

**TOWN OF MAMARONECK - VILLAGE OF LARCHMONT
COASTAL ZONE MANAGEMENT COMMISSION**

Monday, September 23, 2019

**7:30 PM, Mamaroneck Town Center, 1st Floor - Conference Room D, 740 W.
Boston Post Road, Mamaroneck, NY 10543**

Approval of Minutes

1. Approval of Minutes - July 22, 2019

Agenda Items

1. 30 Greystone Road - Residential Site Plan
2. 67 Rockland Ave - Residential Site Plan
3. 12 Old Colony Drive - Site Plan Approval
4. USOPEN - Site Plan, Wetlands and Water Courses
5. NYSDOT - Consistency Review

Old Business

New Business

Meeting Adjournment

Any physically handicapped person needing special assistance in order to attend the meeting should call the Town Administrator's office at 381-7810.



Town of Mamaroneck — Village of Larchmont

COASTAL ZONE MANAGEMENT COMMISSION

TOWN CENTER: 740 West Boston Post Road, Mamaroneck, NY 10543-3353

TEL: 914-381-7845 FAX: 914-381-8473 conservationdept@townofmamaroneck.org

CZMC Minutes - Draft

July 22, 2019

A meeting of the Coastal Zone Management Commission (CZMC) was held on Monday, July 22, 2019 in the Mamaroneck Town Center, Conference Room D, 1st Floor, 740 W. Boston Post Road, Mamaroneck, New York. The meeting was called to order at 7:35 p.m.

MEMBERS PRESENT:

C. Alan Mason, Chairman
Tara Anderson
Sara Hanna
Matthew Teitsch
Robert Fletcher
Maurizio Bertini
Kanan Sheth

OTHERS PRESENT:

Elizabeth Aitchison (Paul), Environmental Planner, Town of Mamaroneck
Jaine Elkind Eney, Deputy Town Supervisor, Liaison to CZMC
Benedict Salanitro, Engineer, 668 Forest Avenue
Stephen G. Anderson, 85 Colonial Avenue

1. Approval of Minutes

The minutes of the June 17, 2019 meeting were approved as amended.

2. Referral – 668 Forest Avenue

Benedict Salanitro presented the proposal to demolish the existing house at 668 Forest Avenue and construct a new single-family home. The project is before the Town of Mamaroneck Planning Board for Residential Site Plan approval.

The proposal includes the removal of rock and several mature trees as well as the installation of three 4x6 drywells. The applicant is proposing to plant three street trees in lieu of planting replacement trees on the property. CZMC found the proposal to be consistent with the policies in the Local Waterfront Revitalization Program (LWRP).

3. Referral – 85 Colonial Avenue

Stephen Anderson presented the proposal to demolish the existing house at 85 Colonial Avenue and construct a new single-family home. The project is before the Town of Mamaroneck Planning Board for Subdivision and Residential Site Plan approval.

The proposal includes the installation of a stormwater system in the front yard and porous pavement at the bottom of the driveway to prevent icing conditions in the roadway. No trees are to be removed (there are no trees on the property) and the landscaping plan indicates there will be 2 dogwood trees, one cherry tree and two street trees planted.

CZMC found the proposal to be consistent with the policies in the Local Waterfront Revitalization Program (LWRP) but had a few comments and concerns with the project.

- The landscape plan should indicate the species of street trees being proposed.
- A fence should be installed along the eastern property line to protect the tree on the neighbor's lawn and prevent workers from using this area to access the rear of the site. If this area is used as a construction access, the root zone of the tree will be compacted and the tree will suffer.
- CZMC members expressed concerns about the safety of children walking to school with the lack of sidewalks and presence of construction vehicles and additional cars parked on the street.

4. **Old Business**

No old business to discuss.

5. **New Business**

No new business to discuss.

The meeting was adjourned at 8:25 p.m.

**Town of Mamaroneck - Village of Larchmont
Coastal Assessment Form (CAF)**

Applicants, or the appropriate municipal agency, shall complete this Coastal Assessment Form (CAF) for proposed actions which are subject to Local Consistency Review (see Waterfront Revitalization Law §§234-1 through 234-5 in the Code of the Town of Mamaroneck and §§292-1 through 292-4 in the Code of the Village of Larchmont). This assessment is intended to supplement other information used by the Bi-Municipal Coastal Zone Management Commission in making a determination of consistency with the Town of Mamaroneck and Village of Larchmont Local Waterfront Revitalization Program.

Upon completion of this form, it should be submitted as part of a complete application package for review. If assistance or further information is required for Town of Mamaroneck matters, please contact the Town of Mamaroneck Environmental Planner at (914) 381-7845. For Village of Larchmont matters, please contact the Village of Larchmont Building Inspector at (914) 834-6210.

PLEASE PRINT OR TYPE ALL ANSWERS.

A. GENERAL INFORMATION

Will the proposed action be undertaken by a municipal agency? Yes [] No [☒]

If yes, please list agency or agencies and contact person(s): _____

If no, please complete the applicant information:

Name of Applicant: GREGORY LEWIS - ARCHITECT
Street Address: 753 FOREST AVE.
City, State, Zip: LARCHMONT, NY 10538
Phone: 914 413 3693 Fax: — Email: GREGORY.M.LEWIS @
HOTMAIL.COM

Location and ownership of property for which action is proposed:

Section: 2 Block: 12 Lot: 454
Owner of Property: LARRY FINE
Street Address: 30 GREYSTONE ROAD
City, State, Zip: LARCHMONT, NY 10538
Phone: 917-225-0051 Fax: — Email: —

Size of property (square feet): 6185 SF Is the property now developed? Yes [☒] No []

Will project require a zoning variance? Yes [] No [☒]

If yes, briefly describe: —

Describe any unique/unusual landforms on the project site (rock outcroppings, swales, etc.):

13' GRAPE CHANGE (HIGH IN BACK)

Percentage of site which contains slopes of 25% or greater:

0%

Are there streams, lakes, ponds or wetlands existing within or contiguous to the project area?

If so, describe (name, size, characteristics):

NONE

Will the action require approval by a state or federal agency? Yes [] No [☒]

If yes, specify which state or federal agency and attach a copy of pending application and any relevant information and/or documentation to this form:

NA

B. DESCRIPTION OF SITE AND PROPOSED ACTION

Provide a written description of the nature and the extent of the proposed action. Attach plans or additional information as necessary and/or required by application procedures.

DEMOLISH EXISTING HOUSE

BUILD 4183 SF NEW HOUSE (2-STORY)

C. COASTAL ASSESSMENT

Check either "Yes" or "No" for each of the following questions:

1. Will the proposed action be located in, or contiguous to, or have a **potentially adverse effect** upon any of the following designated resource areas?

	Yes	No	Maybe
a. Significant fish or wildlife habitat or designated critical environmental area	[]	[X]	[]
b. Scenic resources of local significance	[]	[X]	[]
c. Natural protective features in an erosion hazard area	[]	[X]	[]

NOTE: If the answer to any of the above questions is "Yes", please explain in Section D any measures which will be undertaken to mitigate the adverse effects.

2. Will the proposed action have a **significant effect** upon:

	Yes	No	Maybe
a. Commercial or recreational use of fish and wildlife resources.....	[]	[X]	[]
b. Scenic quality of the coastal environment	[]	[X]	[]
c. Development of future, or existing water dependent uses	[]	[X]	[]
d. Land or water uses within a small harbor area	[]	[X]	[]
e. Stability of the shoreline	[]	[X]	[]
f. Surface or groundwater quality.....	[]	[X]	[]
g. Existing or potential public recreation opportunities.....	[]	[X]	[]
h. Structures, sites or districts of historic, archeological or cultural significance to the local area, state or nation	[]	[X]	[]

3. Will the proposed action **involve or result in** any of the following:

	Yes	No	Maybe
a. Physical alteration of land along the shoreline, land underwater or coastal waters.....	[]	[X]	[]
b. Expansion of existing public services or infrastructure in or near undeveloped or low density areas of the coastal area?	[]	[X]	[]
c. Filling, dredging, excavation or mining in coastal waters	[]	[X]	[]
d. Reduction of existing or potential public access to or along the shore.....	[]	[X]	[]
e. Development within a designated flood or erosion hazard area	[]	[X]	[]
f. Development of a natural feature that protects against flooding or erosion	[]	[X]	[]
g. Replacement of eroded sand or soil	[]	[X]	[]
h. Construction or reconstruction of erosion protective structures	[]	[X]	[]
i. Any change in surface or groundwater quality	[]	[X]	[]
j. Removal of trees from the site	[]	[X]	[]

4. Project details:

	Yes	No	Maybe
a. If the project is to be located adjacent to the shore: NA			
1. Does the project require a waterfront site in order to function	[]	[X]	[]
2. Will water-related recreation be provided	[]	[X]	[]
3. Will public access to shore or state owned underwater lands be provided.....	[]	[X]	[]
4. Will it replace a recreational or maritime use	[]	[X]	[]
5. Do essential public services and facilities presently exist at or near the site..	[]	[X]	[]

6. Is the site located near a flood prone area.....[] ☒ []
7. Is the site located in an area of high erosion.....[] ☒ []
- b. Is the site presently used by the community as an open space or recreation area.....[] ☒ []
- c. Does the project site offer or include scenic views/vistas known to be important to the community or the state[] ☒ []
- d. Will the surface area of any waterways or wetland areas be increased or decreased by the project.....[] ☒ []
- e. Will the project involve any waste discharges into coastal waters[] ☒ []
- f. Does the project involve discharge of toxins, hazardous substances or other pollutants into coastal waters.....[] ☒ []
- g. Will the project affect any area designated as a tidal or freshwater wetland[] ☒ []
- h. Will the project result in an alteration of drainage flow patterns or surface water runoff on or from the site.....☒ [] []
- i. Will best management practices (BMPs) be utilized to control stormwater runoff☒ [] []
- j. Will any aspect of the proposed project result in emissions which exceed federal or state air quality standards or generate significant amounts of nitrates or sulfates[] ☒ []

Please explain any of the above answers that may need further clarification in Section D.

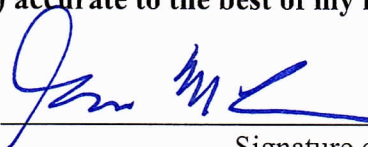
D. COMMENTS AND ADDITIONAL INFORMATION: (continue on back if necessary)

DOWNSPOUTS WILL BE CONNECTED TO TWO
DRYWELLS, WITH OVERFLOW TO A NEW
CATCH BASIN CONNECTED TO THE EXISTING
STORMWATER PIPE SYSTEM.

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

I certify that I am the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: 9/4 20 19



Signature of Applicant

Prepared by: (if different than the applicant)

Name and Title: _____

Agency/Company: _____

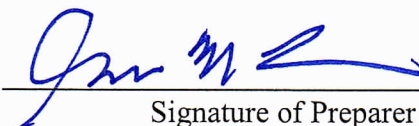
Street Address: _____

City, State, Zip: _____

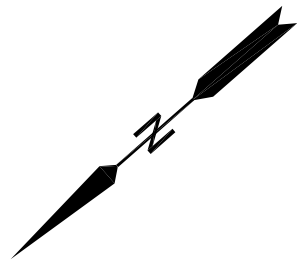
Phone: _____ Fax: _____ Email: _____

I certify that I prepared this Coastal Assessment Form for the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

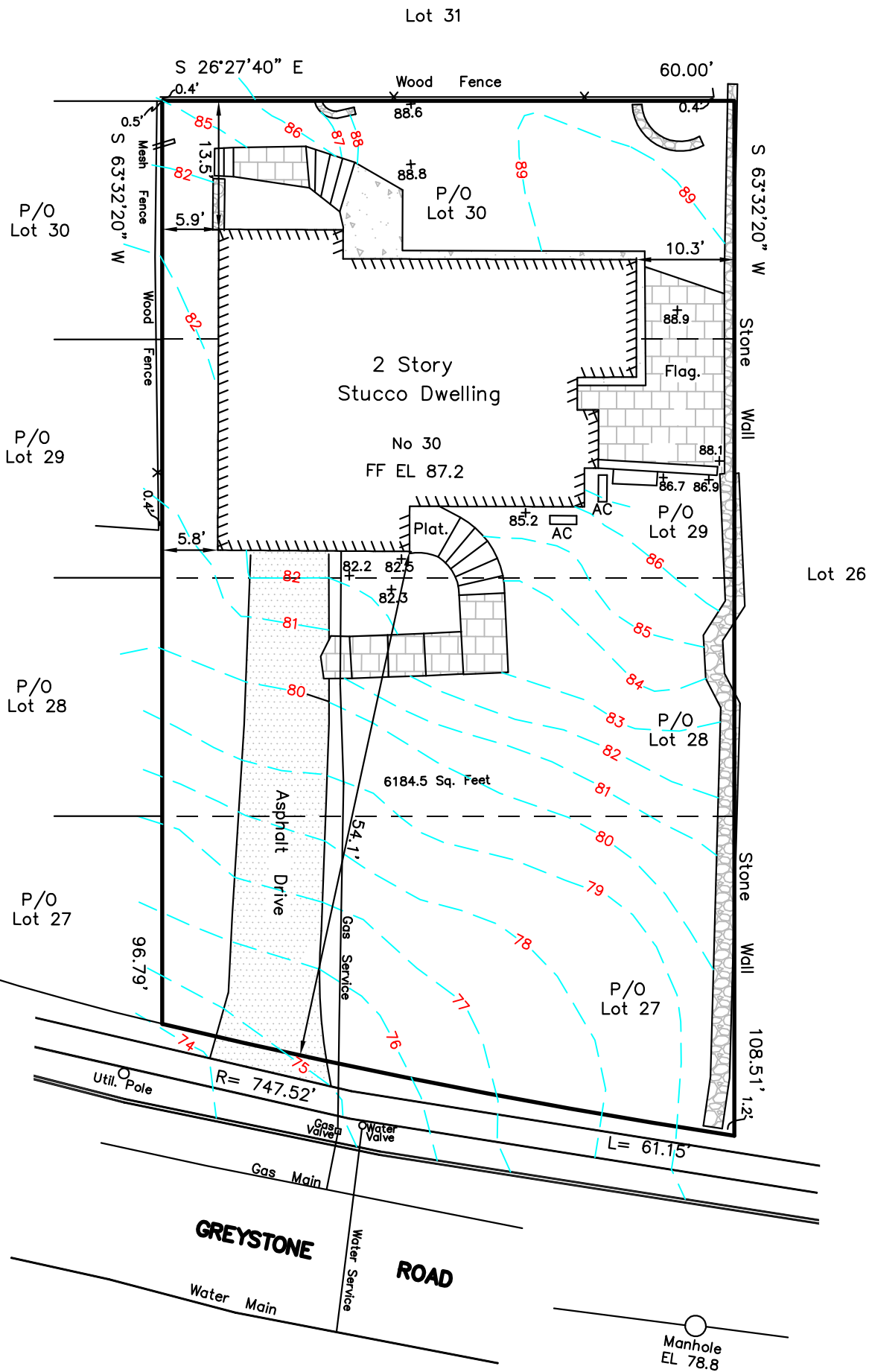
Date: 9/4 20 19




Signature of Preparer



Stoney Side Dr.



DocuSigned by:

928A24DD9741454
Richard A. Spinelli
650 Halstead Avenue
Mamaroneck, N. Y. 10543
(914) 381-2357
N.Y.S. Lic. Land Surveyor
No. 49240



Survey of portions of Lots 27 thru 30, Block 421 as on "Plan of Lots called Larchmont Gardens .." in the Town of Mamaroneck, Westchester County, New York Filed on March 14, 1912 as Map No. 1967

Scale 1"=15' April 2, 2019

STORMWATER SYSTEM NOTES:

1. ALL RUNOFF FROM THE PROPOSED PATIO TO BE COLLECTED AND CONVEYED INTO THE PROPOSED STORMWATER SYSTEM AS SHOWN.
2. IT SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION FOR THE STORMWATER SYSTEM THAT NO UTILITIES ARE IN INTERFERENCE.
3. CONTRACTOR TO VERIFY ALL PROPOSED ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. ALL ELEVATIONS BASED ON THE TOPOGRAPHIC INFORMATION PROVIDED BY ENGINEER.
5. ALL STORM WATER PIPING TO BE 4" SCHED. 40 PVC UNLESS OTHERWISE NOTED.

DRAWING INFORMATION:

1. PROPOSED IMPROVEMENTS SHOWN ON THIS SHEET IS OBTAINED FROM THE PROPOSED SITE PLAN PROVIDED BY LEWIS + LEWIS ARCHITECTS DATED 07/03/2019
2. PROPERTY SURVEY AND EXISTING ELEVATION PROVIDED BY RICHARD A SPINELLI LAND SURVEYOR DATED 04/02/2019.
3. SITE PLAN SHOWN HEREIN SHALL BE USED SOLELY TO ILLUSTRATE LOCATION OF THE STORMWATER SYSTEM & EROSION CONTROL PROVISIONS.

GENERAL NOTES:

1. ALL WORK MATERIALS, SPECIFICATIONS, REGULATIONS, RULES, PERMITS, ETC. OF ALL STATE, COUNTY AND THE TOWN OF MAMARONECK SHALL BE FOLLOWED BY THE CONTRACTOR.
2. ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURES RECOMMENDATIONS.
3. CONTRACTORS AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE JOB. CONTRACTOR SHALL SUPPLY THE REQUIRED INSURANCES AS SPECIFIED BY THE TOWN OF MAMARONECK.
4. CONTRACTOR SHALL FURNISH ALL PERMITS, LICENSES AND APPROVALS NECESSARY TO COMPLETE THE WORK.
5. CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS AND SERVICES FOR SATISFACTORY COMPLETION OF ALL WORK.
6. JOB SITE SHALL BE KEPT CLEAN AT ALL TIMES. TRASH TO BE REMOVED FROM THE SITE DAILY.
7. NOTIFY THE ENGINEER OF ANY UNSUITABLE SUB-SOIL CONDITIONS IF ENCOUNTERED DURING EXCAVATION.
8. CARE SHALL BE TAKEN TO PROTECT THE TREES TO REMAIN FROM THE METHODS OF CONSTRUCTION, TRAFFICKING AND STORAGE OF MATERIALS. RETURN THOSE AREAS DAMAGED BY SUCH TO THEIR ORIGINAL CONDITION.
9. DURING CONSTRUCTION, PROVISIONS FOR SAFE PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES.

INSTALLATION & MAINTENANCE OF EROSION CONTROL

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO START

EROSION CONTROL MEASURES

Install all erosion control measures prior to start of construction. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to installation.

INSPECTION BY MUNICIPALITY

MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

After any rain causing runoff Contractor to inspect haybales, etc. and remove any excessive sediment, and inspect stockpiles and correct any problems with seed establishment. Inspectors shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.

STOCK PILING OF EXCAVATED MATERIAL

Strip Topsoil and Stockpile, Stockpile Excavation Subgrade. Seed piles with 1 lb. total annual rye or remove from site within 2 days.

INSPECTION BY MUNICIPALITY

FINAL GRADING

Remove unneeded subgrade from site. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

LANDSCAPING

Spread topsoil evenly over areas to be seeded. Hand rake level. Broadcast 1.25 lb. Bag of Jonathan Green "Fastgrow" mix or equal over areas to be seeded. Apply straw mulch and water within 2 days of completion of topsoiling. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

FINAL LANDSCAPING

Grass established. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

FINAL INSPECTION

All erosion control measures removed and grass established.
Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

CODE 753 :

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES AND INSURE THAT INTERFERENCES WITH THE PROPOSED STORMWATER SYSTEM DO NOT EXIST.



CODE AND BUILDING DATA			
HABITABLE AREA (SQUARE FEET)		PROPOSED	
FIRST FLOOR		1,643	
SECOND FLOOR		1,541	
BASEMENT		999	
TOTAL		4,183	
NON-HABITABLE AREA			
GARAGE		326	
ALLOWED FLOOR AREA : 3,320 SF (3,184 SF PROPOSED)			
TOWN OF MAMARONECK ZONING DISTRICT: R-10			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA - SQUARE FEET	10,000	6,184.5*	6,184.5*
MINIMUM LOT WIDTH	85'	60'*	60'*
MINIMUM LOT DEPTH	100'	96.8*	96.8*
MINIMUM YARD DIMENSIONS			
PRINCIPAL BUILDING			
FRONT YARD	30'	54.1'	30.1'
ONE SIDE YARD	8'	5.8'	8.1'
BOTH SIDE YARDS	18'	16.1'	18.2'
REAR YARD	25'	13.5'	27.6'
ACCESSORY BUILDING-NA			
MAXIMUM PERCENTAGE OF LOT COVERAGE (35% MAXIMUM)		N.A.	2,154.5 SF (34.83%)
IMPERVIOUS SURFACES	NO MAX	N.A.	2,447.5 SF (39.57%)
MAXIMUM HEIGHT			
PRINCIPAL BUILDING (STORIES)	ALLOWED	N.A.	2
PRINCIPAL BUILDING (FEET)	2.5		27.9'
MINIMUM SIZE OF RESIDENTIAL BUILDINGS			
FIRST FLOOR (SQUARE FEET)	900 SF	N.A.	1,637 SF
*EXISTING CONDITION, NO CHANGE REQUESTED			

DRYWELL UNITS

DRYWELL UNITS TO BE INSTALLED WITH A CLEARANCE FROM ALL PROPERTY LINES & STRUCTURES TO BE A MIN. 10'-0".

NOTE:

ALL IMPORTED SOIL MATERIAL SHALL CONFORM WITH SOIL CONSTITUENT CONCENTRATIONS FOR UNRESTRICTED USE AS SPECIFIED BY THE NYSDEC DER-10 AND PART 375 STANDARDS.

