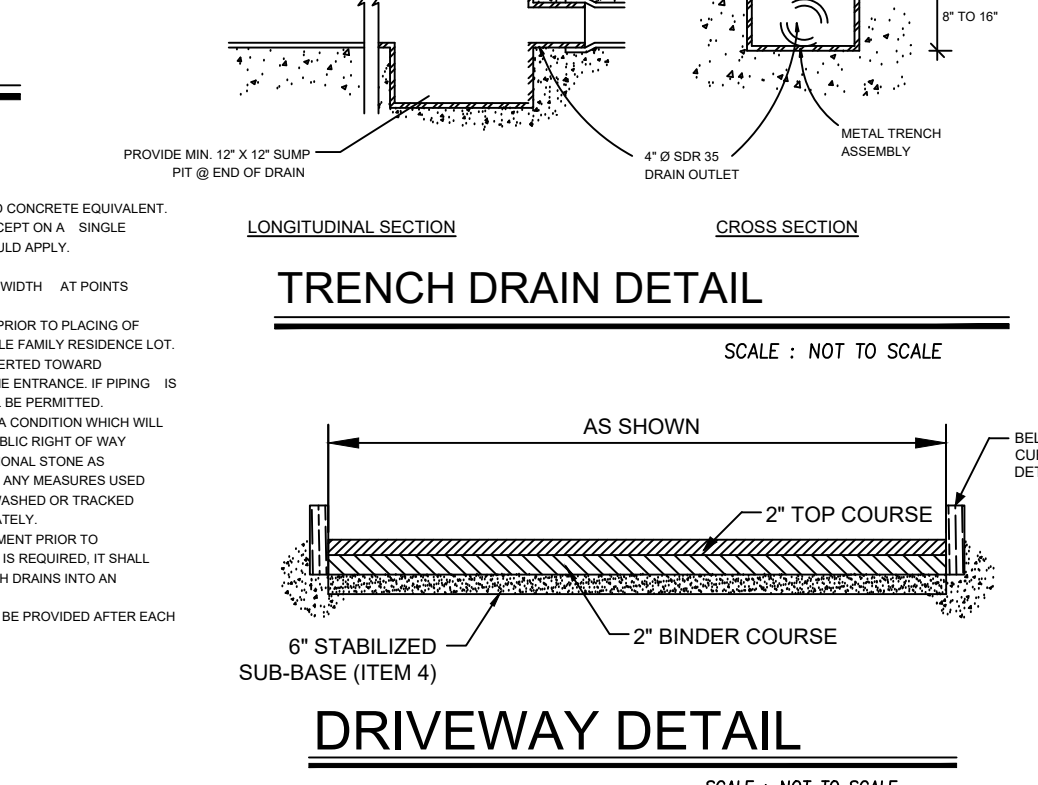
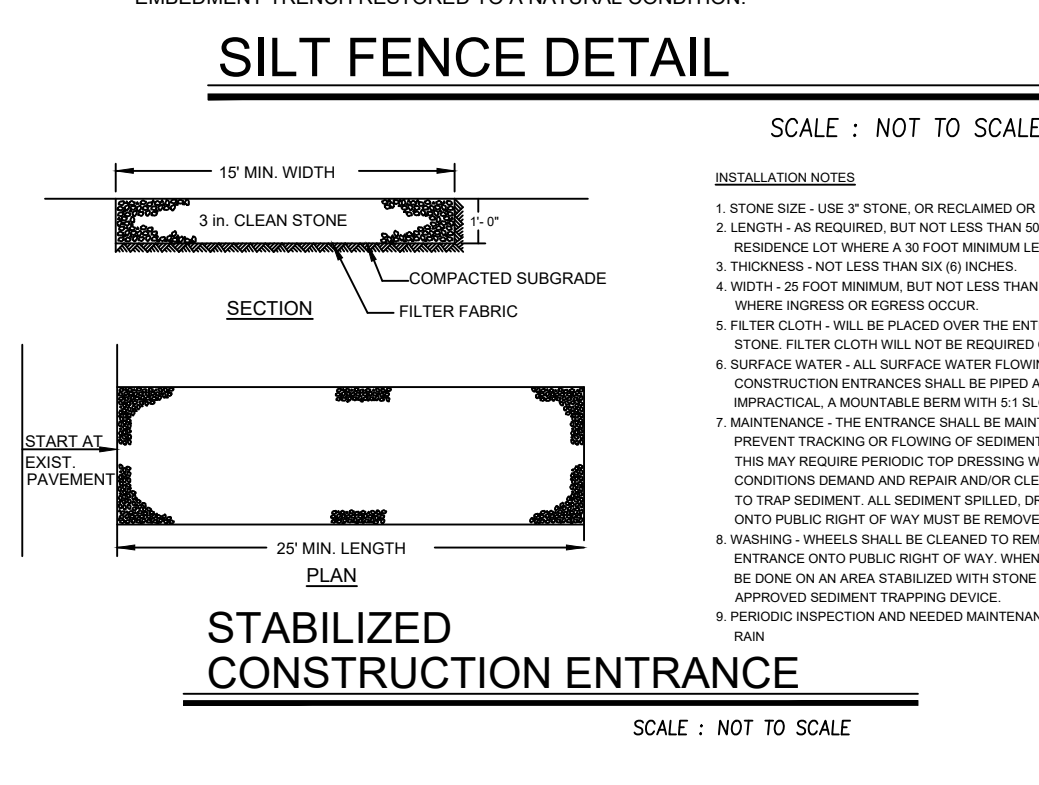
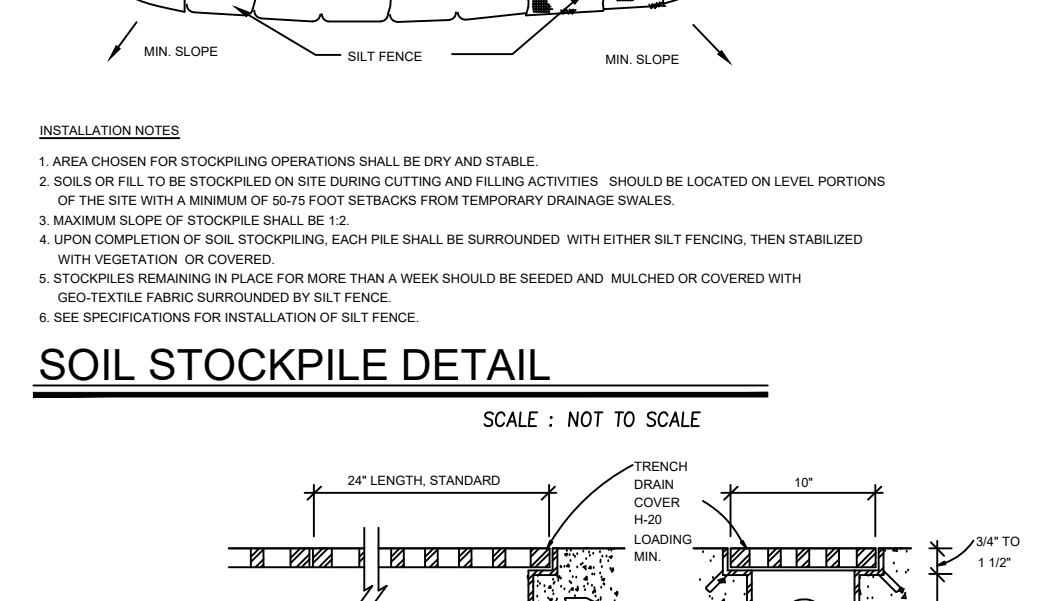