CONSTRUCTION NOTE:

CONTRACTOR TO VERIFY ALL INVERT AND ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.

CONSTRUCTION NOTE:

TOWN OF MAMARONECK SPECIFICATIONS MUST BE FOLLOWED AND A STREET OPENING PERMIT SHALL BE OBTAINED FOR ANY WORK IN THE RIGHT-OF-WAY.

ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE "NYS STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL"

NOTE:

CONTRACTOR TO MAINTAIN 18" MIN. VERTICAL SEPARATION AT CROSSINGS OF NEW WATER SERVICE W. STORMWATER INFRASTRUCTURE.

NOTE:

MAINTENANCE OF PROPOSED STORM WATER MANAGEMENT PRACTICE SHALL BE DONE QUARTERLY DURING THE YEAR (POST CONSTRUCTION) AND SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. POST CONSTRUCTION MEASURES TO INCLUDE VISUAL INSPECTION AND DEBRIS REMOVAL BY VACUUM OF SUMP AND CULTEC UNITS

EXISTING IMPERVIOUS AREAS	
AREA	SF
HOUSE	1203
DRIVEWAY	474
WALKS + PATIO	525
WALLS	20
TOTAL	2222
PROPOSED IMPERVIOUS AREAS	
HOUSE	1653
PATIO & LANDING **	293
DRIVEWAY	220
AC UNITS	12.5
WALKWAY	150
WALLS	119
TOTAL	2447.5

INCREASE OF 226 SF

DRAINAGE DESIGN BASED ON 2448 SF

**PATIO NOT INCLUDED IN ZONING TABULATION FOR LOT COVER

LOT COVERAGE= 2154.5 SF ; 34.83%

SUPPLEMENTAL EROSION CONTROL NOTES:

- All installed Erosion and Sediment Control Devices shall conform to the 2016 NYSDEC New York Standards and Specifications for Erosion and Sediment Control.
- Construction Erosion and Sediment Controls shall be inspected by the Trained Contractor or other component individual having received NYSDEC 4-hour Erosion and Sediment Control training at a minimum of weekly and following all rain events greater than 0.5 inches.
- All inactive disturbed site areas shall receive temporary stabilization within 14 days.
- Construction details shall conform to the NYSDEC New York Standards & Specifications for Erosion and Sediment Control, latest edition.
- Installed infill shall require inspection by the Town or its delegated consultants prior to backfill. all imported construction fill and aggregates shall consist of fill clean fill capable of conforming with soil constituent concentrations for Unrestricted Use as specified by the NYSDEC DER-10 and Part 375 standards.
- All Soil Moving Operations are prohibited between the hours of 5:00 pm to 8:00 am Monday through Friday and on Saturdays, Sundays and State recognized public holidays.

Stormwater Sizing 30 Greystone Road, Larchmont NY (25-Year design)

Description	SF	Ft/Acre	Acres
Total Lot Area	6,184.50	43,560	0.14
Predevelopment			
Description	SF	Ft/Acre	Acres
Total Area	6,184.50	43,560	0.14
House	0.00	43,560	0.00
driveway	0.00	43,560	0.00
steps/walks	0.00	43,560	0.00
Grass	0.00	43,560	0.00
	6,184.50	43,560	0.14

TOTAL IMPERVIOUS AREAS 0.00

Raw Parc Test Data

Test Hole Diameter (inches) = 12

Initial Depth of Water (inches) = 14

Final Depth of Water (inches) = 13

Time of Percolation (minutes) = 1000

Derived Test Data

Hole Diameter (d) = 1.00 ft

Depth of Water (avg) (h) = 1.13 ft

Water drop(h) = 0.08 ft

Perc Time (Tp) = 0.69 days

Cylinder Surface Area

A_c = π d h

A_c = 3.53 SF

Cylinder Bottom Area

A_b = π r²

A_b = 0.79 SF

Percolation Area

A_p = A_c + A_b

A_p = 4.32 SF

Percolation Volume

V_p = A_p h x A_p

V_p = 0.07 CF

Soil Percolation Rate

S_{lt} = V_p x A_p x T_p

S_{lt} = 0.02 CF/SF/day

Adjust by 25% for Clayiness

S_{lt,adj} = 0.02 CF/SF/day

Water Quality Volume (as per Chapter 4 of the NYSDEC SWDM)

A = 2,448.00

Water Quantity Attenuation (No net increase for the 25-yr storm)

Using the SCS Runoff Equation

Pre-Development: Runoff Coefficient (C) = 75

Post-Development Runoff Coefficient (C) = 88

Rainfall Intensity (i) = 7.33 in/day

Area (A) = 2,448 SF

Storage Volume per Drywell & surrounded by 12" of 3/4" Gravel (w/ 40% void ratio)

113cf + 45cf = 161 CF - 6 foot diam x 4 foot deep concrete drywell

Q_{PRE} = 4.44

Q_{POST} = 5.87

V_{S,PRE} = Q x A

V_{S,PRE} = 906 CF

V_{S,POST} = Q x A

V_{S,POST} = 1,198 CF

V_S = V_{S,PRE} - V_{S,POST}

V_S = 292 CF

Storage Volume per Drywell

V_W = 161.00 CF

24-Hour Percolation Volume per Drywell

V_{DP,PRE} = B_{DP} H S_{lt}

V_{DP,PRE} = 0.00 CF

Required Drywells

D_R = V_S/V_T

D_R = 1.82

Required Culvert Units

Units For WQ_v

6x4 Drywell Units for Attenuating the 25-yr storm

0.00

1.82

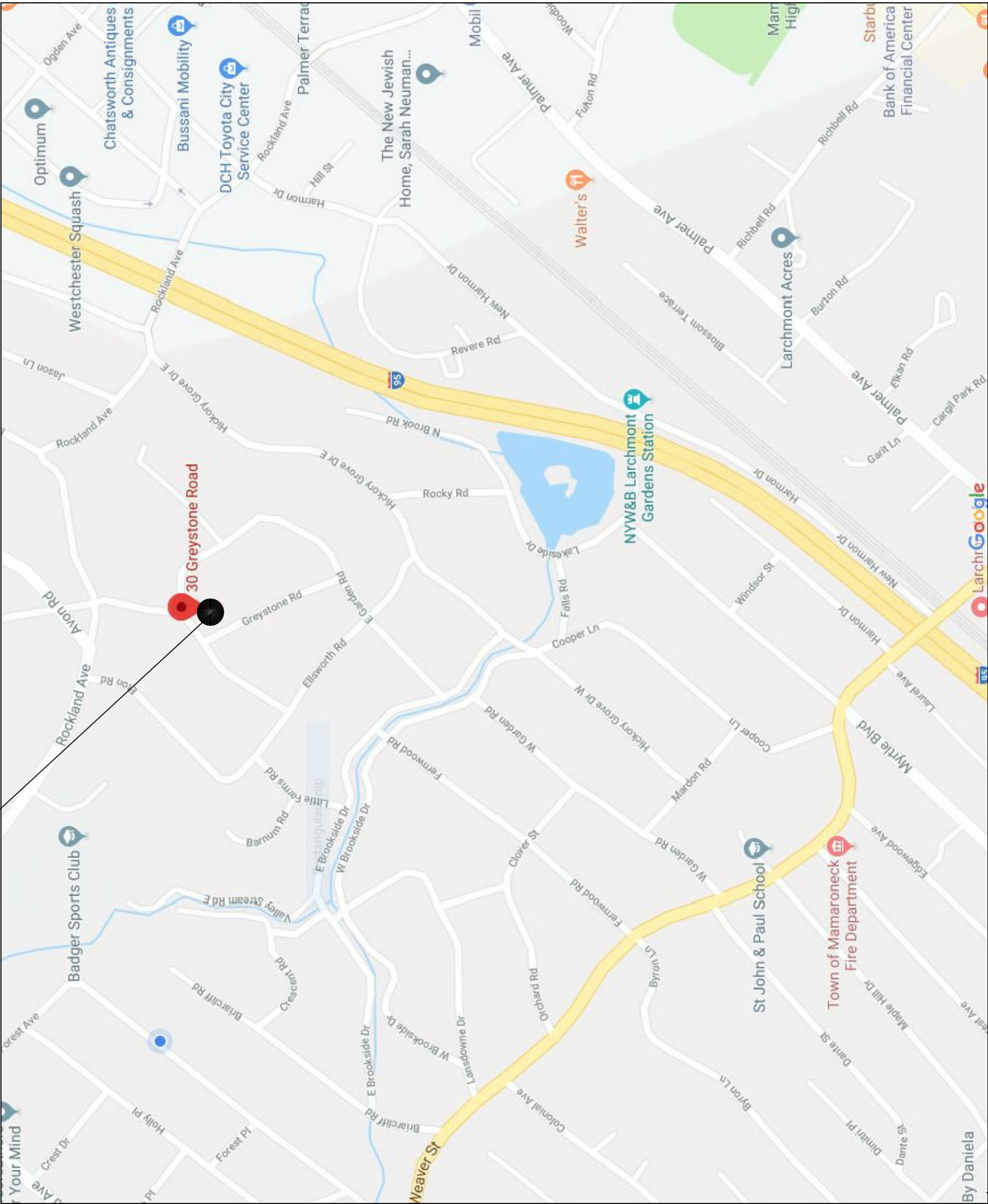
TOTAL NUMBER OF UNITS = 2.00

EXISTING CATCHBASIN
RIM = 68.0
INV IN = 66.2



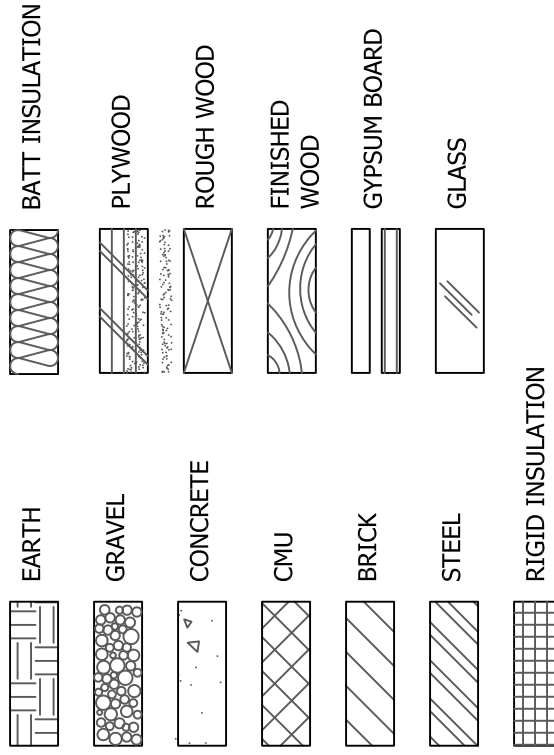
LOCATION

PROJECT LOCATION

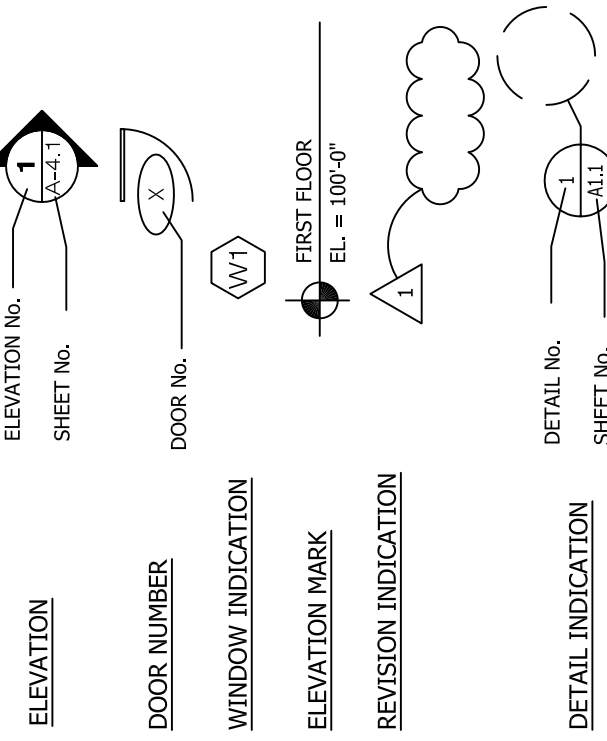


NORTH
LOCATION MAP
NO SCALE

MATERIAL



SYMBOLS



SCOPE OF WORK

DEMOLISH EXISTING HOUSE AND BUILD A NEW HOUSE

BY OWNER

THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:

- SURFACE MOUNTED LIGHTS
- CLOSET SYSTEMS
- LAUNDRY TUB
- WASHER AND DRYER
- CABINETS
- TILE

ALTERNATES

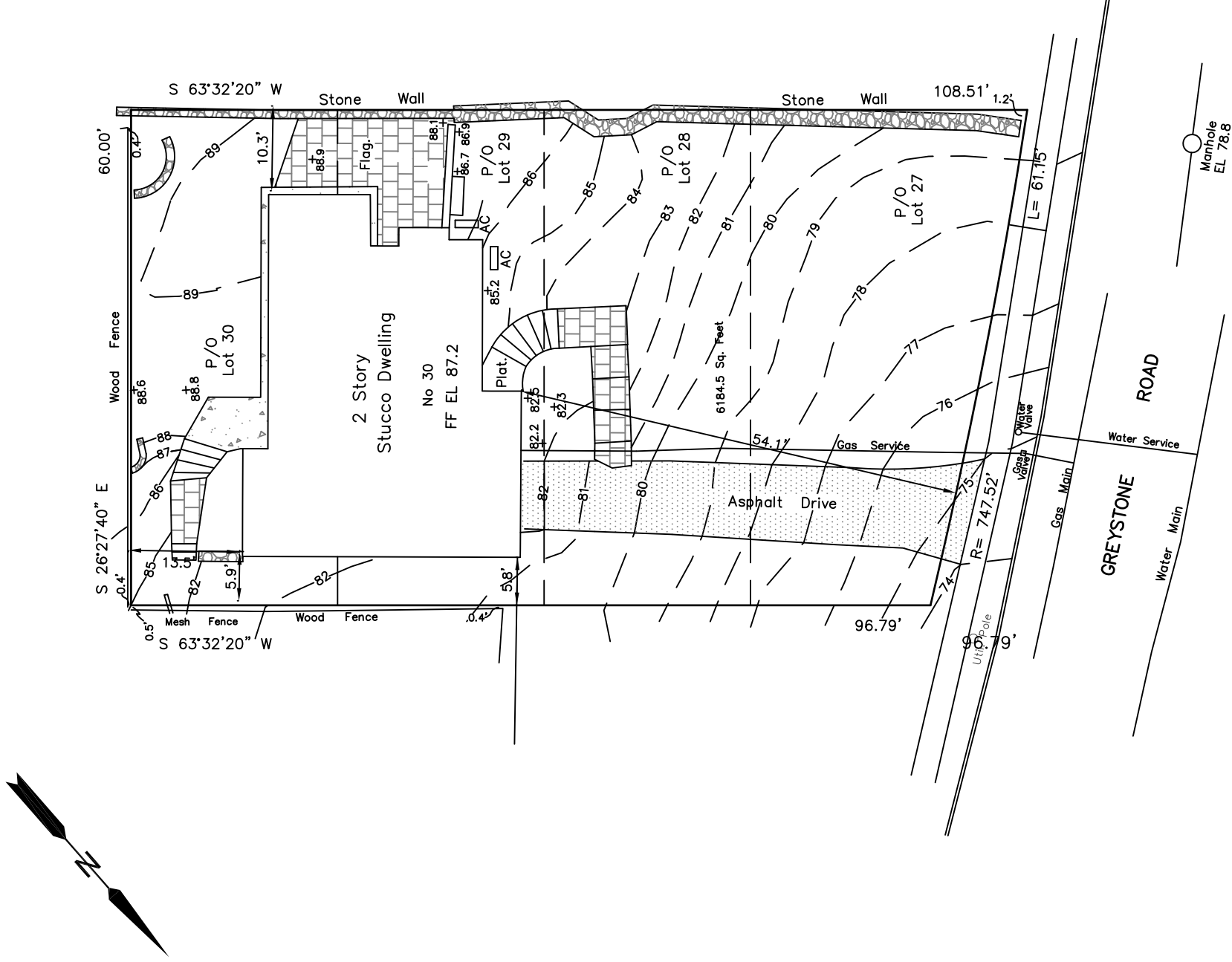
THE FOLLOWING ITEMS ARE ALTERNATES:

- NONE

STRUCTURAL GENERAL NOTES

- PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
- PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
- PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
- ALL EXTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS UNO.O.)
- NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
- MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
- FIRE CAULK AT ALL FLOOR PENETRATIONS
- ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
- PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS

SURVEY



SURVEY PREPARED BY RICHARD A. SPINELLI, DATED APRIL 2, 2019

CODE AND BUILDING DATA

HABITABLE AREA (SQUARE FEET)	PROPOSED
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MINIMUM YARD DIMENSIONS PRINCIPAL BUILDING	
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BOTH SIDE YARDS	18.2' 13.5'
REAR YARD	27.6'
ACCESSORY BUILDING-NA	
MAXIMUM PERCENTAGE OF LOT COVERAGE (35% MAXIMUM)	
IMPERVIOUS SURFACES	N.A. N.A.
MAXIMUM HEIGHT	
PRINCIPAL BUILDING (STORIES)	2
PRINCIPAL BUILDING (FEET)	27.9'
MINIMUM SIZE OF RESIDENTIAL BUILDINGS	
FIRST FLOOR (SQUARE FEET)	900 SF
*EXISTING CONDITION, NO CHANGE REQUESTED	

THERMAL CRITERIA

NEW YORK STATE ENERGY CODE, 2010
CLIMATE ZONE 4
MINIMUM R-VALUE OF WALLS - R-19
MINIMUM R-VALUE OF CEILINGS - R-30
MINIMUM U-VALUE OF FENESTRATIONS - U-0.3

CLIMATIC AND GEOGRAPHICAL CRITERIA

NEW YORK STATE RESIDENTIAL BUILDING CODE, 2010
GROUND SNOW LOAD : 30 PSF
WIND SPEED : 110 MPH
SEISMIC DESIGN CATEGORY : C
FROST DEPTH : 42"
WEATHERING : SEVERE
TERMITE : MODERATE TO HEAVY
FLOOD HAZARD : NOT APPLICABLE
PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

NEW YORK STATE RESIDENTIAL BUILDING CODE, 2010
LIVE LOAD:
LIVING AREAS AND DECK : 40 PSF
BEDROOMS: 30 PSF
DEAD LOAD : 10 PSF
GROUND SNOW LOAD: 30 PSF
DOUGLAS FIR #2, $f_b = 900$, $E=1,400,000$ (OR BETTER)
PSF = POUNDS PER SQUARE FOOT

DRAWING INDEX

T-1	TITLE SHEET
L-1	DEMOLITION AND PROPOSED LANDSCAPING PLANS
A-1	DEMOLITION AND PROPOSED SITE PLANS
A-1.1	MAP FOR ADJACENT PROPERTIES
A-2	BASEMENT AND FIRST FLOOR PLANS
A-3	SECOND FLOOR AND ROOF PLANS AND NOTES
A-4	BASEMENT AND FIRST FLOOR REFLECTED CEILING AND ELECTRICAL PLANS AND NOTES
A-5	SECOND FLOOR REFLECTED CEILING AND ELECTRICAL PLANS AND NOTES
A-6	FRONT AND RIGHT SIDE ELEVATIONS
A-7	REAR AND LEFT SIDE ELEVATIONS
A-8	RETAINING WALL DETAILS

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE 2010 AND THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. SEE "BUILDING ENVELOPE" THERMAL COMPONENTS CRITERIA FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE RESIDENTIAL CODE OF NEW YORK STATE 2010 AND THE ENERGY CONSERVATION CODE OF NEW YORK STATE.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERMIT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH THE STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THE RESIDENTIAL CODE OF NEW YORK STATE.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID..
 - IF ALTERED.
 - IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED ON THESE PLANS.
 - IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PREVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUIVALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- IN THE ABSENCE OF A SOILS REPORT, THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
- RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED.
- ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AGAIN ALL PENETRATIONS THROUGH EXTERIOR.
- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.
- ALL PLUMBING WORK SHALL CONFORM TO THE RESIDENTIAL CODE OF NYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.
- ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP CASINGS FOR PENETRATIONS OF 2 1/2" O.D. OF 2 3/4" O.D. CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF NYS FOR TERMITE PROTECTION (R320) BY REQUIRING PRESSURE PRESERVATIVELY TREATED WOOD AS PRESORBED IN SECTION R320.1 AND FOR PROTECTION AGAINST DECAY (R319).
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.

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ARCHITECTS

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CZMC SUBMITTAL		9/9/2019

GOLDANSKY

GREYSTONE
NEW CONSTRUCTION

30 Greystone Road
Larchmont
New York 10538

NOTES

SHEET DESCRIPTION:

TITLE SHEET

SHEET No.

T-1

PHASE:

CZMC SUBMITTAL

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New York 10538

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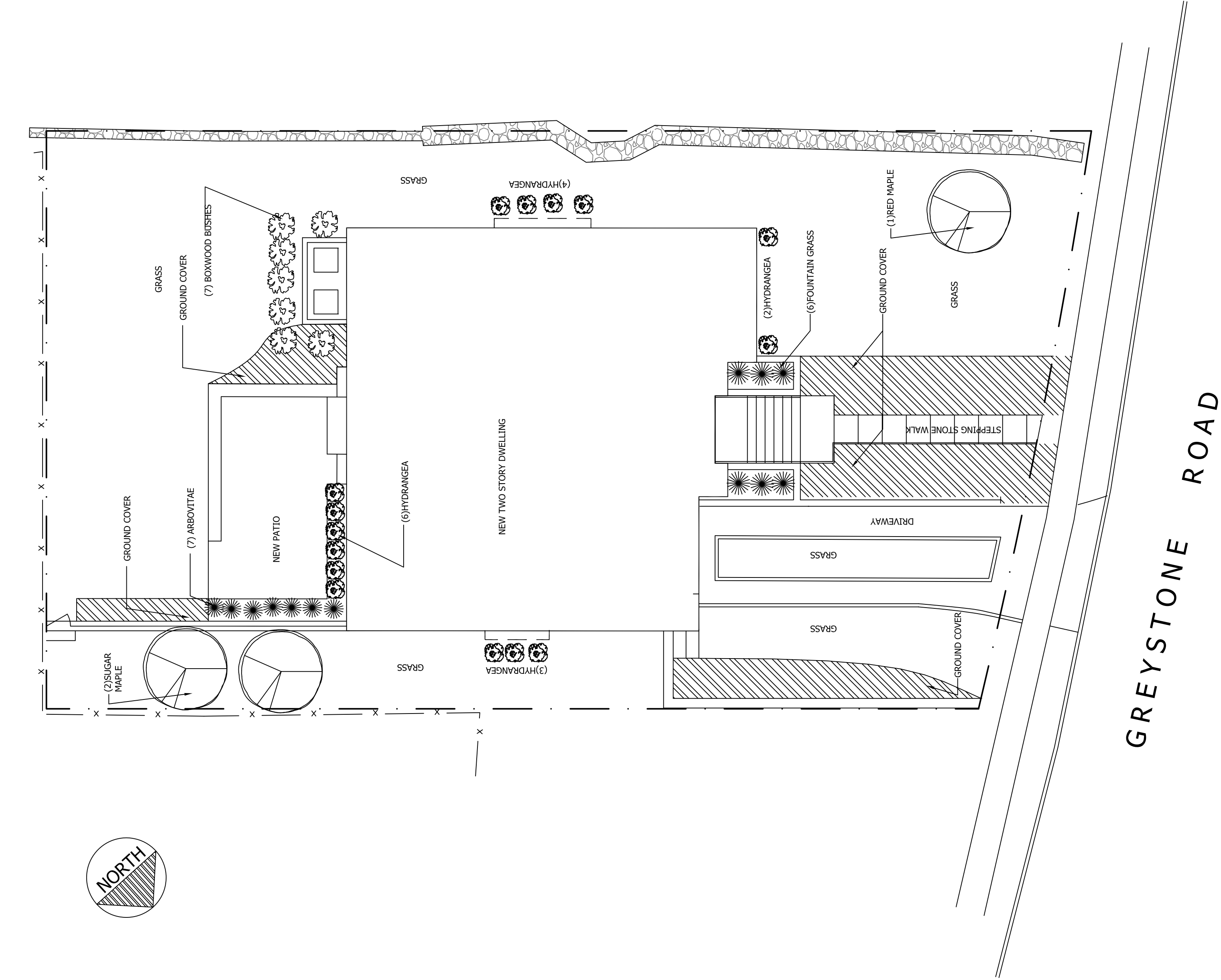
DEMOLITION AND
PROPOSED
LANDSCAPING PLANS

SHEET No.

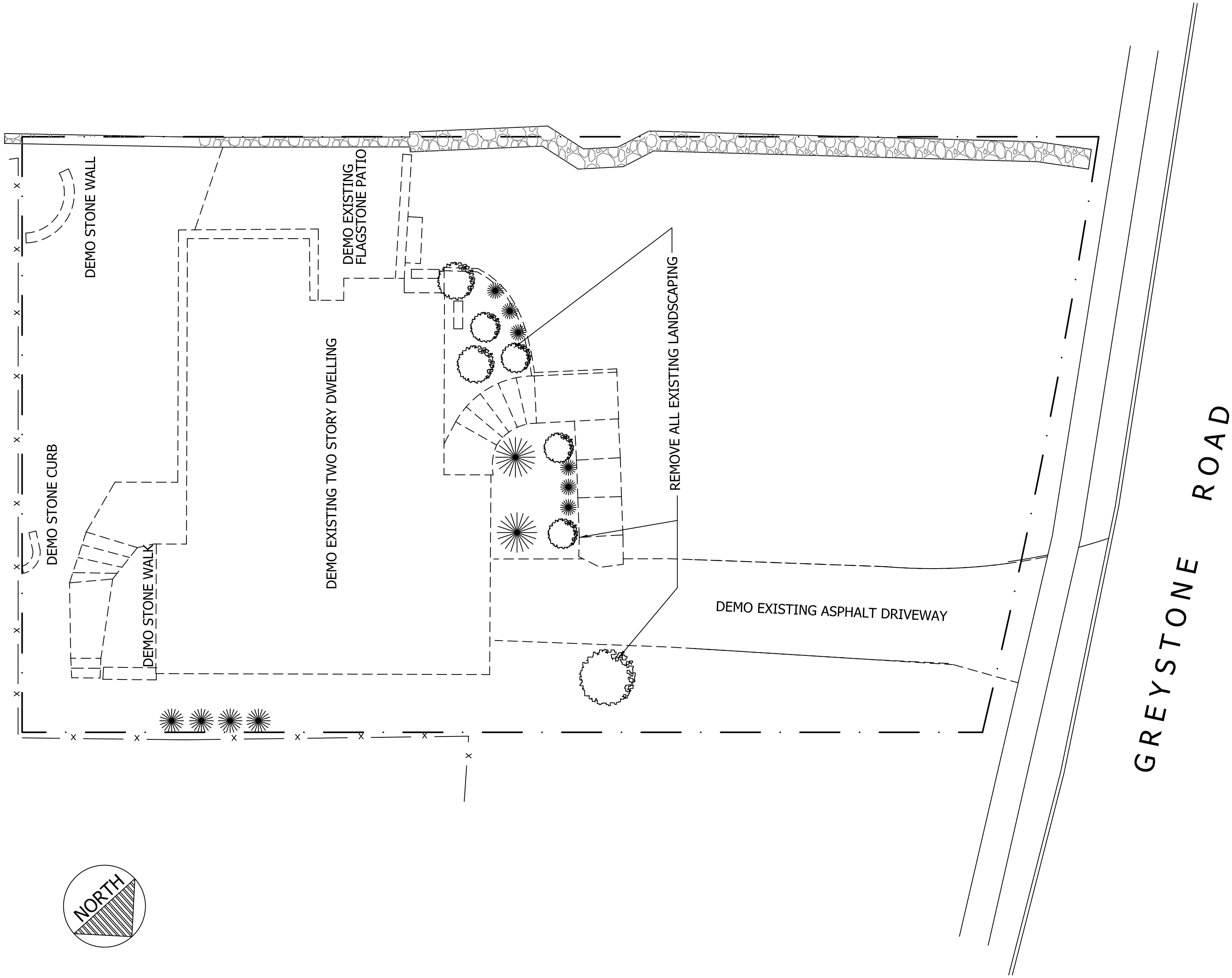
L-1

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PROPOSED LANDSCAPING PLAN
SCALE : 1 / 8" = 1'-0"



LANDSCAPE DEMOLITION PLAN
SCALE : 1 / 8" = 1'-0"

LANDSCAPE LIST			
TREE OR PLANT	LATIN NAME	SIZE	CANOPY INSTALLED
RED MAPLE	ACER RUBRUM	2'	12'
HYDRANGEA	HYDRANGEA MACROPHYLLA	2 GAL	N/A
FOUNTAIN GRASS	PENNISETUM SETACEUM	9.25'	N/A
BOXWOOD	BUXUS	3 GAL	N/A
ARBORVITAE	THUJA	4'	4'
			30'

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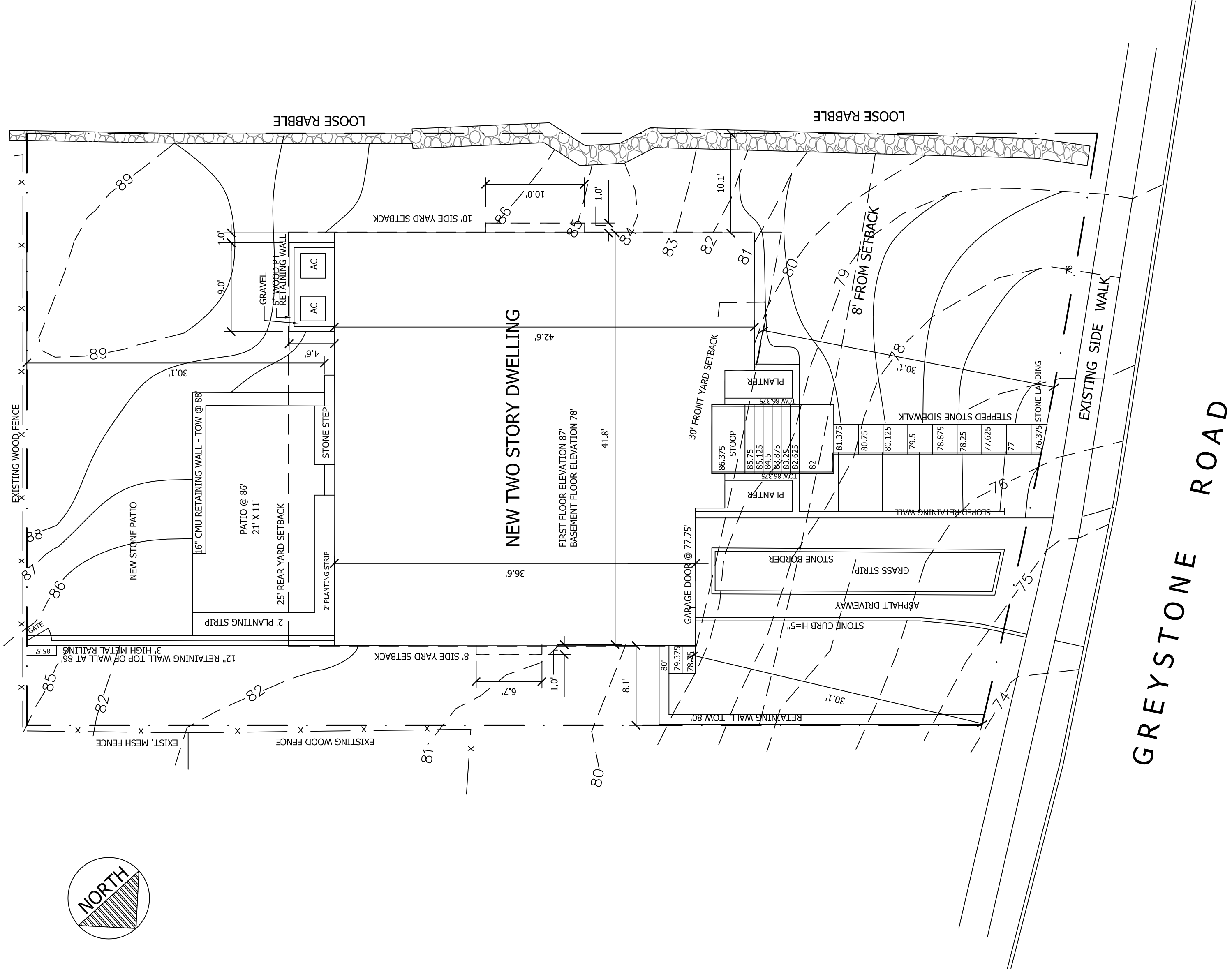
DEMOLITION AND
PROPOSED
SITE PLANS

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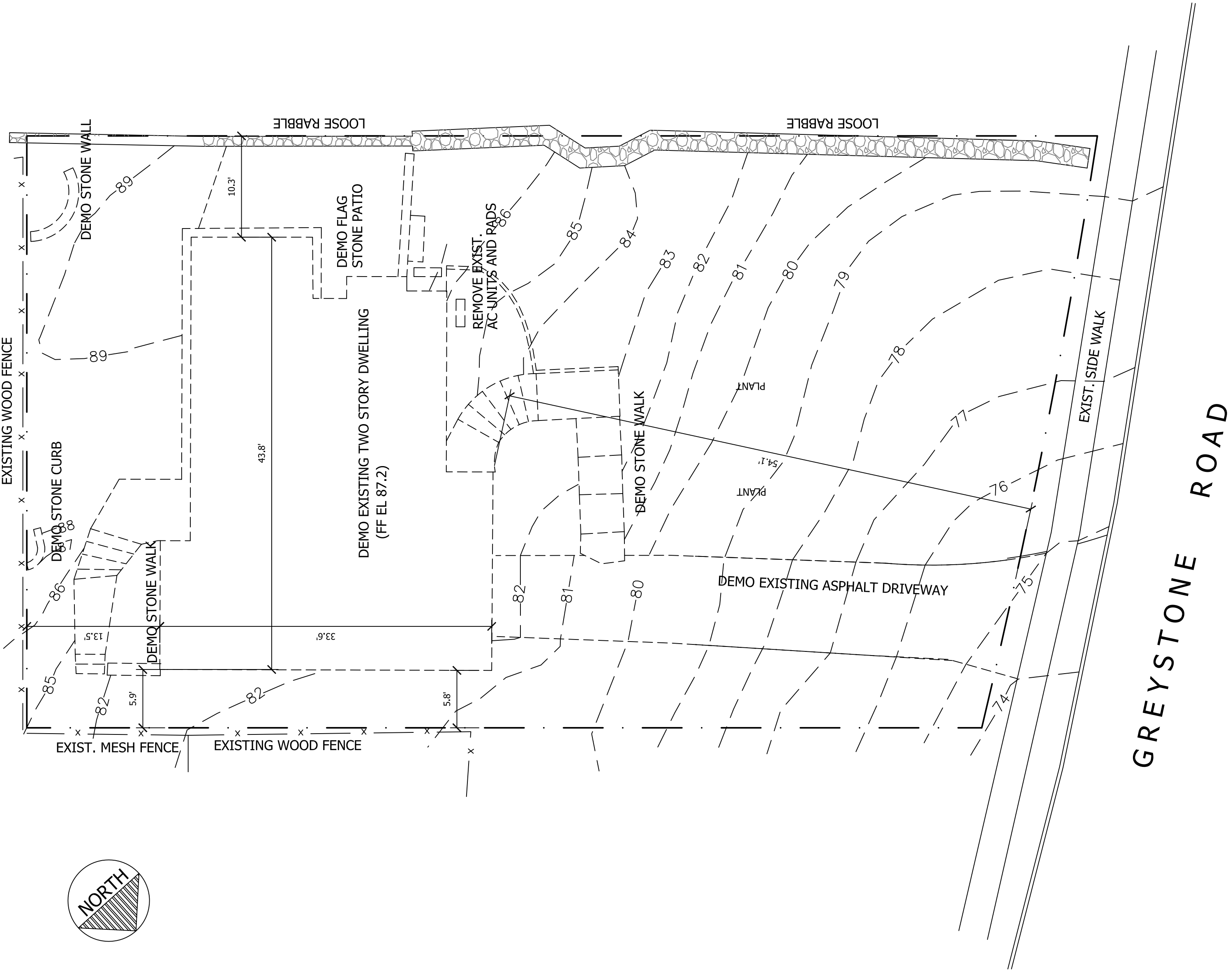
A-1

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PROPOSED SITE PLAN
SCALE : 1 / 8" = 1'-0"



SITE DEMOLITION PLAN
SCALE : 1 / 8" = 1'-0"

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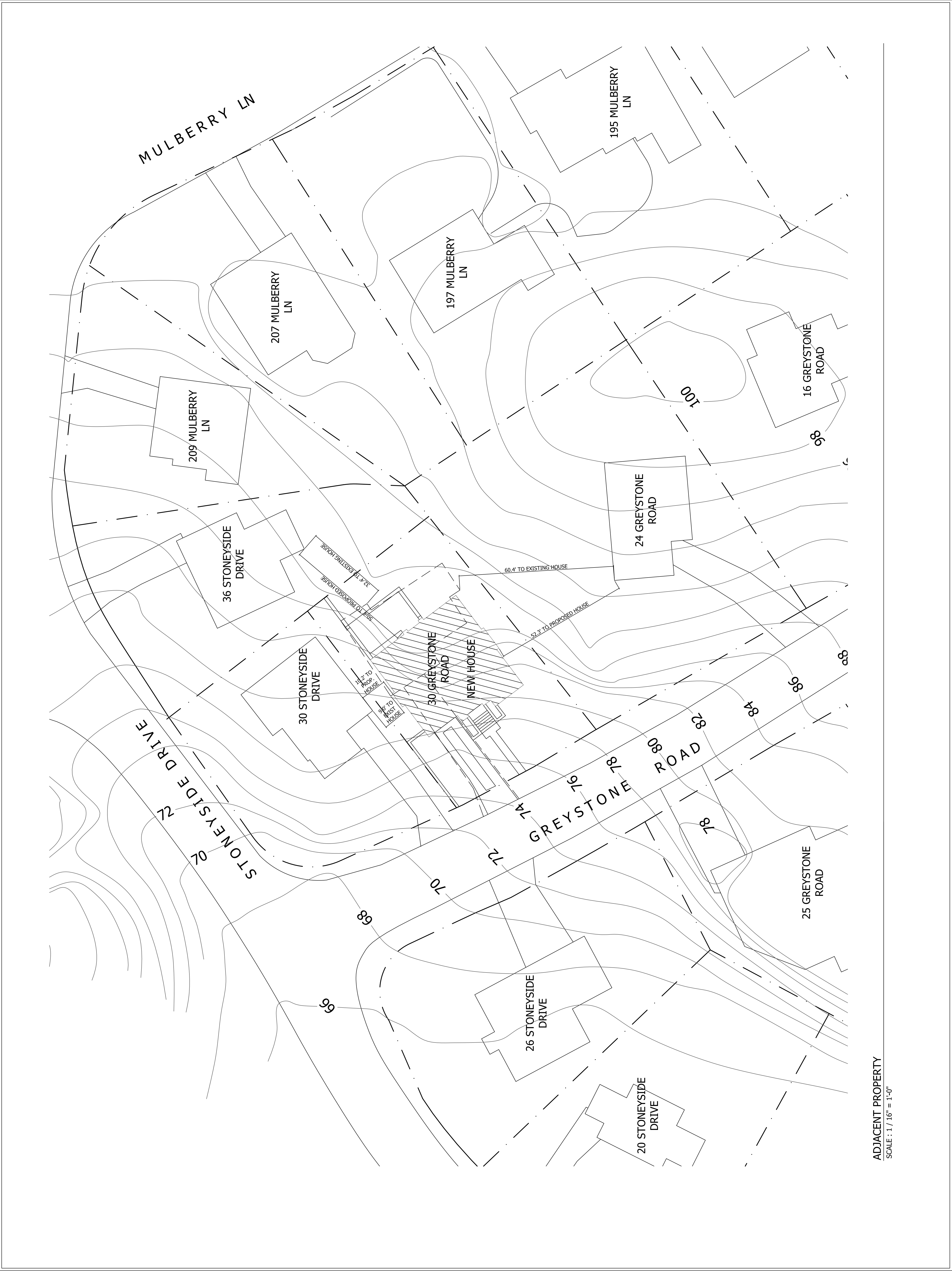
ADJACENT PROPERTIES

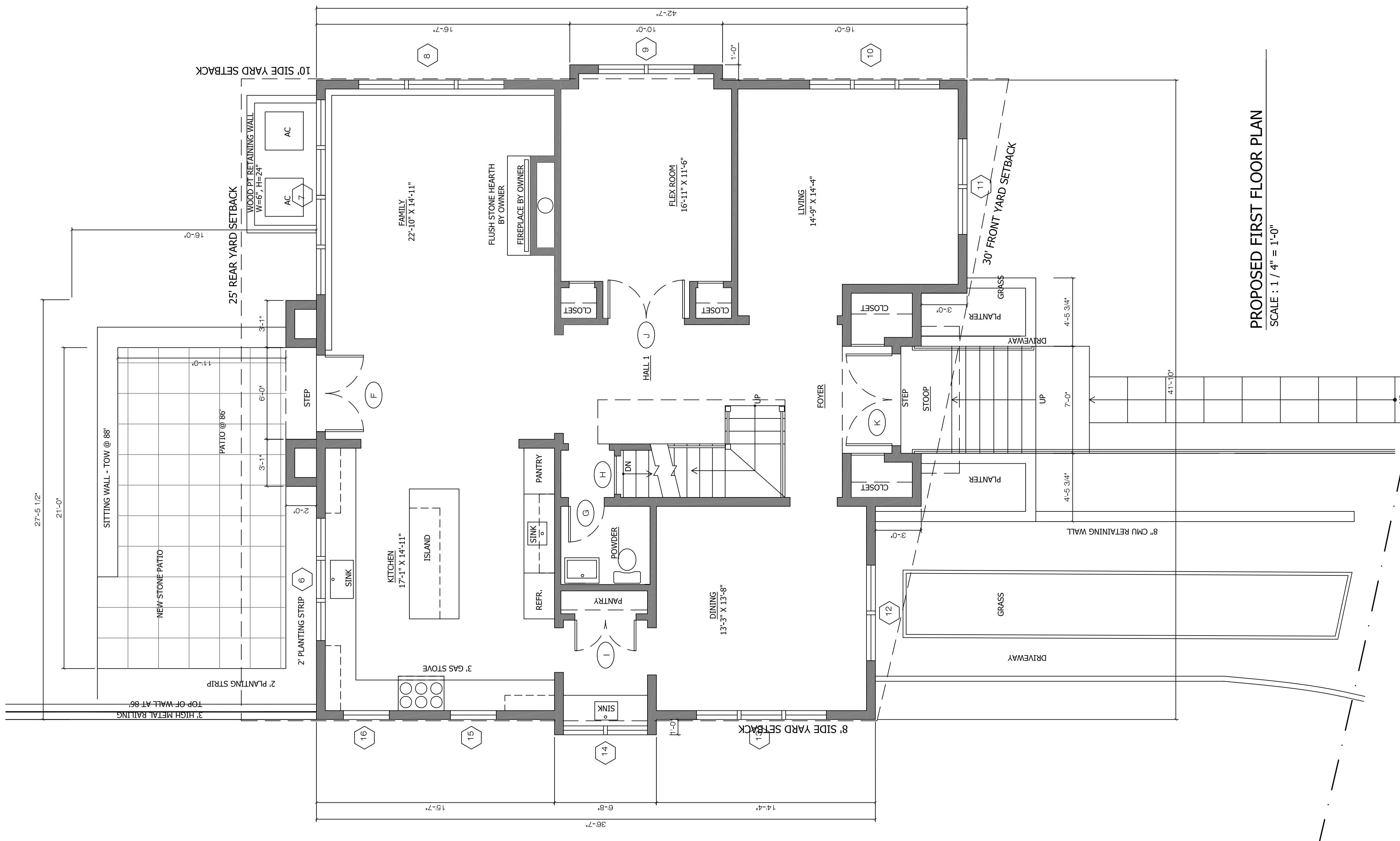
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A-1.1