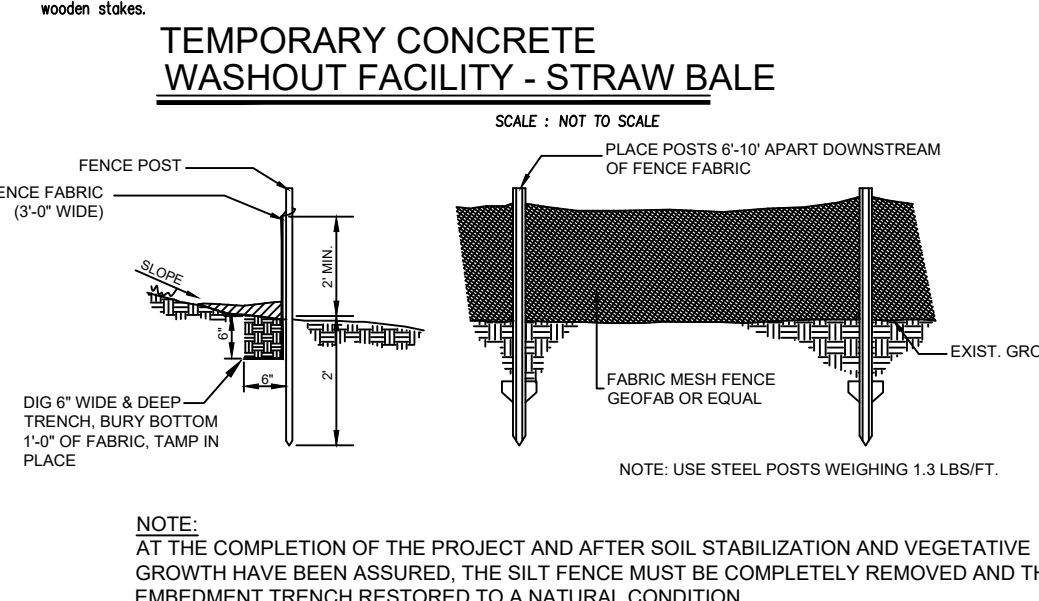
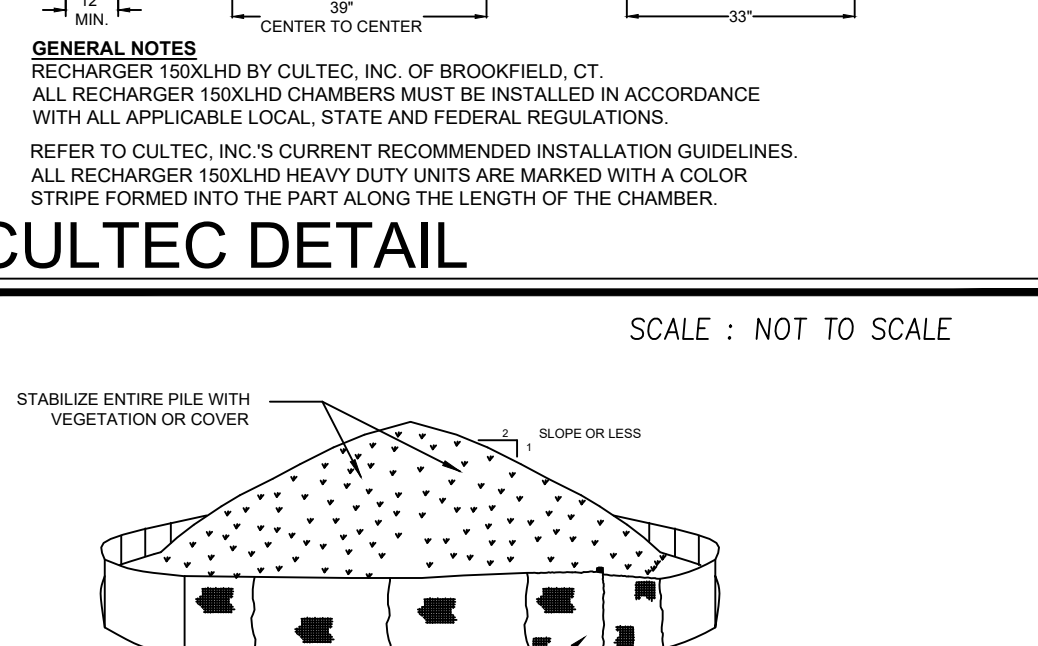