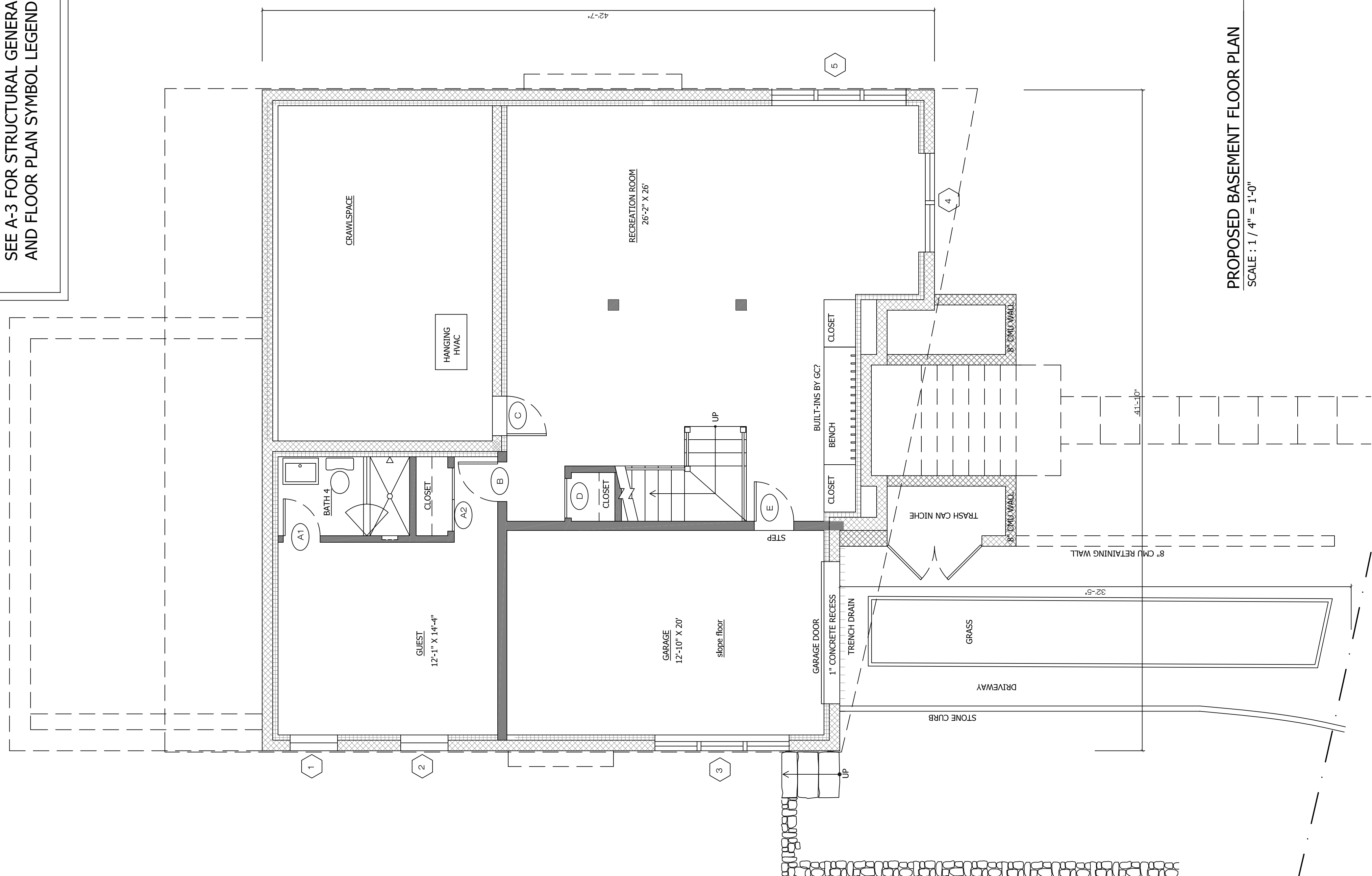
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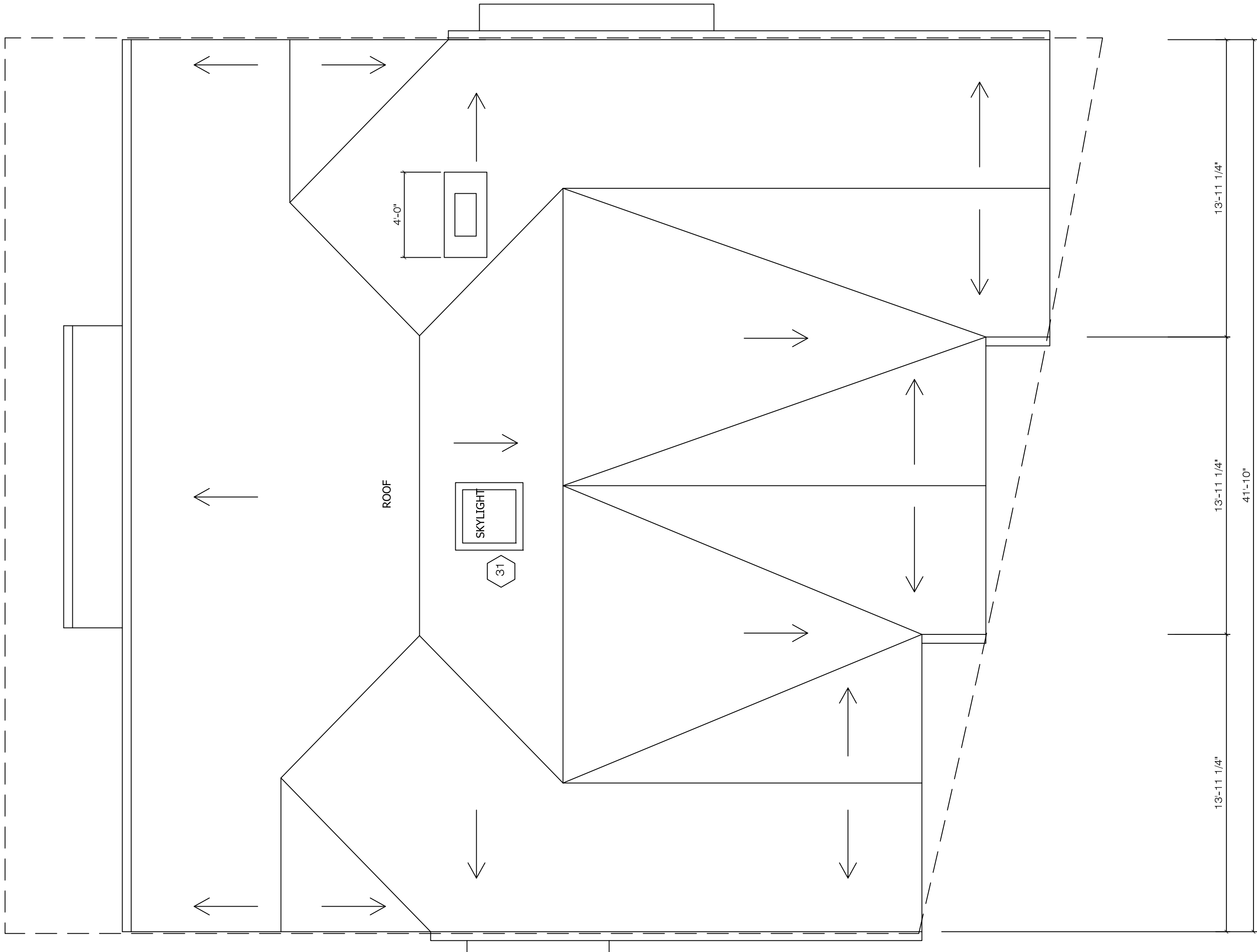
PROPOSED FIRST FLOOR PLAN



PROPOSED BASEMENT FLOOR PLAN

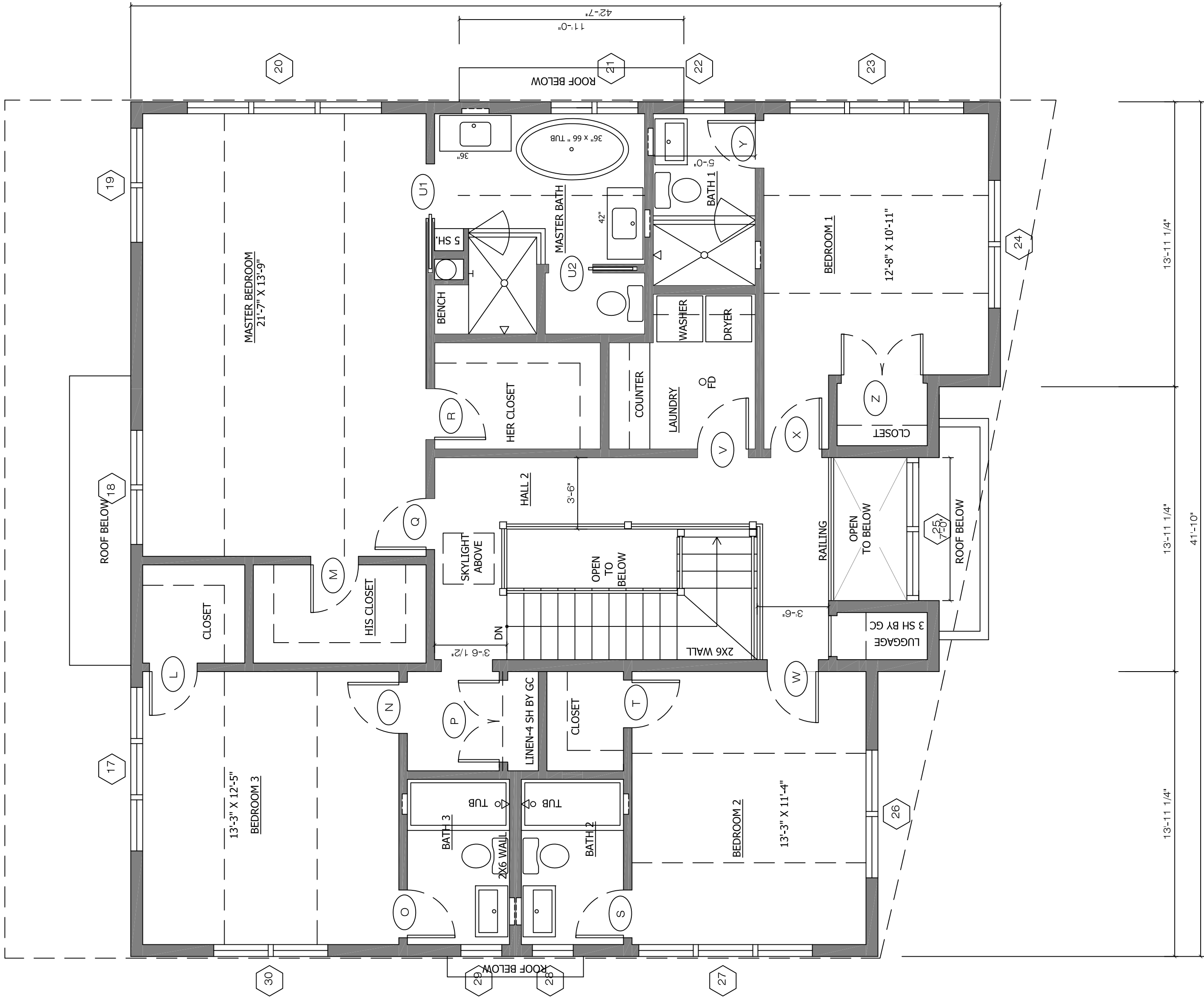
SEE A-3 FOR STRUCTURAL GENERAL NOTES
AND FLOOR PLAN SYMBOL LEGEND

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SHEET DESCRIPTION: PROPOSED SECOND FLOOR AND ROOF PLANS		A-3		SHEET No.																															
PHASE:		CZMC SUBMITTAL																																	



PROPOSED ROOF PLAN

SCALE: 1 / 4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1 / 4" = 1'-0"

STRUCTURAL GENERAL NOTES	FLOOR PLAN SYMBOL LEGEND
1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED. 2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN. 3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS. 4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS. 5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS UNO.) 6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS). 7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS 8. FIRE CAULK AT ALL FLOOR PENETRATIONS 9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER). 10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS 11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS	<div style="display: flex; flex-direction: column; align-items: center;"> <div style="display: flex; align-items: center; margin-bottom: 5px;"> <div> <p>DOOR SYMBOL—SEE DOOR SCHEDULE</p> <p>WINDOW SYMBOL—SEE WINDOW SCHEDULE</p> </div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;"> <div>EXISTING CONSTRUCTION</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;"> <div>NEW WOOD FRAMED WALLS</div> </div> <div style="display: flex; align-items: center; margin-bottom: 5px;"> <div style="width: 20px; height: 20px; border: 1px solid black; margin-right: 5px; display: flex; align-items: center; justify-content: center;"> <div style="width: 10px; height: 10px; background: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px);"></div> </div> <div>2X4 @ 16" O.C. @ INTERIOR WALLS</div> </div> <div style="display: flex; align-items: center;"> <div style="width: 20px; height: 20px; border: 1px solid black; margin-right: 5px; display: flex; align-items: center; justify-content: center;"> <div style="width: 10px; height: 10px; background: repeating-linear-gradient(-45deg, transparent, transparent 2px, black 2px, black 4px);"></div> </div> <div>2X6 @ 16" O.C. @ EXTERIOR WALLS (R-19) (UNLESS NOTED OTHERWISE)</div> </div> </div>

[illegible]

GOLDANSKY
GREYSTONE
NEW CONSTRUCTION

30 Greystone Road
Larchmont
New York 10538

NOTES

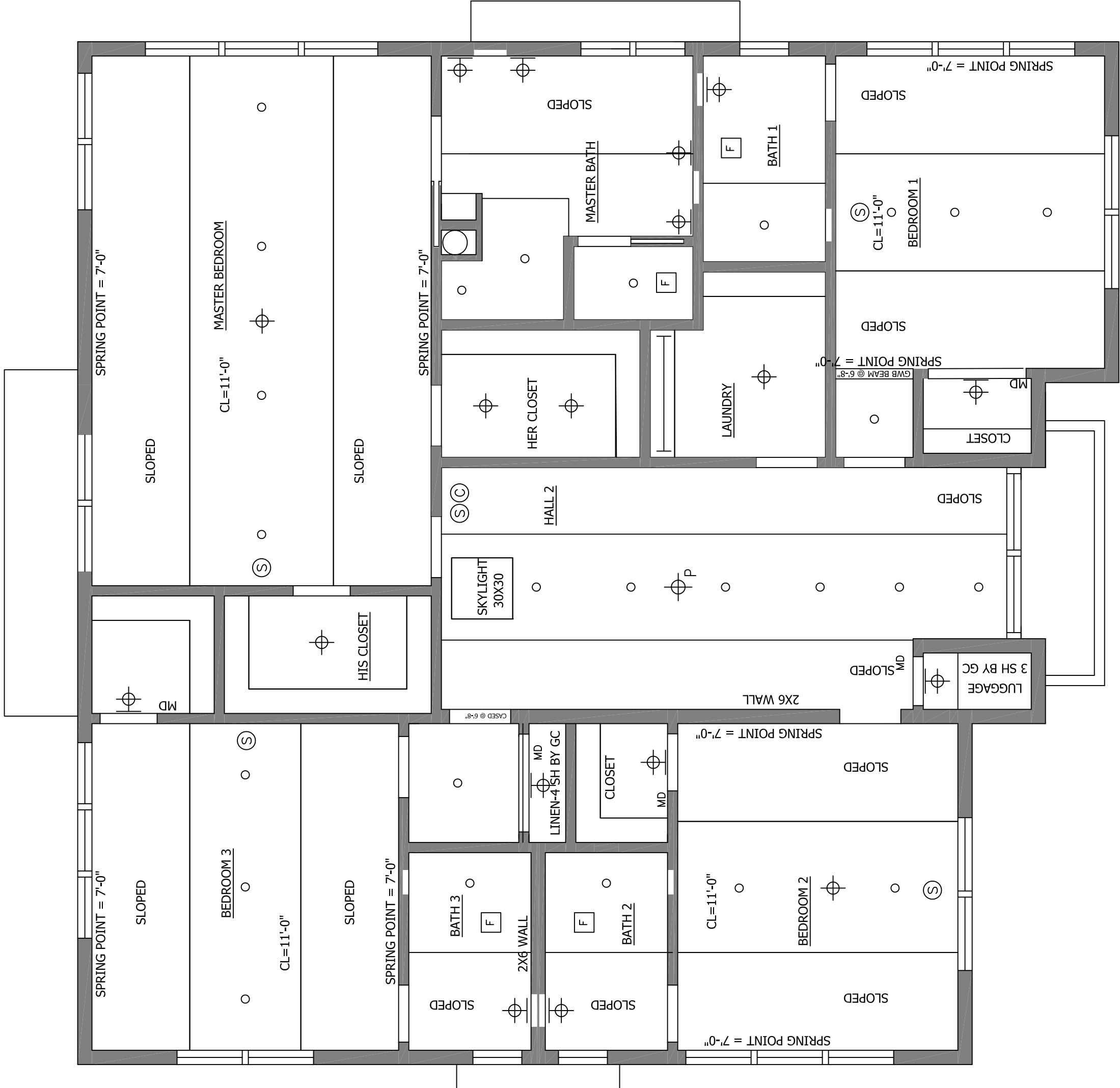
<p>SHEET DESCRIPTION:</p> <p>PROPOSED SECOND FLOOR AND ROOF PLANS</p>	<p>SHEET No.</p> <p>A-3</p>
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<div><div>SHEET DESCRIPTION:</div><div>BASEMENT AND FIRST FLOOR REFLECTED CEILING AND ELECTRICAL PLANS</div></div>		<div><div>SHEET No.</div><div>A-4</div></div>																												
		<div>PHASE:</div> <div>CZMC SUBMITTAL</div>																												

[illegible]

ELECTRICAL LEGEND		GENERAL LIGHTING / ELECTRICAL NOTES	
	CEILING MOUNTED PENDANT FIXTURE *	\$	DECORA LIGHT SWITCH
	VERIFY LOCATION WITH OWNER	\$ _D	DIMMER LIGHT SWITCH
	CEILING MOUNTED FAN OR FAN/LIGHT *	\$ ₃	DECORA LIGHT SWITCH, 3-WAY
	VERIFY LOCATION WITH OWNER	\$ ₄	DECORA LIGHT SWITCH, 4-WAY
	CEILING MOUNTED LIGHT *		DECORA DUPLEX OUTLET
	WALL SCONCE *		EXHAUST FAN-VENT TO OUTSIDE
	4" RECESSED LED DOWNLIGHT		SMOKE DETECTOR
	CATV OUTLET		CARBON MONOXIDE DETECTOR
	NEW 200 AMP ELECTRICAL PANEL		UNDERCABINET LED LIGHTING
	PHONE JACK		SUPPLY GRILL
	MOTION DETECT		RETURN GRILL
	2" LED CABINET LIGHT		DUCTWORK ABOVE IN THE ATTIC
	GARAGE DOOR OPENER		BEADBOARD CEILING WITH CROWN MOLDING



SECOND FLOOR RCP/ELECTRICAL PLAN

SCALE : 1 / 4" = 1'-0"

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GOLDANSKY

GREYSTONE

NEW CONSTRUCTION

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Larchmont
New York 10538

NOTES

SHEET DESCRIPTION:

SECOND FLOOR
REFLECTED CEILING AND
ELECTRICAL PLANS

SHEET No.

A-5

PHASE:

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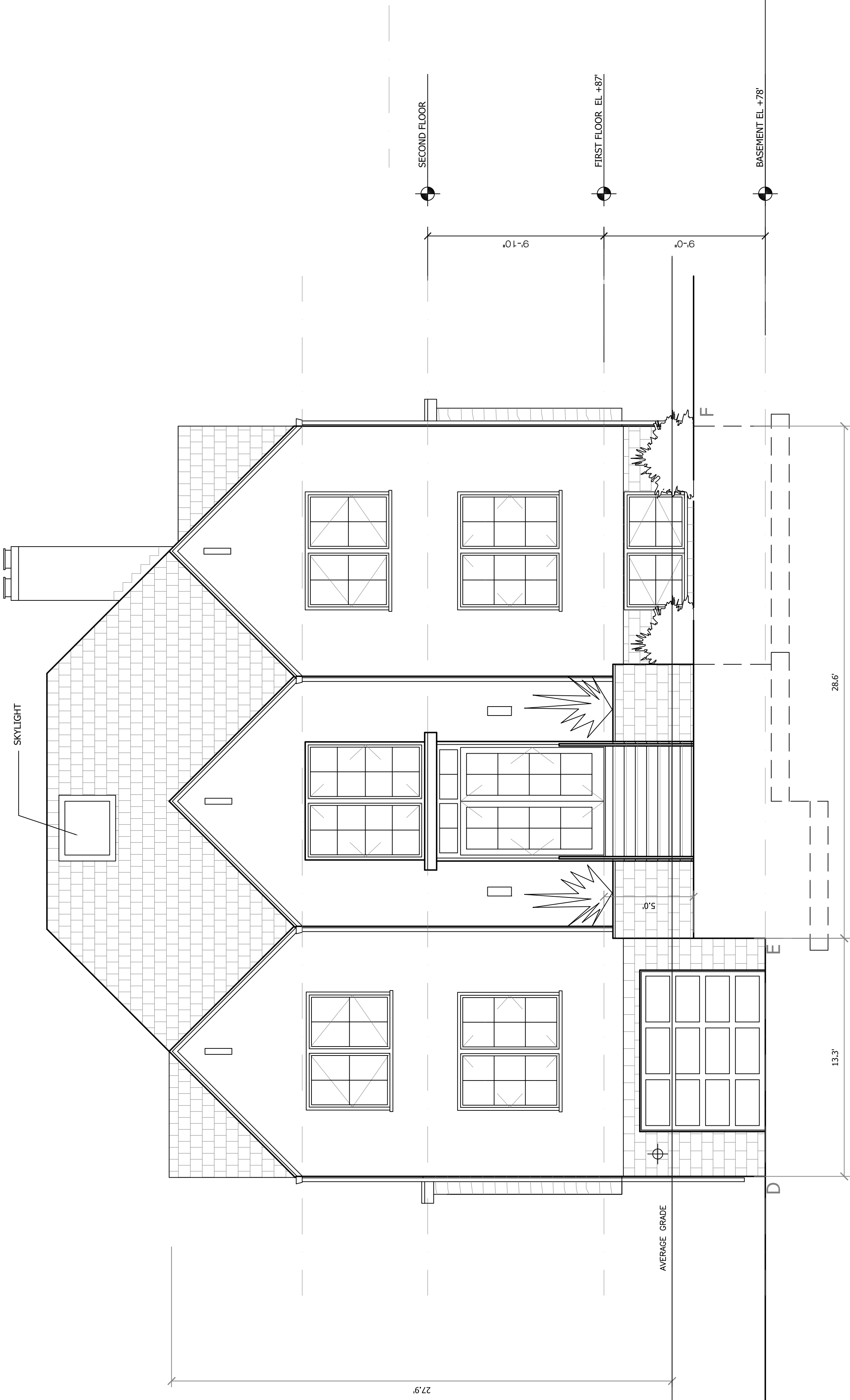
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PROPOSED
EXTERIOR
ELEVATIONS

SHEET No.

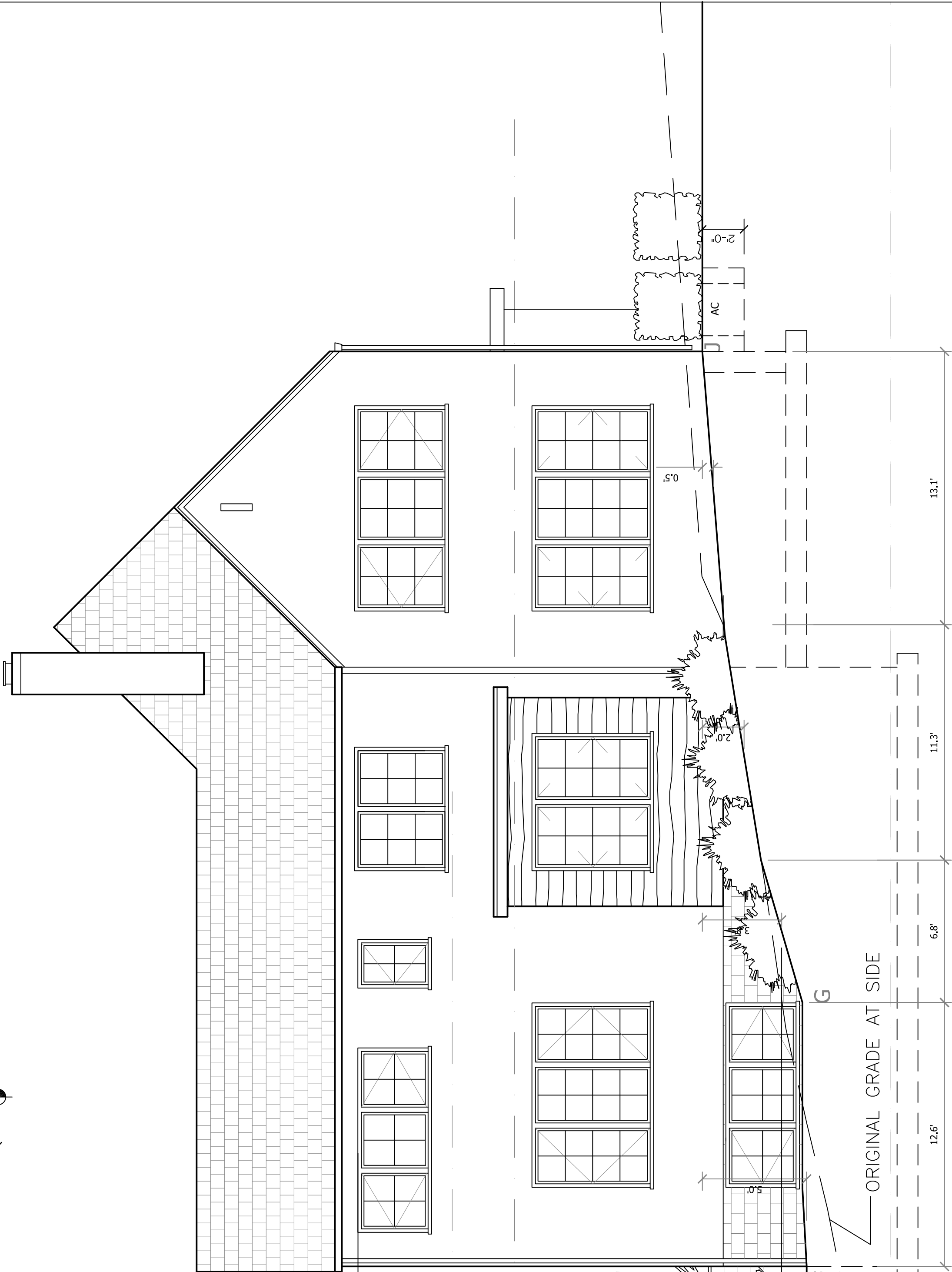
A-6

PHASE:
CZMC SUBMITTAL

AVERAGE GRADE CALCULATION			
	LENGTH	ELEVATION	WEIGHED
LEFT SIDE	24.2'	-6'	-145.2'
	8'	-7'	-56'
	5.7'	-8.5'	-48.45'
FRONT	13.3'	-9	-119.7'
	28.6'	-5'	-143'
RIGHT SIDE	12.6'	-5'	-63'
	6.8'	-3.8	-25.84'
	11.3'	-2'	-22.6'
	13.1'	-0.5'	-0.55'
REAR	18.1'	+0.8'	14.48'
	24'	-1'	-24'
TOTAL	165.7'		-633.86'
WEIGHED AVG.		-3.8'	



PROPOSED FRONT ELEVATION
SCALE : 1 / 4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
SCALE : 1 / 4" = 1'-0"

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palgejlewis@gmail.com

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DESCRIPTION	ISSUED / REVISIONS	DATE
CZMC SUBMITTAL		9/9/2019

GOLDANSKY
GREYSTONE
NEW CONSTRUCTION

30 Greystone Road
Larchmont
New York 10538

NOTES

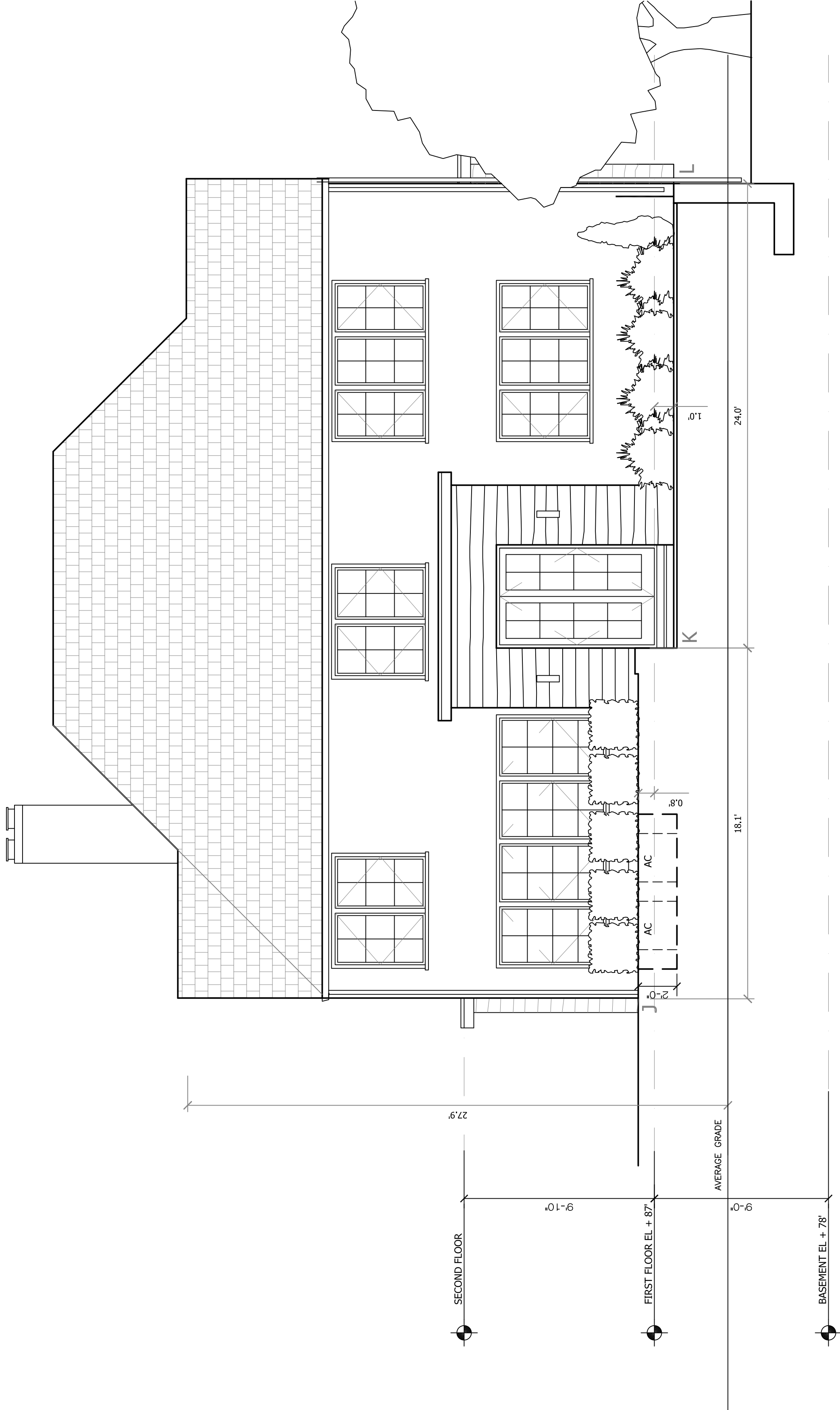
SHEET DESCRIPTION:
PROPOSED
EXTERIOR
ELEVATIONS

SHEET No.

A-7

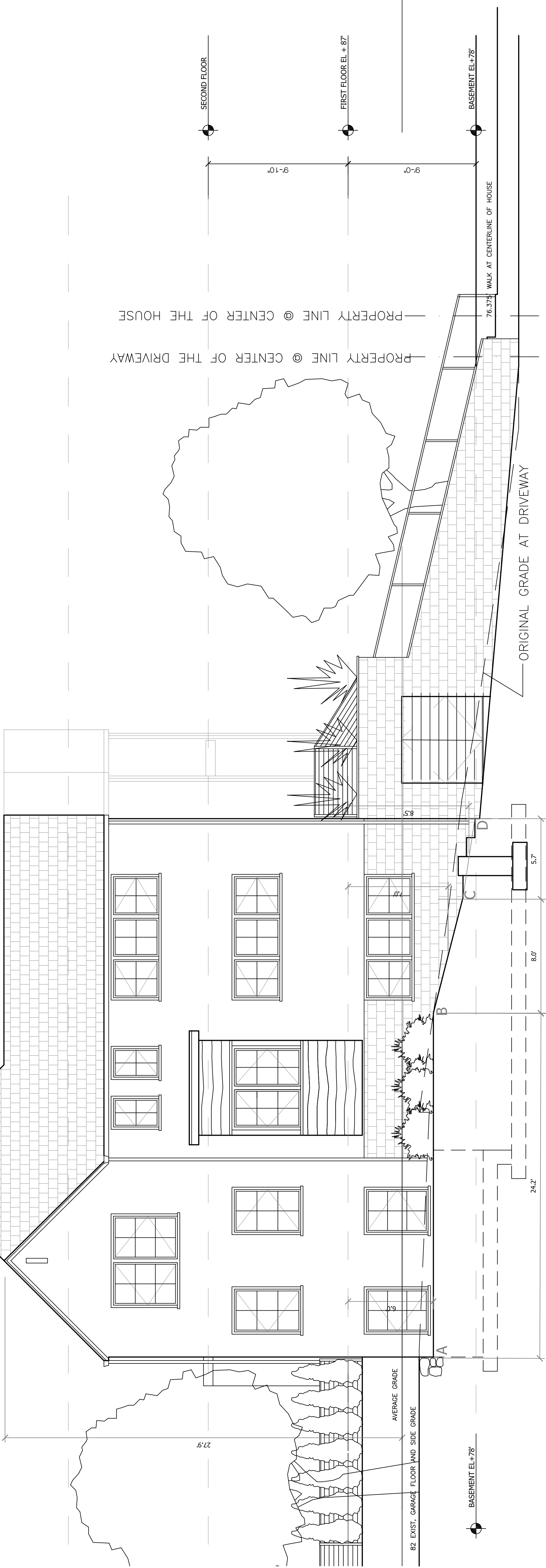
PHASE:

CZMC SUBMITTAL



PROPOSED REAR ELEVATION

SCALE : 1 / 4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE : 1 / 4" = 1'-0"

**Town of Mamaroneck - Village of Larchmont
Coastal Assessment Form (CAF)**

Applicants, or the appropriate municipal agency, shall complete this Coastal Assessment Form (CAF) for proposed actions which are subject to Local Consistency Review (see Waterfront Revitalization Law §§234-1 through 234-5 in the Code of the Town of Mamaroneck and §§292-1 through 292-4 in the Code of the Village of Larchmont). This assessment is intended to supplement other information used by the Bi-Municipal Coastal Zone Management Commission in making a determination of consistency with the Town of Mamaroneck and Village of Larchmont Local Waterfront Revitalization Program.

Upon completion of this form, it should be submitted as part of a complete application package for review. If assistance or further information is required for Town of Mamaroneck matters, please contact the Town of Mamaroneck Environmental Planner at (914) 381-7845. For Village of Larchmont matters, please contact the Village of Larchmont Building Inspector at (914) 834-6210.

PLEASE PRINT OR TYPE ALL ANSWERS.

A. GENERAL INFORMATION

Will the proposed action be undertaken by a municipal agency? Yes [] No [☒]

If yes, please list agency or agencies and contact person(s): _____

If no, please complete the applicant information:

Name of Applicant: J.A.F. Builders Corp./ Josh Freidfertig (Managing Member)

Street Address: 69 Harney Road, Suite 5

City, State, Zip: Scarsdale, NY 10583

Phone: 914-403-5794 Fax: _____ Email: josh@jafbuiders.com

Location and ownership of property for which action is proposed:

Section: 2 Block: 23 Lot: 452

Owner of Property: J.A.F. Builders Corp.

Street Address: 67 Rockland Avenue

City, State, Zip: Larchmont, NY 10538

Phone: 914-403-5794 Fax: _____ Email: josh@jafbuiders.com

Size of property (square feet): 10200 Is the property now developed? Yes [☒] No []

Will project require a zoning variance? Yes [] No [☒]

If yes, briefly describe: _____

Describe any unique/unusual landforms on the project site (rock outcroppings, swales, etc.):

Rock outcropping at rear of property outside of construction area.

Percentage of site which contains slopes of 25% or greater: 0%

Are there streams, lakes, ponds or wetlands existing within or contiguous to the project area?

If so, describe (name, size, characteristics): No

Will the action require approval by a state or federal agency? Yes [] No [X]

If yes, specify which state or federal agency and attach a copy of pending application and any relevant information and/or documentation to this form:

B. DESCRIPTION OF SITE AND PROPOSED ACTION

Provide a written description of the nature and the extent of the proposed action. Attach plans or additional information as necessary and/or required by application procedures.

Demolish the existing residence and build a new two story, one family residence.

(see attached plans)

C. COASTAL ASSESSMENT

Check either "Yes" or "No" for each of the following questions:

1. Will the proposed action be located in, or contiguous to, or have a **potentially adverse effect** upon any of the following designated resource areas?

	Yes	No	Maybe
a. Significant fish or wildlife habitat or designated critical environmental area.....	[]	[X]	[]
b. Scenic resources of local significance	[]	[X]	[]
c. Natural protective features in an erosion hazard area.....	[]	[X]	[]

NOTE: If the answer to any of the above questions is "Yes", please explain in Section D any measures which will be undertaken to mitigate the adverse effects.

2. Will the proposed action have a **significant effect** upon:

	Yes	No	Maybe
a. Commercial or recreational use of fish and wildlife resources.....	[]	[X]	[]
b. Scenic quality of the coastal environment	[]	[X]	[]
c. Development of future, or existing water dependent uses	[]	[X]	[]
d. Land or water uses within a small harbor area	[]	[X]	[]
e. Stability of the shoreline	[]	[X]	[]
f. Surface or groundwater quality.....	[]	[X]	[]
g. Existing or potential public recreation opportunities.....	[]	[X]	[]
h. Structures, sites or districts of historic, archeological or cultural significance to the local area, state or nation	[]	[X]	[]

3. Will the proposed action **involve or result in** any of the following:

	Yes	No	Maybe
a. Physical alteration of land along the shoreline, land underwater or coastal waters.....	[]	[X]	[]
b. Expansion of existing public services or infrastructure in or near undeveloped or low density areas of the coastal area?	[]	[X]	[]
c. Filling, dredging, excavation or mining in coastal waters	[]	[X]	[]
d. Reduction of existing or potential public access to or along the shore.....	[]	[X]	[]
e. Development within a designated flood or erosion hazard area.....	[]	[X]	[]
f. Development of a natural feature that protects against flooding or erosion	[]	[X]	[]
g. Replacement of eroded sand or soil.....	[]	[X]	[]
h. Construction or reconstruction of erosion protective structures	[]	[X]	[]
i. Any change in surface or groundwater quality	[]	[X]	[]
j. Removal of trees from the site.....	[X]	[]	[]

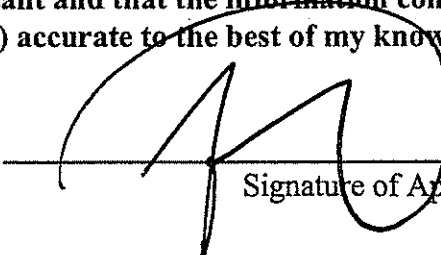
4. Project details:

	Yes	No	Maybe
a. If the project is to be located adjacent to the shore:			
1. Does the project require a waterfront site in order to function	[]	[X]	[]
2. Will water-related recreation be provided	[]	[X]	[]
3. Will public access to shore or state owned underwater lands be provided.....	[]	[X]	[]
4. Will it replace a recreational or maritime use.....	[]	[X]	[]
5. Do essential public services and facilities presently exist at or near the site..	[]	[X]	[]

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

I certify that I am the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: September 13 2019



Signature of Applicant

Prepared by: (if different than the applicant)

Name and Title: Frederick F. Grippi, Architect

Agency/Company: RMG Associates

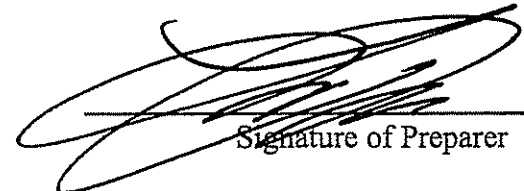
Street Address: 350 Theodore Fremd Avenue