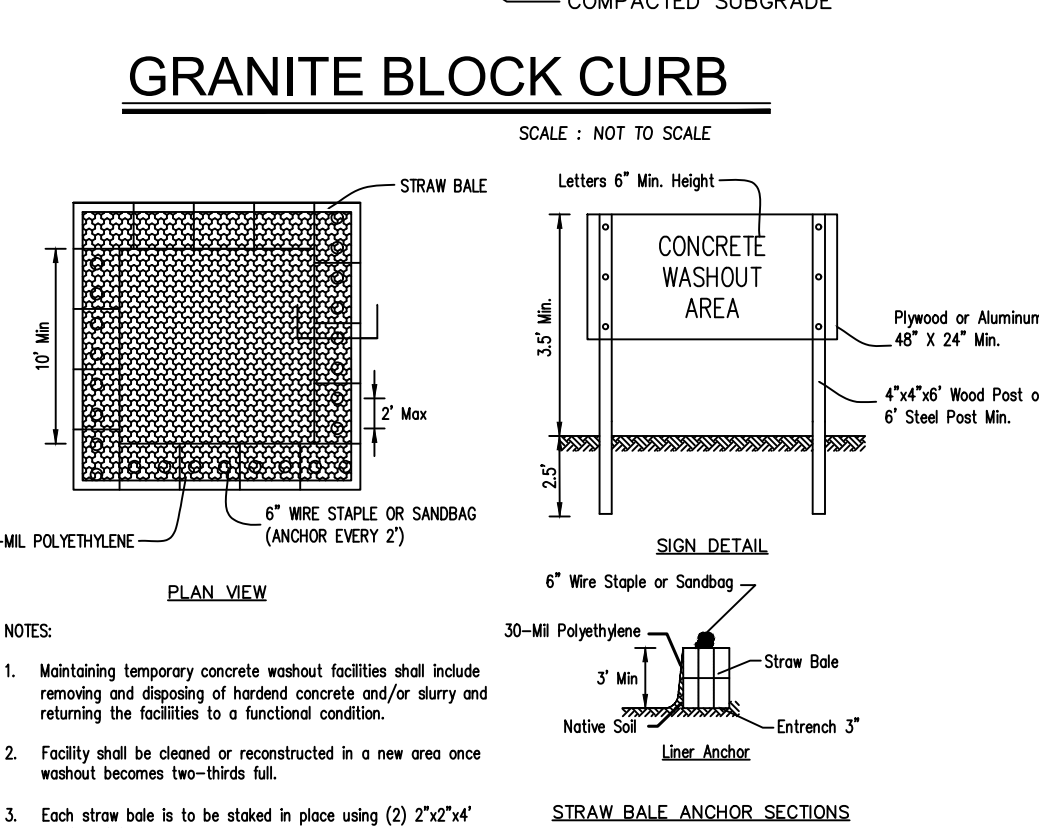
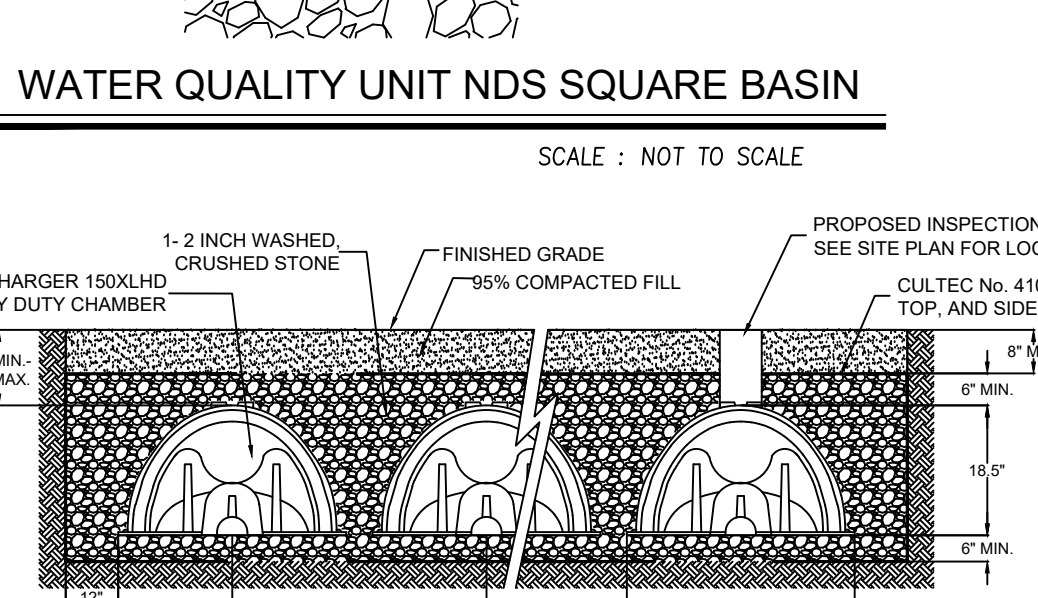
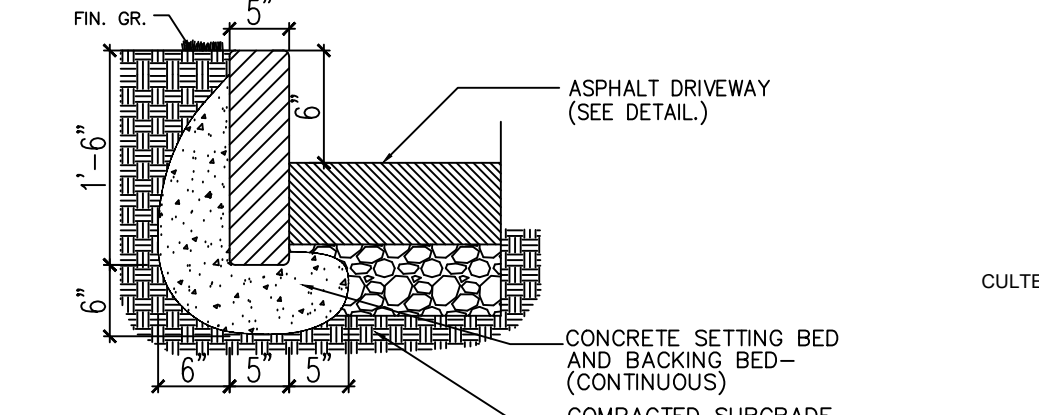