City, State, Zip: Rye, NY 10580

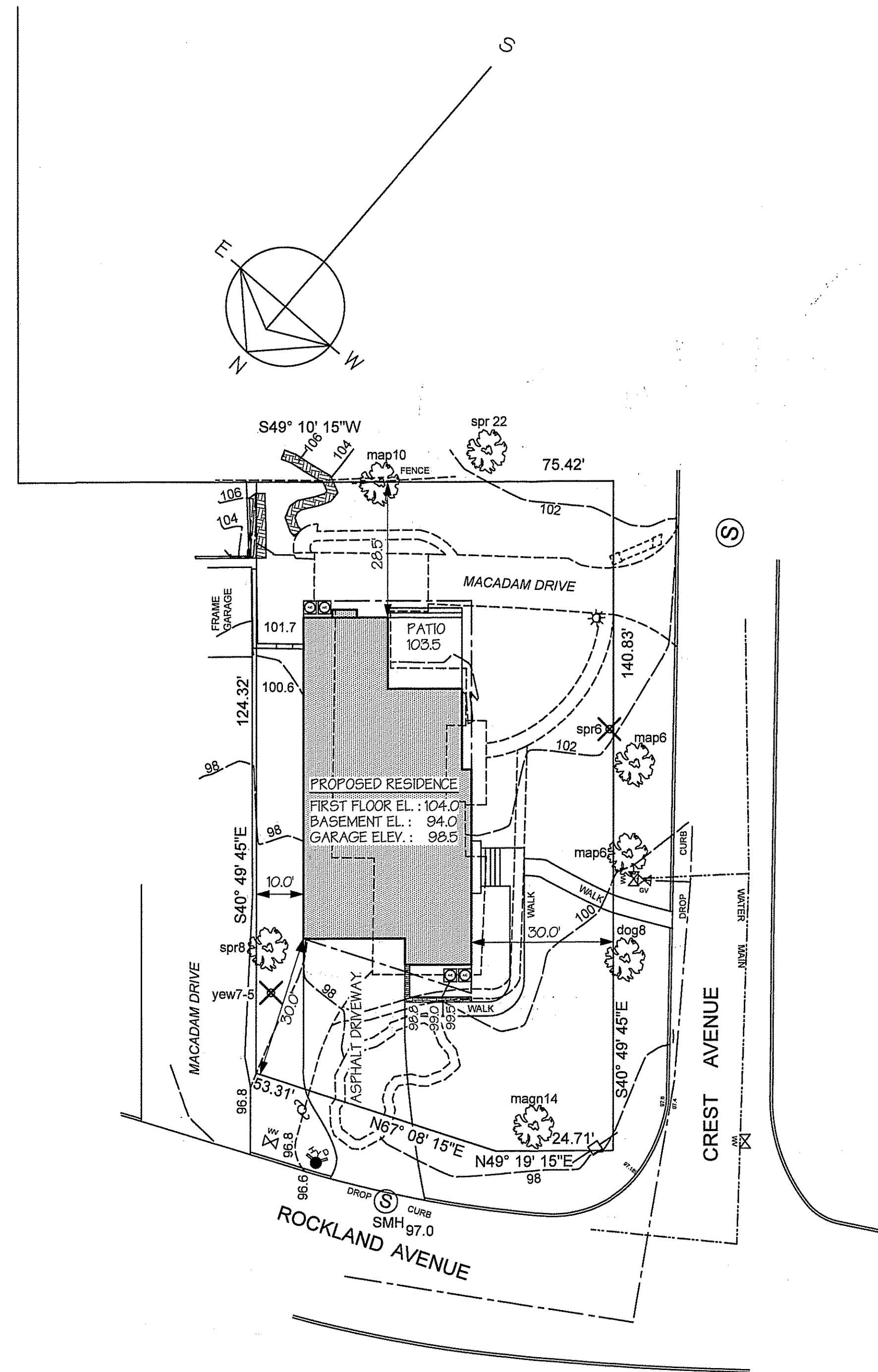
Phone: 914-698-5589 Fax: 914-698-5933 Email: info@rmgarchitects.com

I certify that I prepared this Coastal Assessment Form for the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: September 13 2019



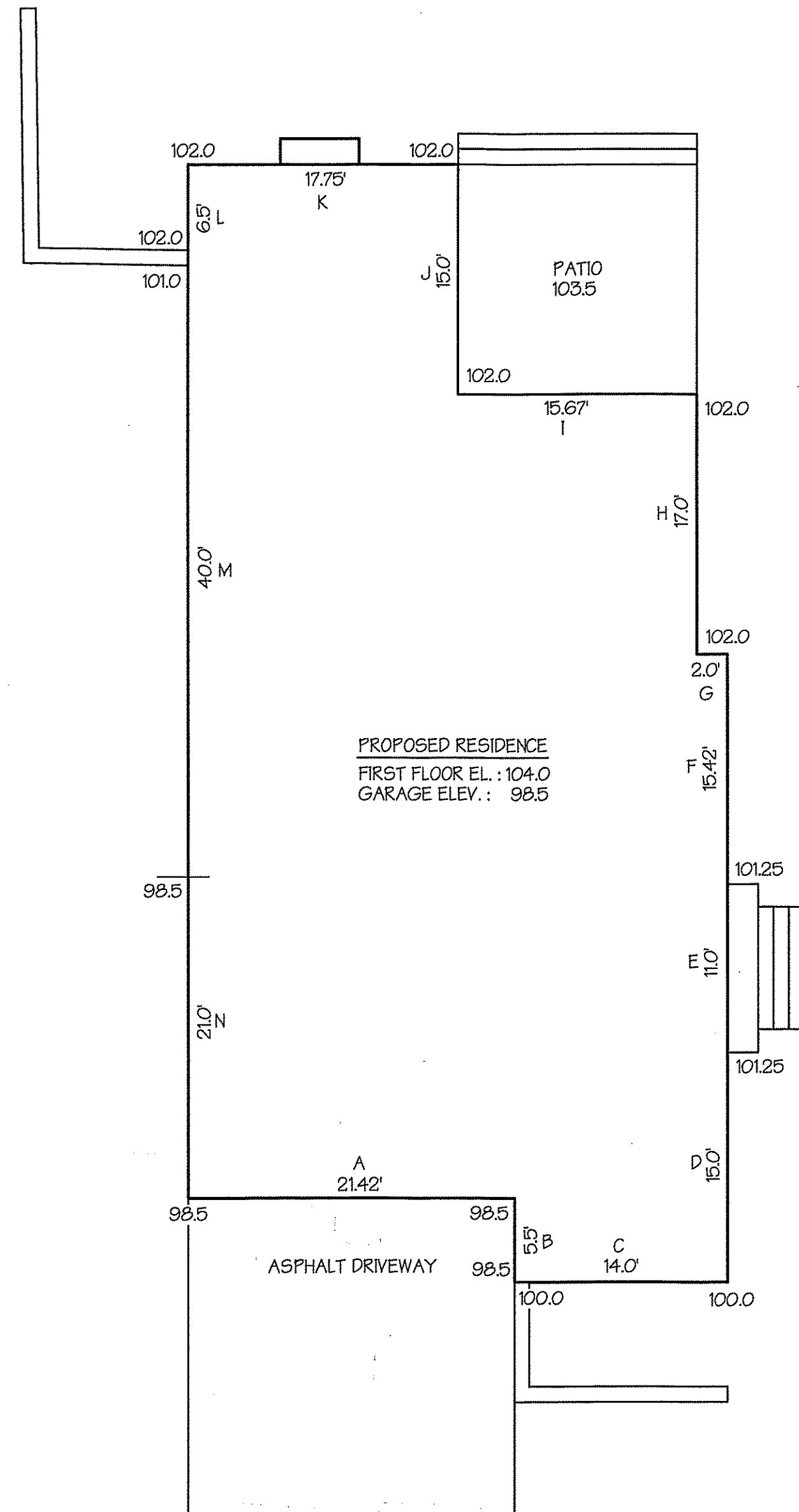
Signature of Preparer



SITE PLAN

SCALE: 1" = 20'-0"

NOTE: SITE PLAN FOR SETBACKS AND GENERAL REFERENCE ONLY. FOR ALL SITE DATA, DRAINAGE, GRADING, ETC., SEE PLANS PREPARED BY GABRIEL E. SENOR, P.C. CONSULTING ENGINEER & LAND SURVEYORS



AVERAGE GRADE CALCULATION

$A = 98.5 \times 21.42 = 2109.87$
 $B = 98.5 \times 5.5 = 541.75$
 $C = 100.0 \times 14.0 = 1400.00$
 $D = 100.0 + 101.25 / 2 \times 15.0 = 1509.38$
 $E = 101.25 \times 11.0 = 1113.75$
 $F = 101.25 + 102.0 / 2 \times 15.42 = 1567.06$
 $G = 102.0 \times 2.0 = 204.00$
 $H = 102.0 \times 17.0 = 1734.00$
 $I = 102.0 \times 15.67 = 1598.34$
 $J = 102.0 \times 15.0 = 1530.00$
 $K = 102.0 \times 17.75 = 1810.50$
 $L = 102.0 \times 6.5 = 663.00$
 $M = 98.5 + 101.0 / 2 \times 40.0 = 3990.00$
 $N = 98.5 \times 21.0 = 2068.50$

Totals: 217.26 21840.15
 $21840.15 / 217.26 = 100.53$ AVERAGE GRADE



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

ZONING DATA:		
ZONE DISTRICT: R-10	REQUIRED	ACTUAL
LOT AREA (SQ. FT.)	1000 MIN.	10200
FLOOR AREA (SQ. FT.)	4385 MAX.	4379 (SEE SQUARE FOOTAGE BREAKDOWN)
IMPERVIOUS LOT COVERAGE	35% MAX.	29.0%
LOT WIDTH (FT.)	85 MIN.	75.42
LOT DEPTH (FT.)	100 MIN.	100
FRONT YARD (FT.) ROCKLAND AVE.	30 MIN.	30
FRONT YARD (FT.) CREST AVE.	30 MIN.	30
SIDEYARD (FT.)	10 MIN.	10
REAR YARD (FT.)	25 MIN.	28.5
BUILDING HEIGHT (FT.)	35 MAX.	28.75
BUILDING HEIGHT (STORIES)	2 1/2 MAX.	2
PARKING SPACES	2	2

SQUARE FOOTAGE BREAKDOWN:

FIRST FLOOR: 1816 SQ. FT.
 SECOND FLOOR: 1940 SQ. FT.
 TOTAL: 3556 SQ. FT.
 GARAGE: 514 SQ. FT.
 ATTIC AREA W/ 5' OR GREATER HEIGHT: 309 SQ. FT.
 OVERALL: 4379 SQ. FT.
 MAX. ALLOWED: 4385 SQ. FT.

LOT COVERAGE BREAKDOWN:

HOUSE: 2178 SQ. FT.
 DRIVEWAY: 762 SQ. FT.
 PLATFORM: 22 SQ. FT.
 TOTAL: 2962/10200 = 29.0%

REVISIONS:

PROPOSED RESIDENCE
 FOR J.A.F. BUILDERS CORP
 67 ROCKLAND AVENUE
 SECTION: 2 BLOCK: 23 LOT: 452
 TOWN OF MAMARONECK, NEW YORK

A-1

JOB #: 19-65

DATE: 8/15/19

RICHAU MUSTACATO
 GRIPPI ASSOCIATES
 350 Theodore Fremd Ave.
 Rye, New York 10580

ARCHITECTS
 www.rmgarchitects.com

914-698-5589

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RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

A-2

PROPOSED RESIDENCE
FOR J.A.F. BUILDERS CORP
67 ROCKLAND AVENUE
SECTION: 2 BLOCK: 23 LOT: 452
TOWN OF MAMARONECK, NEW YORK

JOB #: 19-65

DATE: 8/15/19

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Rye, New York 10580
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LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED RESIDENCE
FOR J.A.F. BUILDERS CORP
67 ROCKLAND AVENUE
SECTION: 2 BLOCK: 23 LOT: 452
TOWN OF MAMARONECK, NEW YORK

JOB #: 19-65

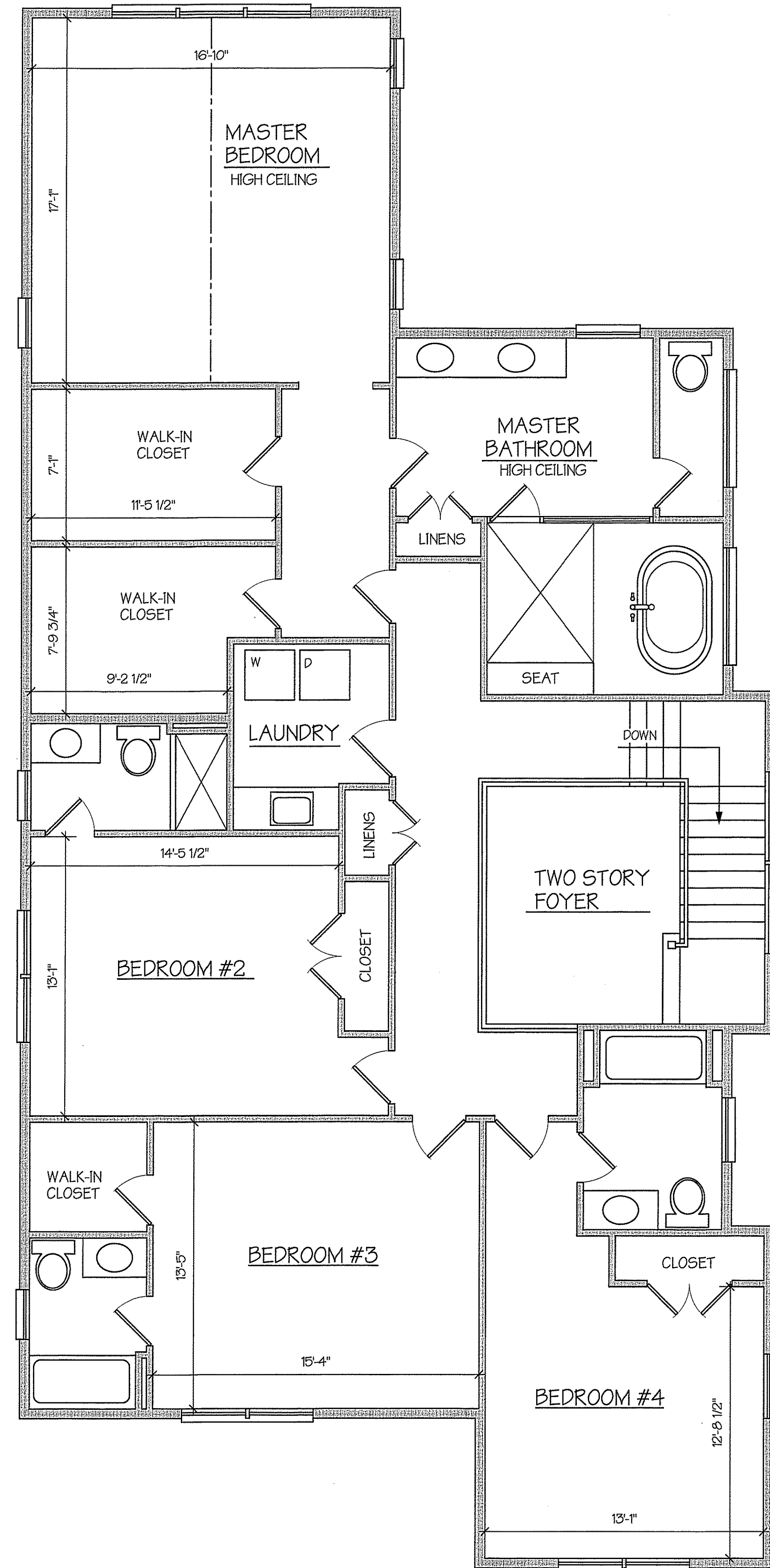
DATE: 8/15/19

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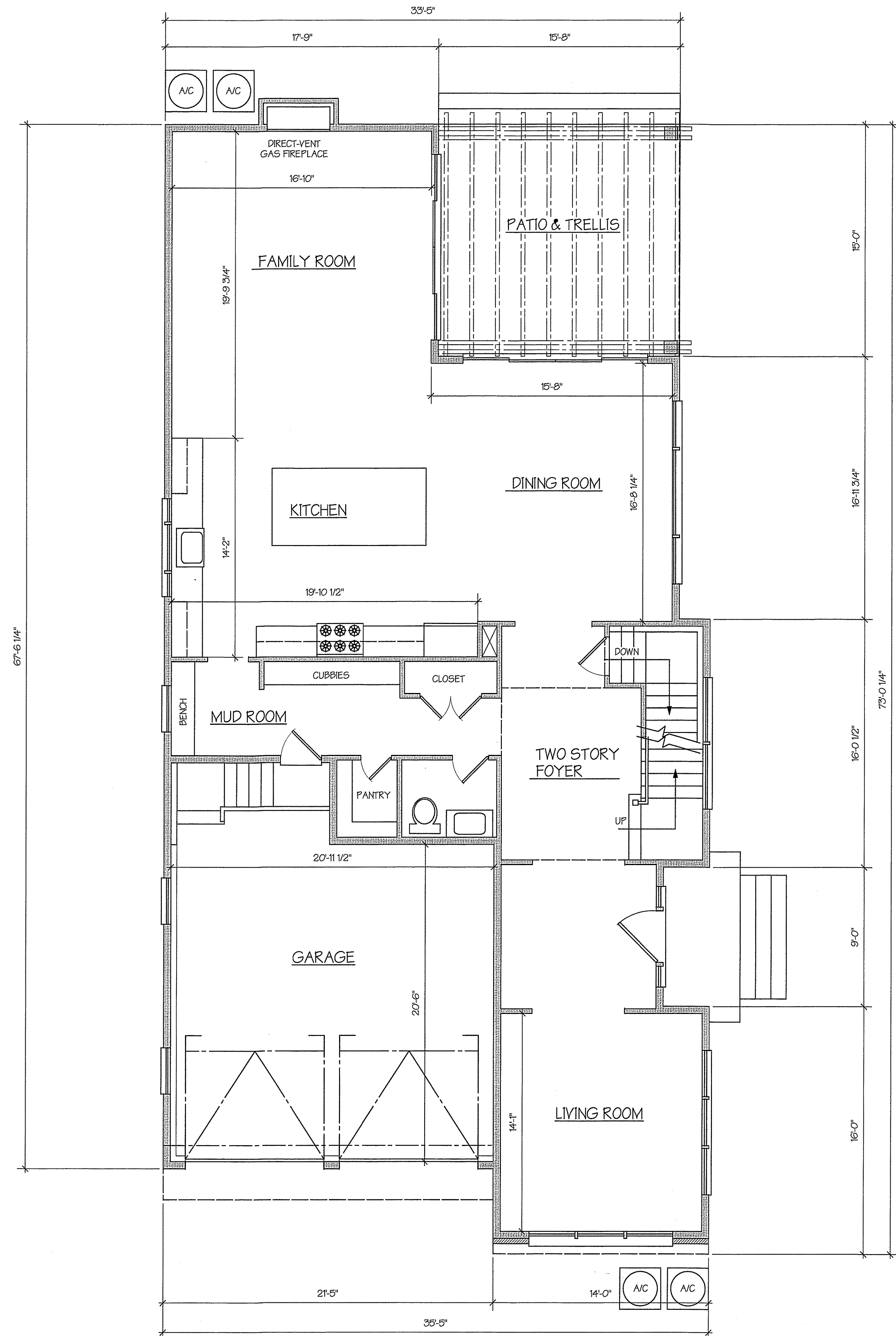
REVISIONS:

A-3



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

A-4

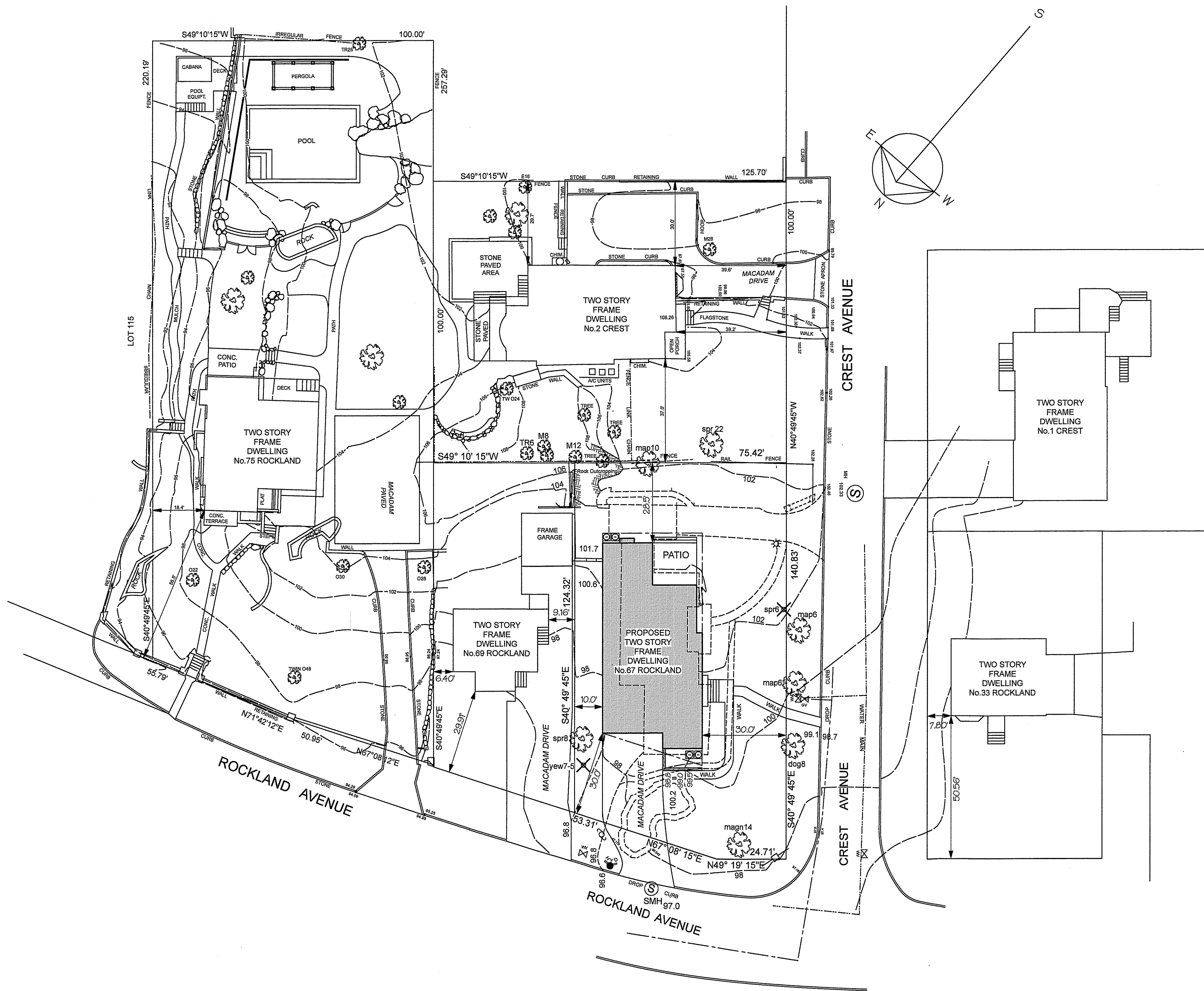
PROPOSED RESIDENCE CORP
FOR J.A.F. BUILDERS CORP
67 ROCKLAND AVENUE
SECTION: 2 BLOCK: 23 LOT: 452
TOWN OF MAMARONECK, NEW YORK