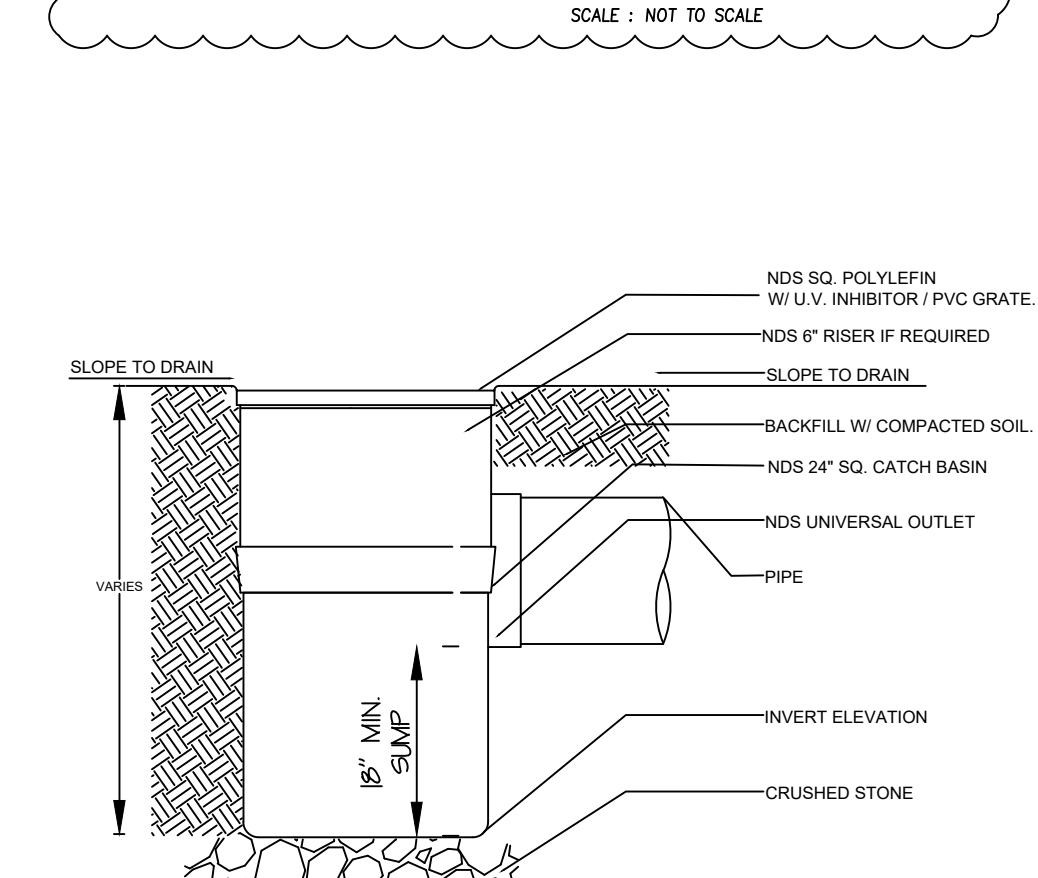
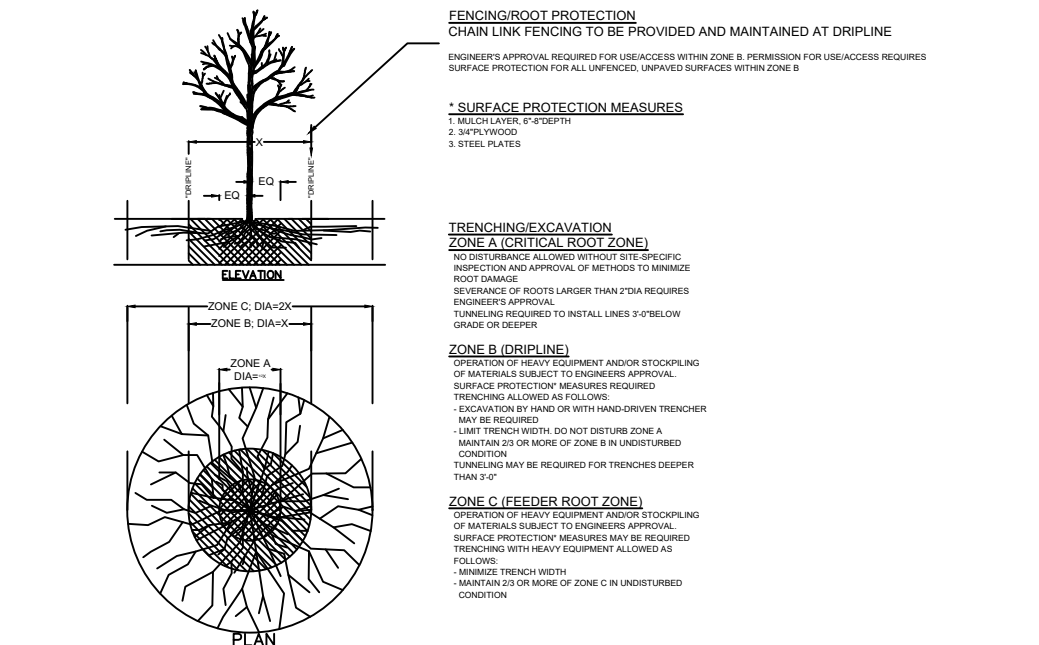
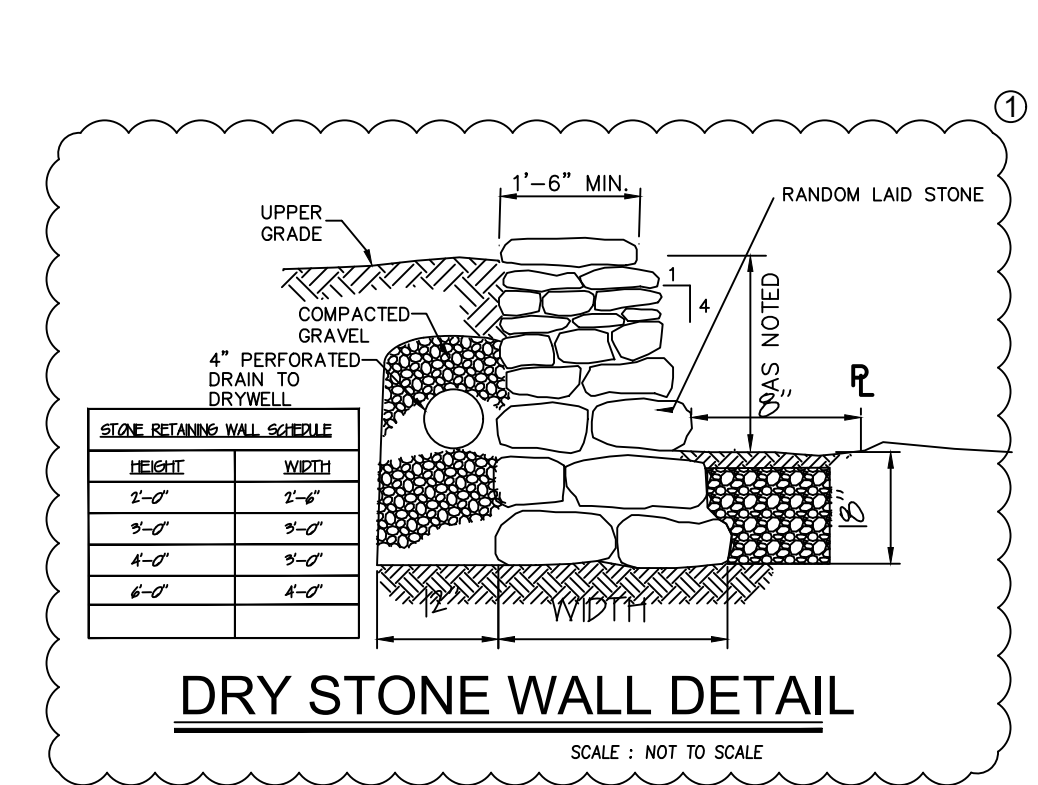
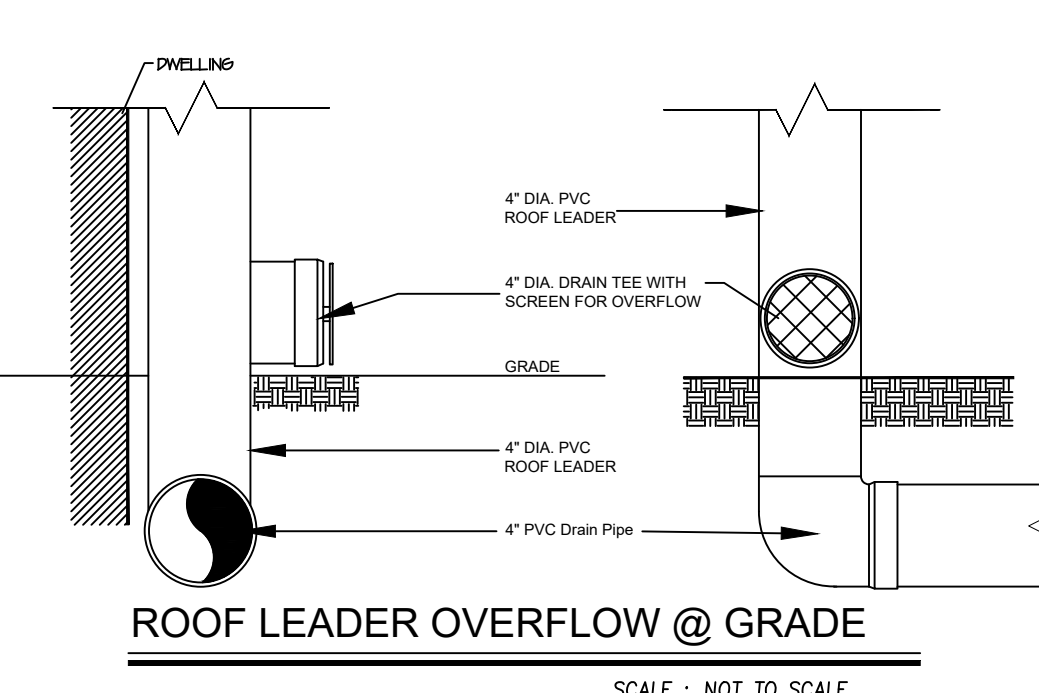
Date: 1/14 2019 Stephen C. [Signature]
Signature of Applicant