JOB #: 19-65

DATE: 8/15/19

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COMPOSITE SITE PLAN

SCALE: 1" = 20'-0"

REVISIONS:

PROPOSED RESIDENCE
FOR J.A.F. BUILDERS CORP
67 ROCKLAND AVENUE
SECTION: 2 BLOCK: 23 LOT: 452
TOWN OF MAMARONECK, NEW YORK

JOB #: 19-65

DATE: 8/15/19

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C-1



ROCKLAND AVENUE ELEVATION



CREST AVENUE ELEVATION

COMPOSITE ELEVATION

SCALE: 1" = 20'-0"

REVISIONS:

C-2

PROPOSED RESIDENCE
FOR J.A.F. BUILDERS CORP
67 ROCKLAND AVENUE
SECTION: 2 BLOCK: 23 LOT: 452
TOWN OF MAMARONECK, NEW YORK

JOB #: 19-65

DATE: 8/15/19

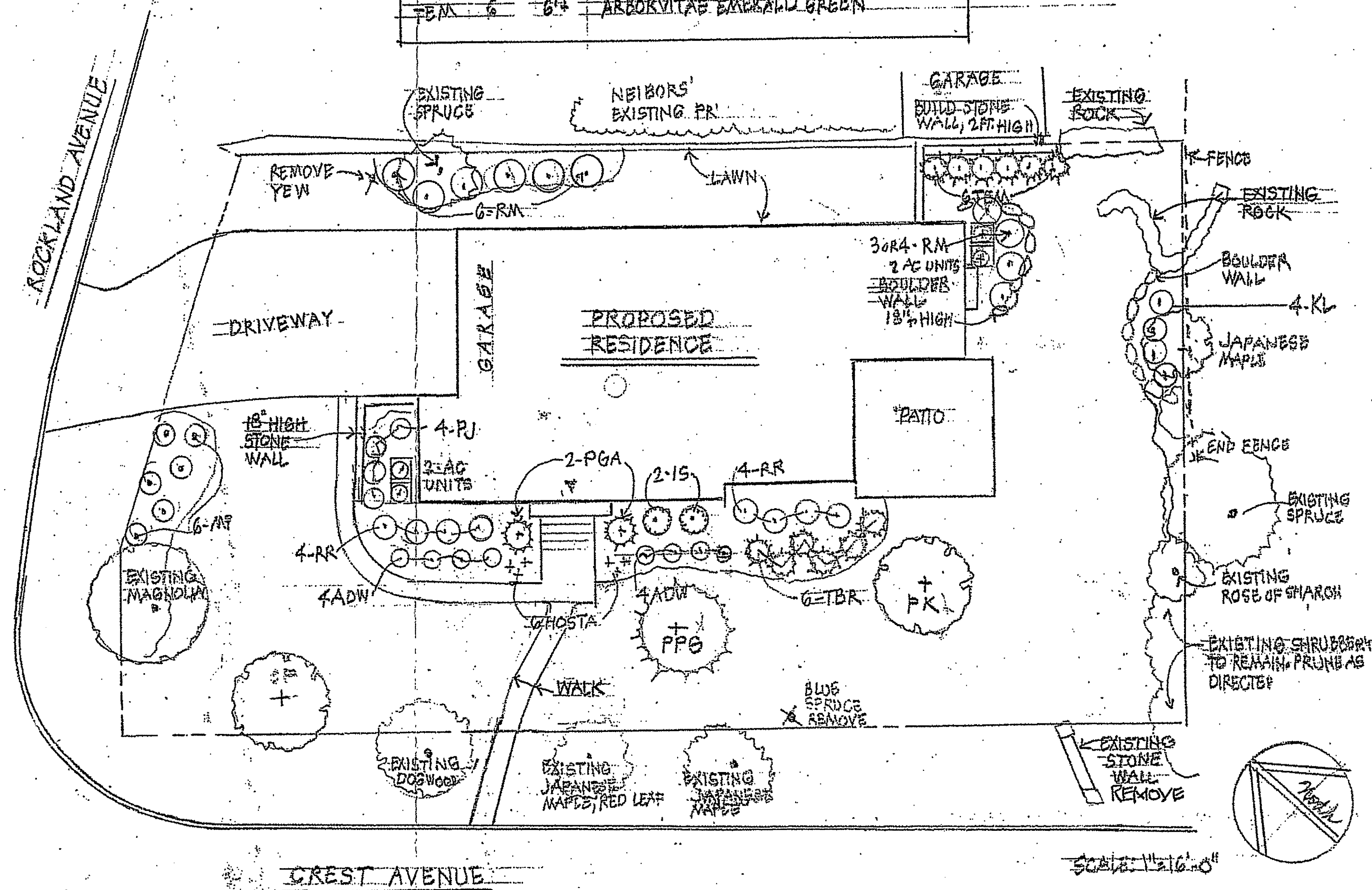
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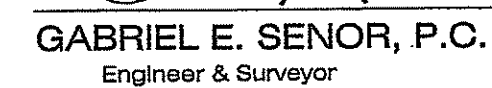
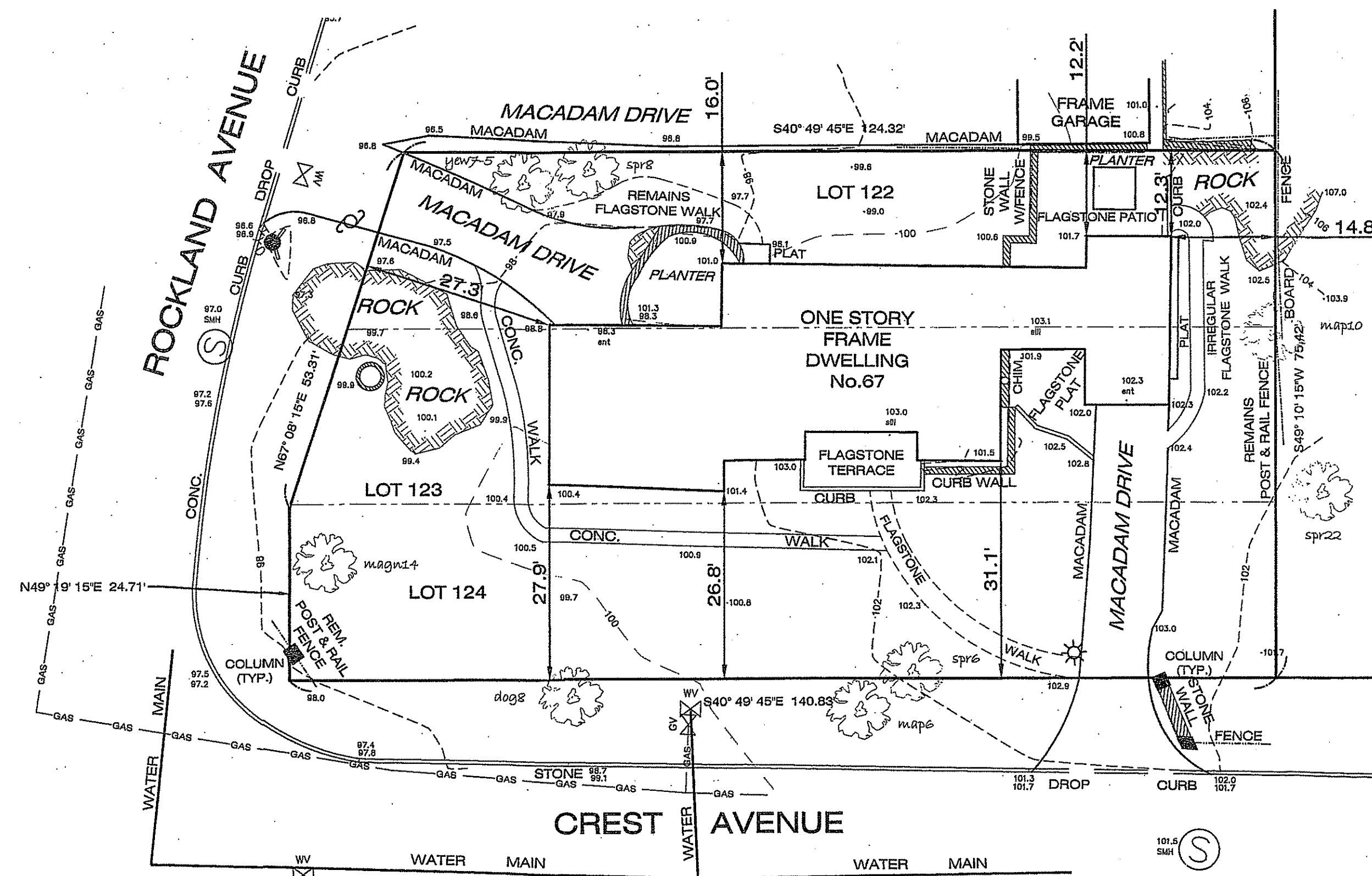
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PRELIMINARY LANDSCAPE PLAN
 67 ROCKLAND AVENUE, TOWN OF HAMARONECK, N.Y.
 SECTION 13, BLOCK 23, LOT 452
 BUILDER: J.A.E. BUILDERS CORP.
 ARCHITECT: RMG ASSOCIATE, RYE, N.Y.
 LANDSCAPE ARCHITECT: ANTHONY ACCOBELLA
 AUGUST 2, 2019.

PLANT LIST

KEY	NUMBER	SIZE	NAME
ADW	8	3 1/2'	DELAWARE VALLEY AZALEA
CF	1	10'	NATIVE DOGWOOD 'FLORIDA'
HOSTA	6	1 1/2'	VARIAGATED HOST 'WHITE EDGE'
IS	2	4 1/2'	STEEDS HOLLY
KL	4	2 1/2'	MOUNTAIN LAUREL
MP	6	3 1/2'	BAYBERRY
PPG	1	6'	BLUE SPRUCE
PJ	4	5'	ANDROMEDA
PK	1	3 1/2'	KWAZAN FLOWERING CHERRY
PGA	2	3 1/2'	DWARF ALBERTA SPRUCE
RM	10	5 1/2'	NATIVE RHODODENDRON (ROSE BAY)
RR	8	3 1/2'	HYBRID RHODO. (ROSEUM ELEGANS)
TBR	6	2'	SPREADING ENGLISH YEW
TEM	6	6 1/2'	ARBORVITAE EMERALD GREEN





SCALE: 1" = 15'	
DATE: MAY 28, 2019	
DRAWN BY: MCN.	CHECKED BY: ES.

GENERAL NOTES

1. Gabriel E. Senor, P.C. is not responsible for construction supervision unless retained under separate contract.
2. Gabriel E. Senor, P.C. must be notified prior to backfilling any storm water system for inspection if The Engineering Dept. will require a final letter of certification from the design engineer for the storm water approval, site work and drainage installation.
3. Any changes made to these plans shall be approved by Gabriel E. Senor, P.C. Any changes must be filed and approved by the appropriate Department as amendments.
4. Gabriel E. Senor, P.C. is not responsible for damages if changes are made and not approved as in item 1 above.
5. All conditions, locations, dimensions and elevations shall be verified by the Contractor or Owner and must report all discrepancies to the Design Engineer prior to the start of construction.
6. All work and materials shall comply with all applicable codes including, but not limited to the following: NYS Building Code, Local Zoning Code, ACI and ASCE.
7. The Contractor is responsible for all construction means and methods to implement the designs shown.
8. Safety during construction is the responsibility of the Contractor and shall conform to all Local, State and Federal Agencies' requirements.
9. The Contractor shall apply for and receive all necessary permits to perform the work shown on these plans prior to the start of construction.
10. Final grading shall be sloped away from the building and foundations.
11. Unless noted, all drainage piping on this plan is to be 6" Rigid HDPE ASTM F810-07 or better.
12. This storm water design plan is not designed to accept footing drains. Refer to Architectural plans for footing drain design. Do not connect footing drains or sump pumps to this surface water drainage system.
13. If the drainage system is to be built in a filled area, the fill should be well drained material with a settling period of one to three months prior to the system installation. Additional percolations are required after the settling period and the system design will be revised as necessary.
14. Proposed Silt Fence to be installed along existing and proposed contours.
15. Orange Construction Fence to be installed along the limits of the proposed disturbance limits line.
16. Roof leaders to be connected to the drainage system with 6" rigid HDPE pipe at 2% min. slope or as shown.
17. The Contractor and all Sub-Contractors must submit a "Contractor Certification Statement" as per section 294-8 of the NYSDEC "Stormwater Pollution Prevention Plan" manual prior to the start of construction.
18. If imported fill material is required, it shall be certified in writing by a New York State licensed Professional Engineer as non-contaminated, clean fill suitable for the intended use. Percolation tests shall be performed by the Design Engineer to demonstrate that the stormwater management practice will draw down the entire water quality volume within 48 hours. The results of the percolation test (s) shall be submitted to the Municipal Engineer for review and approval.
19. All proposed temporary seeding mixture shall be in accordance with the New York State Standards and Specifications for Urban Erosion Control, dated August 2005.
20. Connection permits are required from the Department of Public Works for Sewer, Water, and Storm Water System overflows.
21. All trenches in the Municipality Right of Way must be backfilled with controlled density fill (1-cure) or as directed by Municipal Engineer.
22. Replace or re-lay stone curb as directed by Municipal Engineer.
23. A non-conversion agreement for the basement in Special Flood Hazard Zone must be signed and filed prior to the issuance of a C. of O. for properties subject to flooding.
24. The contractor shall schedule with the Municipality a rough grading inspection prior to any framing of a building above the first floor braced decking. Excess soils of significance shall be removed and disposed of upon completion of the rough grading.
25. The structures for the storm water management system shall be installed at the earliest date possible when the structure's roof is complete. The contractor shall consult with the Municipality and schedule this work upon completion land inspection of the rough grading activities.
26. If necessary, the Contractor shall secure a Tree Removal Permit with the Municipality prior to the commencement of construction activities.
27. Contractor required to provide Dig Safe NY ticket prior to issuance of permits.
28. Disturbed soils shall receive temporary stabilization / final restoration when no further disturbance is planned within 14 days.
29. Safe storage and handling provisions for construction fuels and chemicals shall conform to OSHA standards and requirements

EROSION CONTROL NOTES

INSTALLATION & MAINTENANCE OF EROSION CONTROL

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES

1. Install all erosion control measures prior to start of construction.
2. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 Days prior to finish.

INSPECTION BY MUNICIPALITY

MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

1. After any rain causing runoff, Contractor to inspect silt fences, etc. and remove any excessive sediment and inspect stockpiles and correct and problems with seed establishment.
2. Inspections shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.

STOCK PILING OF EXCAVATED MATERIAL

1. Strip Topsoil and Stockpile.
2. Stockpile Excavation Subgrade.
3. Seed piles with 1 lb. total annual ryb or remove from site within two days.

INSPECTION BY MUNICIPALITY

FINAL GRADING

1. Remove unneeded subgrade from site.
2. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

LANDSCAPING

1. Spread topsoil evenly over areas to be seeded. Hand rake level.
2. Broadcast 1 25lb. bag of Jonathan Green "Fastgrow" mix or equal over areas to be seeded.

NARRATIVE

Rainfall intensity was utilized for 25 Year storm event at 6.41" for a 24 hour rainfall in Westchester County. The development is the construction of a single family residence with associated impervious areas. The site originally consisted of a single family residence. For the post development condition, excess surface stormwater generated by the impervious surfaces of the building and other areas shown, shall be stored in cuttec drainage structures to be constructed on-site.

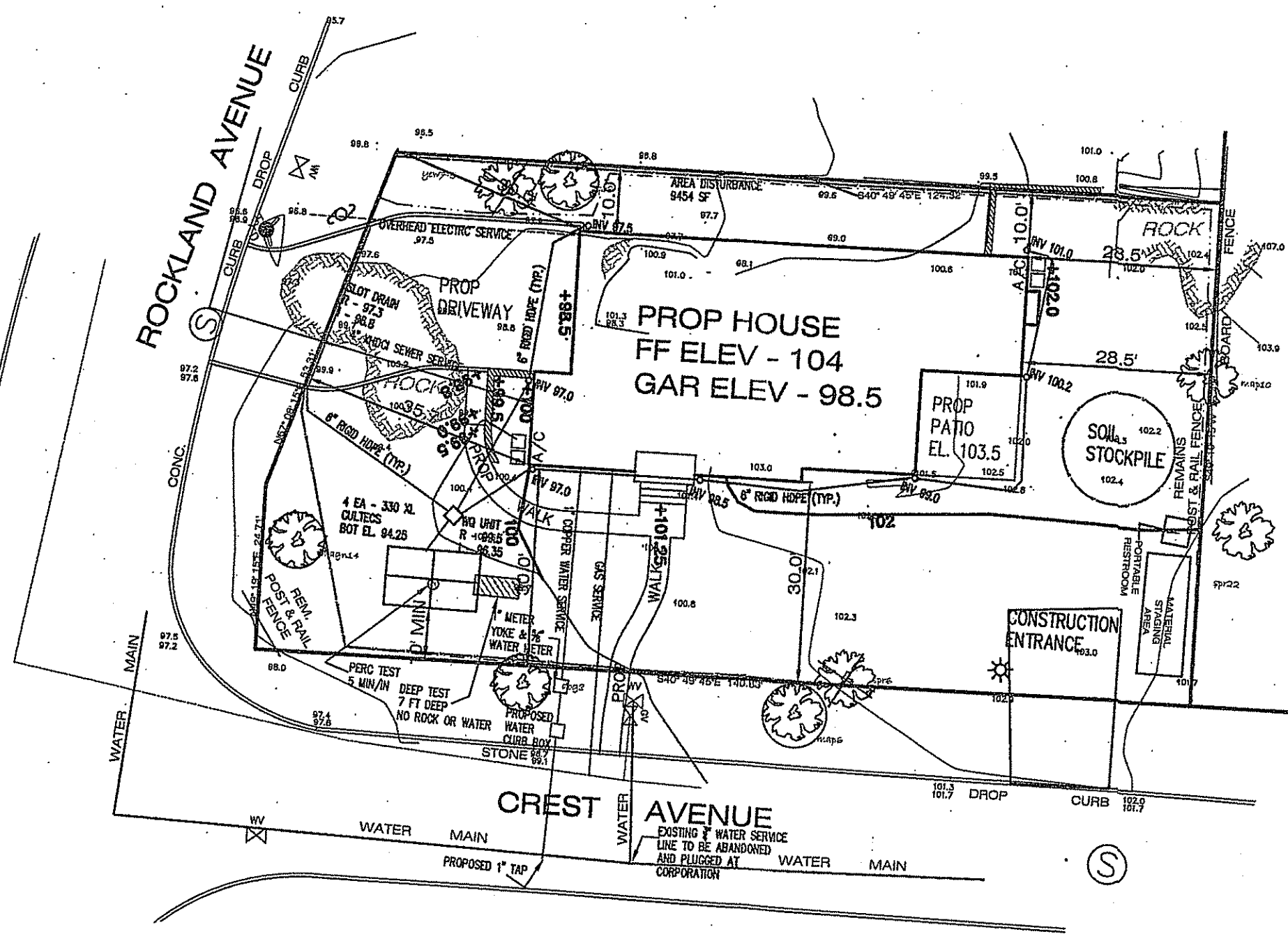
Runoff is to be mitigated by one system of 330 x1 Culetec drainage structures which will be connected to the roof leader system of the house and the patio.

The impervious areas being captured by the system are from the home roof leaders and patio, which is approx. 3,570 sf. This system consists of 4 culetics. See configuration on Site Plan.