Prepared by: (if different than the applicant)

Name and Title: _____
Agency/Company: _____
Street Address: _____
City, State, Zip: _____
Phone: _____ Fax: _____ Email: _____

I certify that I prepared this Coastal Assessment Form for the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: _____ 20 _____
Signature of Preparer



LOCATION MAP

DO NOT SCALE DRAWINGS

No.	DESCRIPTION	DATE
1	ENGINEERING COMMENTS	01.14.2019

- REVISIONS -

EROSION CONTROL AND SITE IMPROVEMENT PLAN FOR

145 EAST GARDEN ROAD
LARCHMONT
NEW YORK 10583

Benedict A. Salanitro, P.E., PC
CIVIL ENGINEER

609 BROOK STREET
Mamaroneck, New York 10543

TEST PIT DATA

	TEST PIT DATA
TP1	12" Ø X 48" DEEP. NO ROCK OR WATER. PERC TEST PERFORMED 1" DROP/10 MIN
TP2	4" X 4" X 4" DEEP. ROCK @ 48" DEEP NO WATER
TP3	12" Ø X 12" DEEP. ROCK @ 12" NO WATER
TP4	30" X 5" X 48" DEEP. ROCK @ 48" NO WATER

PROJECT No: 112418
DATE: 11/24/18
SCALE: AS NOTED
DRAWN BY: V.S.
CHECKED BY: B.S.

ER-2

PLANTING SPECIFICATIONS:

GENERAL: All plants, trees, and shrubs shall meet the specifications for "plant material" as per the American Standard for Nursery Stock. The landscape architect reserves the right to inspect all plants prior to shipping and installation. There are to be no substitutions of the plants without the consent of the landscape architect.

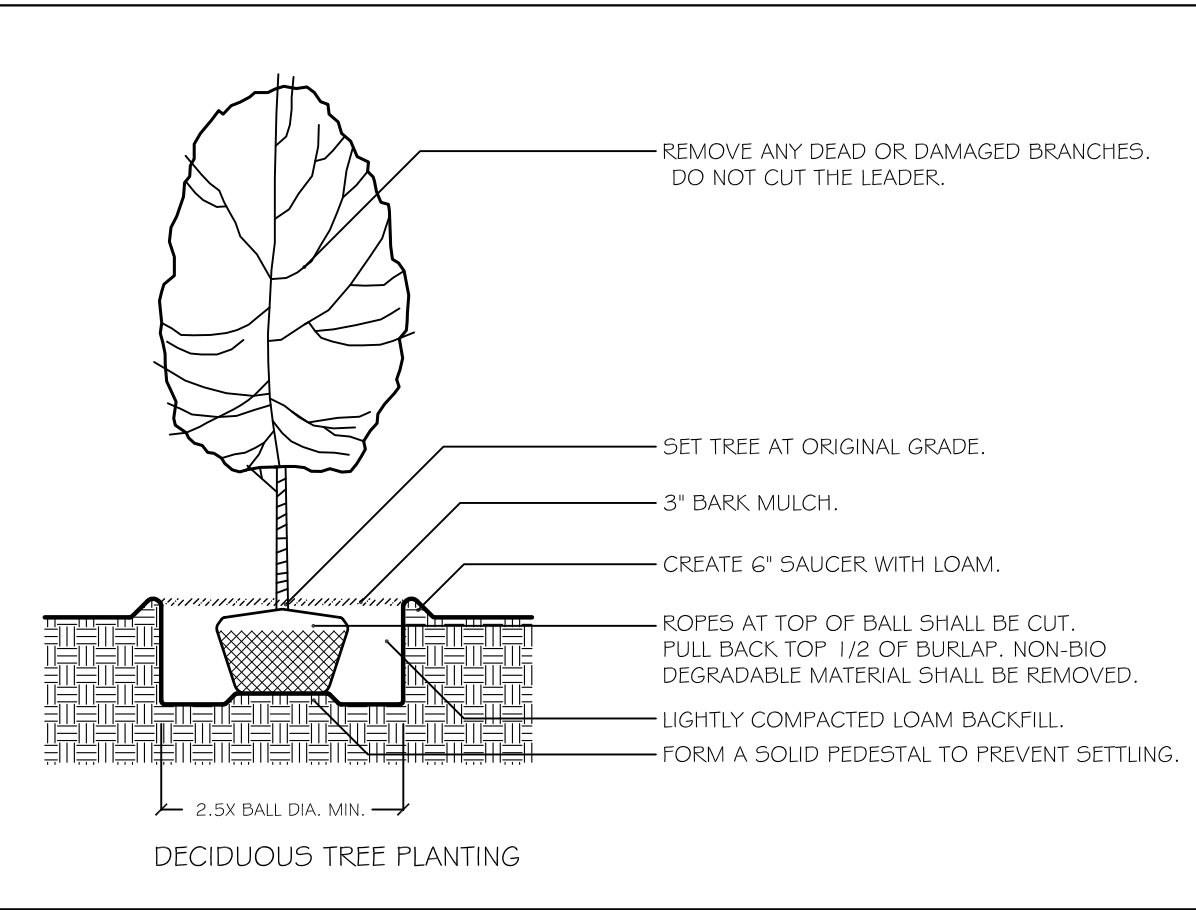
PLANTING: All plants shall be planted in pits two times the diameter of the root ball or container. Plant height should be placed at or slightly above previous grade. Pull back burlap from top of ball and cut wire on tree basket. Ensure that the burlap is not exposed above grade because of water loss. Staking and guying shall be used only when necessary. When the method is used, care should be taken to protect the tree bark and wires should be removed as soon as possible.

MULCHING: All planting beds (EXCEPT GROUND COVER) shall be mulched with three inches of shredded bark to conserve water and keep roots covered during initial growth stage. Do not place mulch heavily around crown of plants.

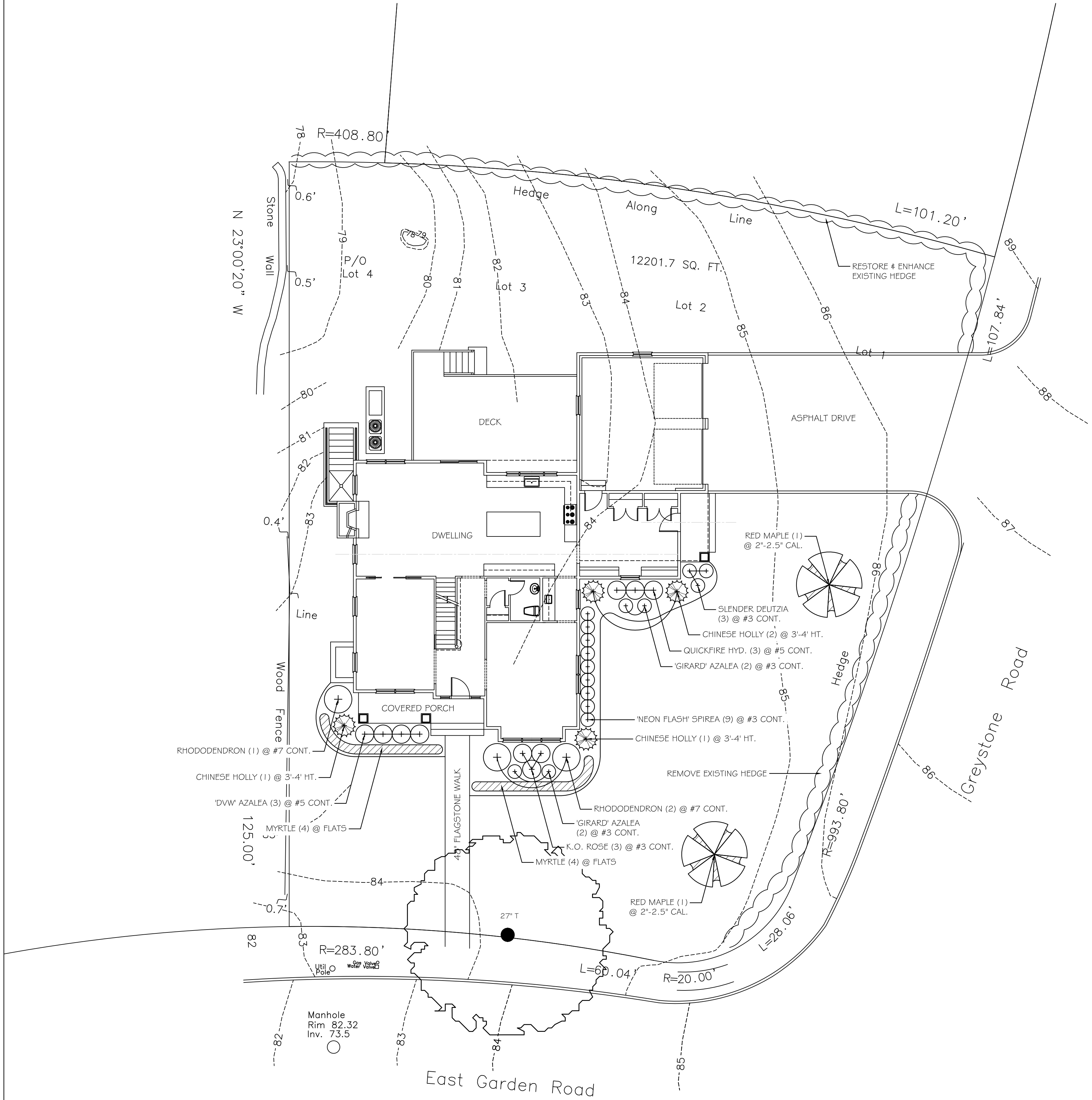
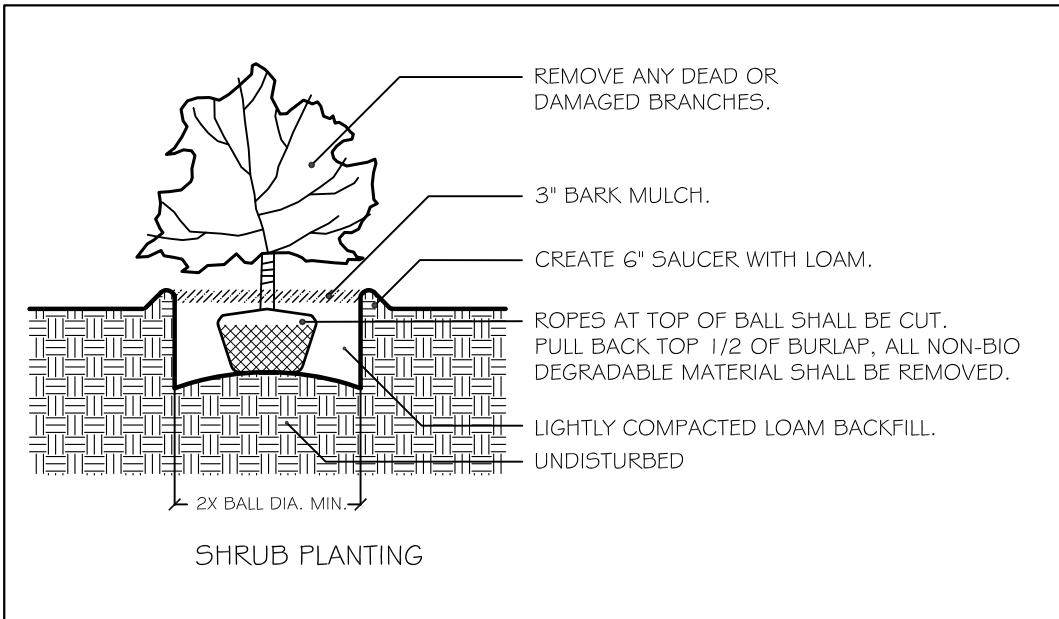
WINTER CARE: All trees and shrubs shall be sprayed with an anti-desiccant the first November after planting.

WATERING: All plants shall be watered by the contractor during the initial growth stage. Trees shall be heavily watered several times during the first month after planting and then regularly for the next two summers.

PLANT GUARANTEE: Contractor shall guarantee all newly installed plants for one-year provided that they are given proper watering/care and contractor is notified of unhealthy stressed plants immediately.



Foundation Planting			
Scientific Name	Common Name	Size	Quantity
Trees			
<i>Acer rubrum</i>	Red Maple	2	2"-2.5" cal.
Shrubs			
<i>Azalea</i> spp. 'Del. Valley White'	Delaware White Azalea	#5 cont.	3
<i>Azalea</i> spp. 'Gerrard'	Gerrard Azalea	#3 cont.	4
<i>Deutzia gracilis</i>	Slender Deutzia	#3 cont.	3
<i>Hydrangea paniculata</i> 'Quickfire'	Quickfire Hydrangea	#5 cont.	3
<i>Ilex</i> mes. 'China Girl'	China Girl Holly	3'-4' ht.	4
<i>Rhododendron</i> 'Roseum Elegans'	Roseum Elegans Rhododendron	#7 cont.	3
<i>Rosa</i> - Shrub (Pink)	Pink Knock Out Rose	#3 cont.	3
<i>Spiraea japonica</i> 'Neon Flash'	Neon Flash Spiraea	# 3 cont.	9
Groundcovers			
<i>Vinca minor</i>	Myrtle	flats	8



ALL RIGHTS RESERVED. COPY OR REPRODUCTION OF THIS PLAN OR ANY PORTION, THEREOF IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.

ALTERATION OF THIS DRAWING, EXCEPT IF DONE BY OR UNDER THE DIRECTION OF THE LICENSED L.A. THAT PREPARED THEM, IS A VIOLATION OF NYS EDUCATION LAW.

MARSH DEVELOPMENT
STEPHAN MARSH
22 ORSINI DRIVE
LARCHMONT, NY 10538

REVISION DATE

145 EAST
GARDEN ROAD
LARCHMONT, NY 10538

PLANTING
PLAN

DANIEL SHERMAN

LANDSCAPE ARCHITECT

4 BROADWAY - SUITE 9
VALHALLA, NY 10595

PHONE: (914) 824 - 0999
FAX: (914) 824-0251

dan.danshermanlandscape@gmail.com
www.danshermanlandscape.com



DATE:

DEC. 21, 2018

SCALE:

1" = 10' - 0"

DRAWN BY:
AL

DRAWING #
L - 1