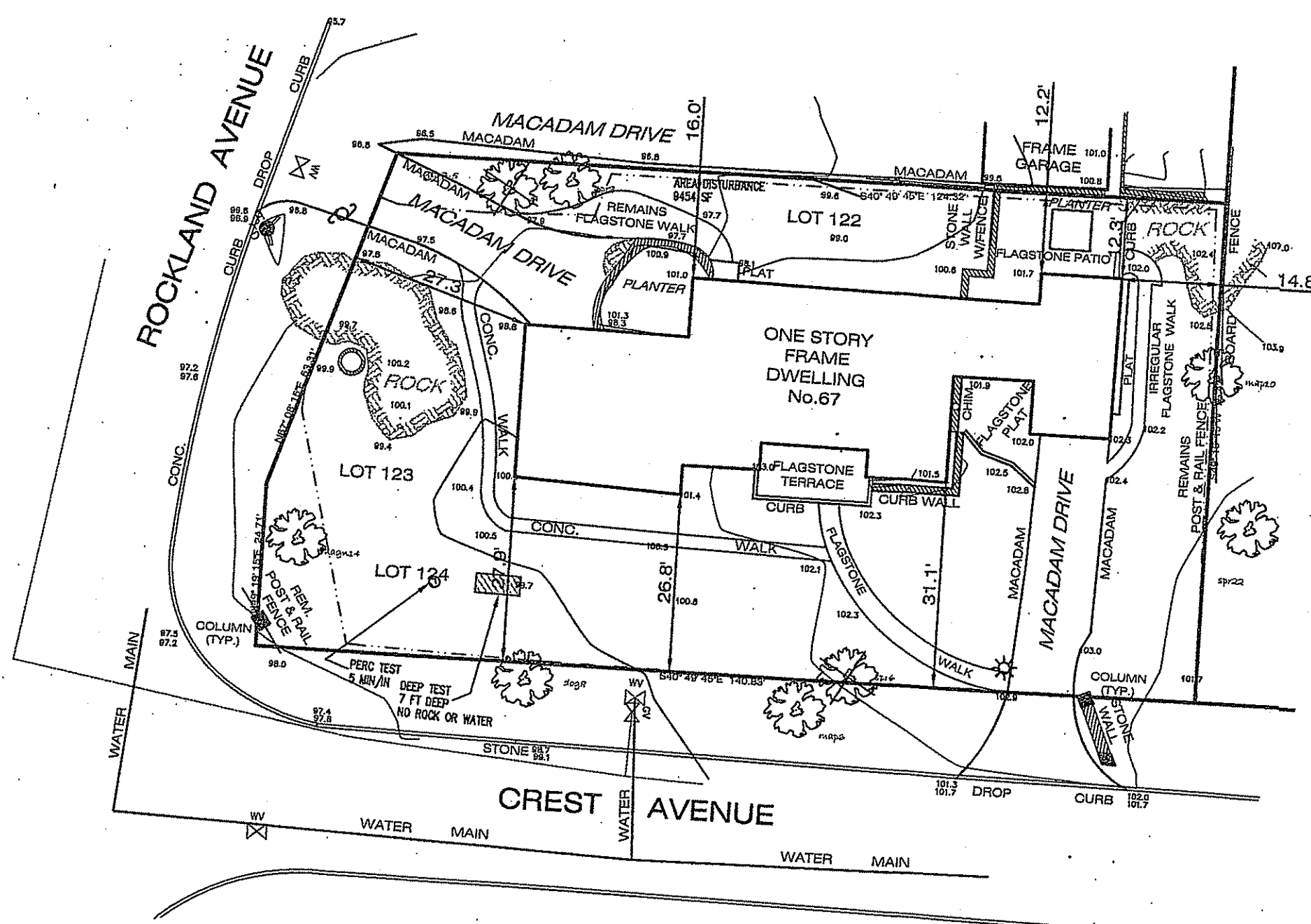
Given the Post Development basin routing runoff rates for the selected storms shown peak runoff has no significant net increase of those of the Pre Development condition. It is concluded that the proposed design satisfactorily meets the City regulation of no net increase in the rate of offsite storm water discharge.

POST CONSTRUCTION MAINTENANCE:

1. Land Owner to visually inspect all stormwater structures for silt and debris during May and November of each year. Any silt and debris to be removed by jet vacuum if within 12" of lowest pipe invert (min 24" sump required). **Culetec inspection ports to be examined at same time.**
2. De-compaction of soils following construction is recommended. This will not only aid in the re-establishment of vegetation following construction, but will help to ensure that levee area is previous in the future. Site soils shall be restored upon the completion of construction in accordance with the Soil Restoring Standards specified in Chapter 5 of the NYSDEC Stormwater Management Design Manual, latest edition.
3. Verification of the ownership of any tree designated to be removed near the property line prior to the tree removal.



PROPOSED CONDITION



EXISTING CONDITION

ALL EXISTING IMPROVEMENTS ARE TO BE REMOVED

LEGEND

- CATCH BASIN
- DRAIN INLET
- UTILITY POLE
- SIGN POST
- HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- GUY WIRES
- TELE. MANHOLE
- SEWER MANHOLE
- WATER MANHOLE
- ELECTRIC MANHOLE
- DRAIN MANHOLE
- MANHOLE
- ELECTRIC BOX
- 102 --- EXISTING GRADE (102)
- PROPOSED GRADE
- 14 TREE
- X SIZE TREE TO BE REMOVED
- SF --- SF --- SF SILT FENCE & CONSTRUCTION CLF

NO	DATE	DESC	BY
REVISIONS			

STORMWATER POLLUTION PREVENTION
AND EROSION CONTROL PLAN

PREPARED FOR: JAF BUILDERS

STREET: 67 ROCKLAND AVE

CITY: LARCHMONT, NY

A.K.A. SECTION 2 - TAX BLOCK 23 - LOT 452

LOCATED IN THE
TOWN OF MAMARONECK
WESTCHESTER COUNTY, NEW YORK

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GABRIEL E. SENOR, P.C.
CONSULTING ENGINEER • LAND SURVEYORS
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530
(914) 422-0070 FAX 422-3009

SCALE: 1" = 20'

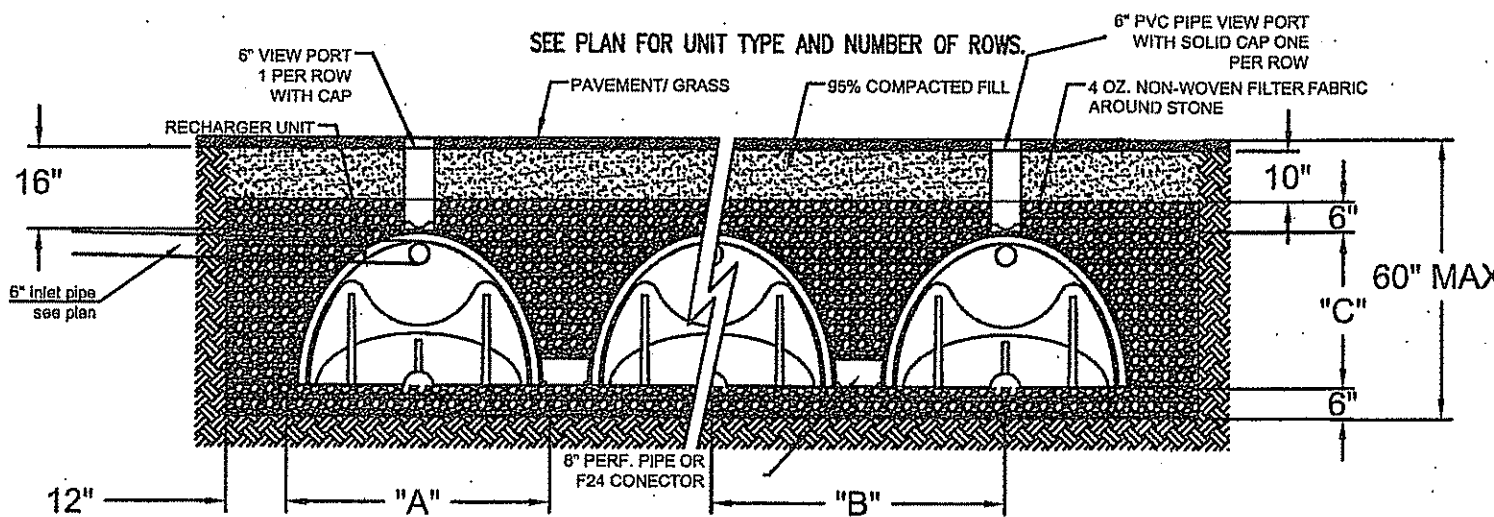
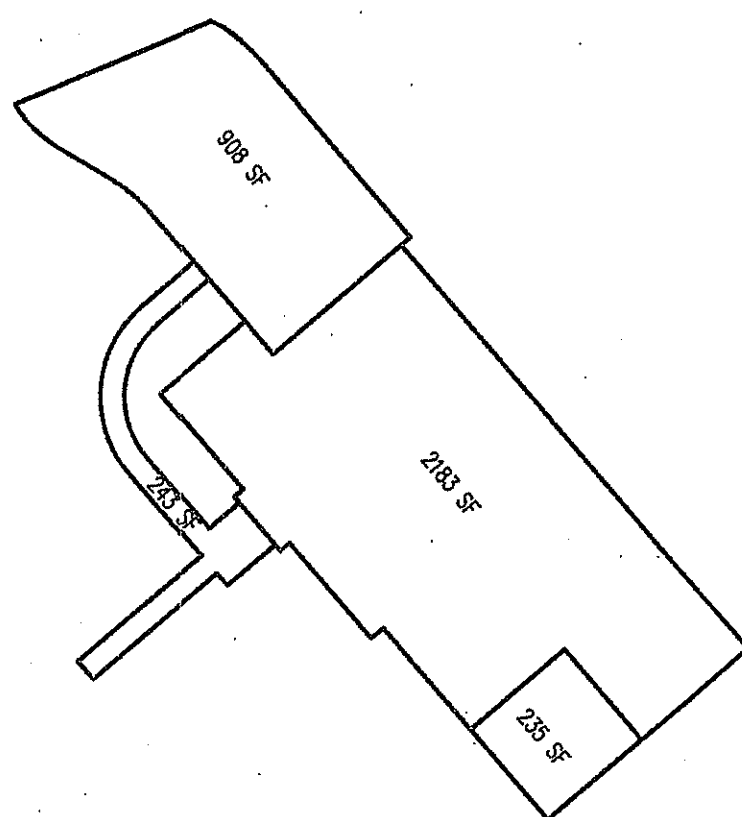
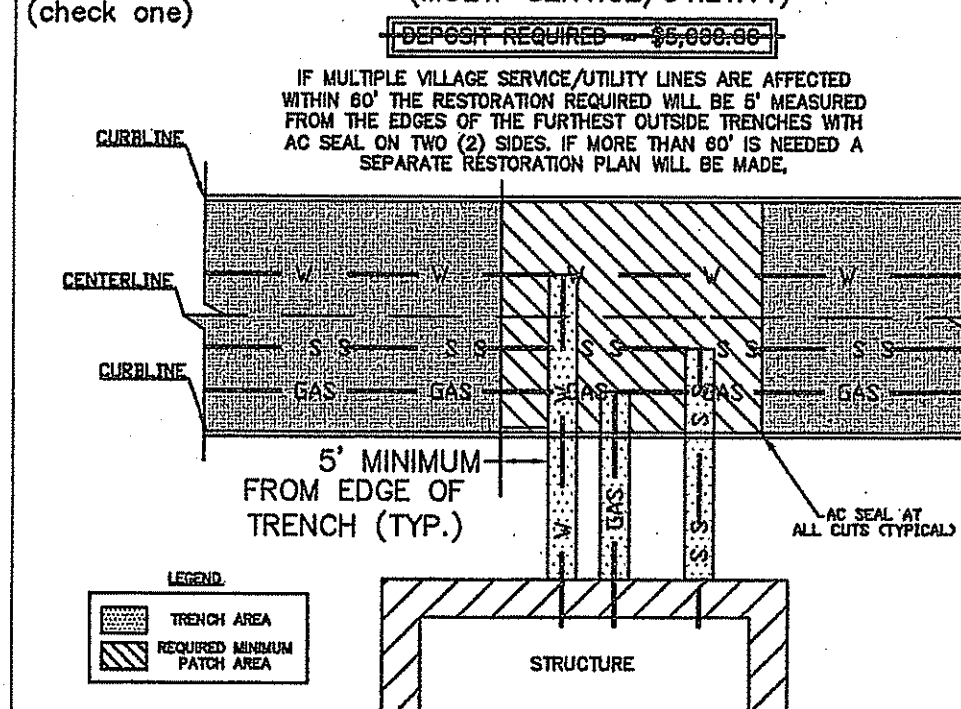
DATE: AUG 22, 2019

DRAWN BY: GC
CHECKED BY: ES.

PAVEMENT RESTORATION

IMPERVIOUS SURFACE AREAS

VICINITY MAP

SCENARIO "C"
(MULTI-SERVICE/UTILITY)

GENERAL NOTES

Maintain 10 ft. clearance to buildings and private property lines.

This system is only designed to receive runoff from the new additional impervious surfaces.

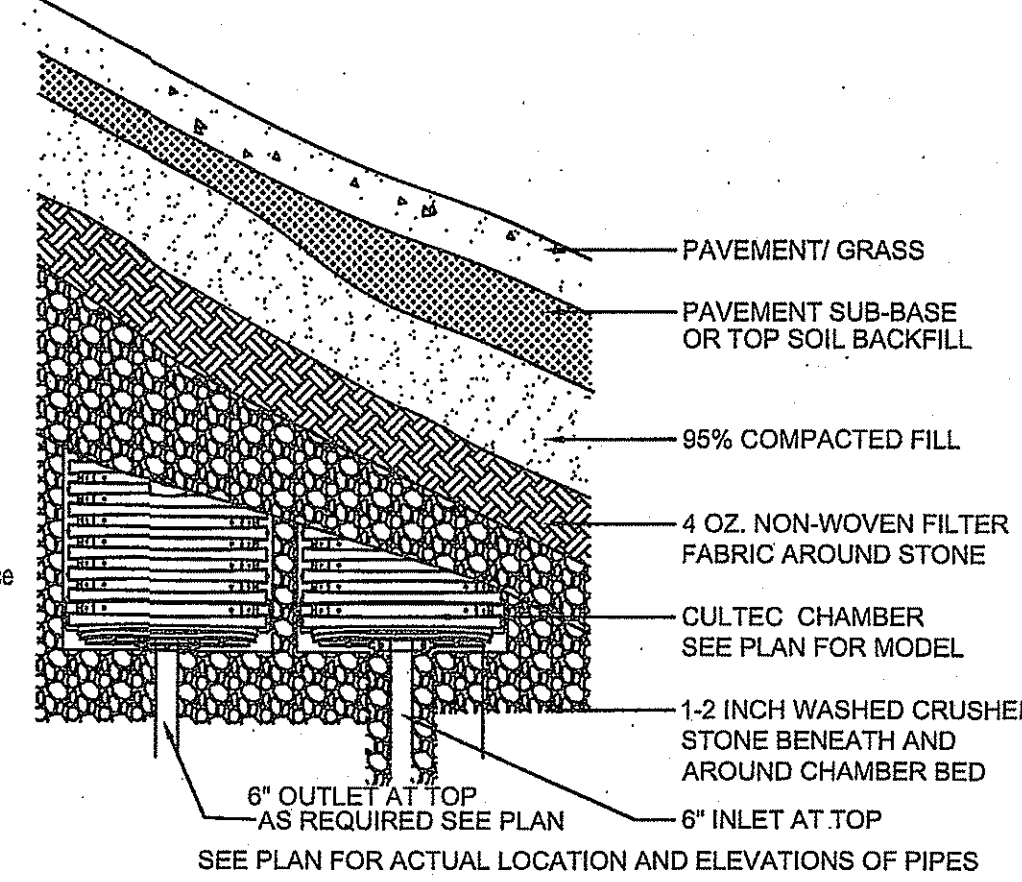
Do not connect footing drains to this system. Install separate system for the footing drains and sump pumps.

Recharger unit by Culec, Inc. of Brookfield. All recharger chambers must be installed in accordance with all applicable local, state and federal regulations.

Use recharger 330HD heavy duty for traffic and/or H2O applications.

Recharger 330HD heavy duty units are marked with a color stripe formed into the part along the length of the chamber.

Unit	A	B	C
Contractor 100	36"	40"	12.5"
Recharger 180HD	36"	39"	20.5"
Recharger 330XLDH	52"	58"	30.5"



DRAINAGE CALCULATIONS

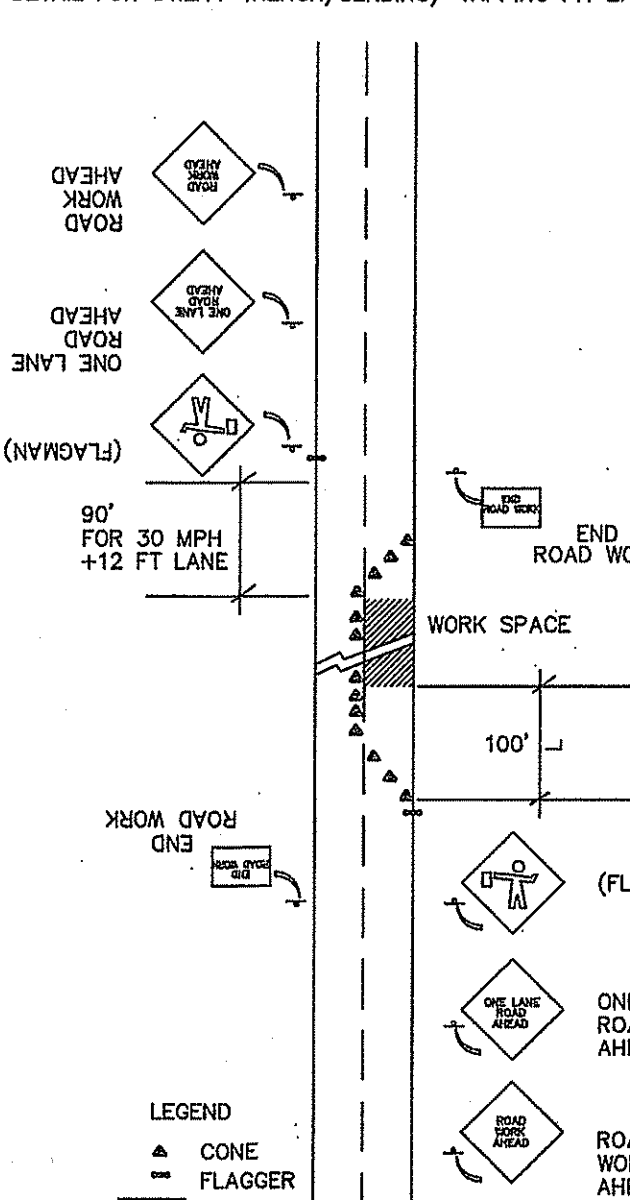
TRAFFIC CONTROL FOR ONE LANE SECTION ON TWO LANE TWO WAY HIGHWAYS

Soil and Percolation Rate

Soil percolation tests were done at the site and performed in accordance with the procedure outlined in the "Stormwater Management: Westchester County Stormwater Best Management Practices Manual Series." The rate on the tests performed were as follows:

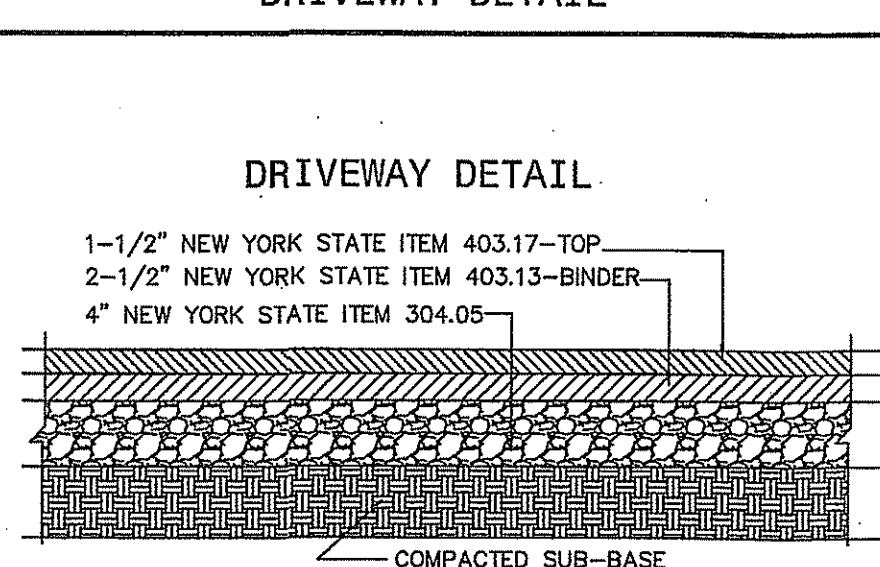
Test	Test Hole Depth (inches)	Rate (inches per hour)
1	12	0.05
2	12	0.05
3	12	0.05
4	12	0.05
5	12	0.05
6	12	0.05
7	12	0.05
8	12	0.05
9	12	0.05
10	12	0.05
11	12	0.05
12	12	0.05
13	12	0.05
14	12	0.05
15	12	0.05
16	12	0.05
17	12	0.05
18	12	0.05
19	12	0.05
20	12	0.05
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22	12	0.05
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24	12	0.05
25	12	0.05
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27	12	0.05
28	12	0.05
29	12	0.05
30	12	0.05
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37	12	0.05
38	12	0.05
39	12	0.05
40	12	0.05
41	12	0.05
42	12	0.05
43	12	0.05
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45	12	0.05
46	12	0.05
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92	12	0.05
93	12	0.05
94	12	0.05
95	12	0.05
96	12	0.05
97	12	0.05
98	12	0.05
99	12	0.05
100	12	0.05

N.Y.S.D.O.T. WESTCHESTER SOUTH, PAVEMENT RESTORATION DETAIL FOR UTILITY TRENCH/SENDING/TAPPING PIT EXCAVATION(S)

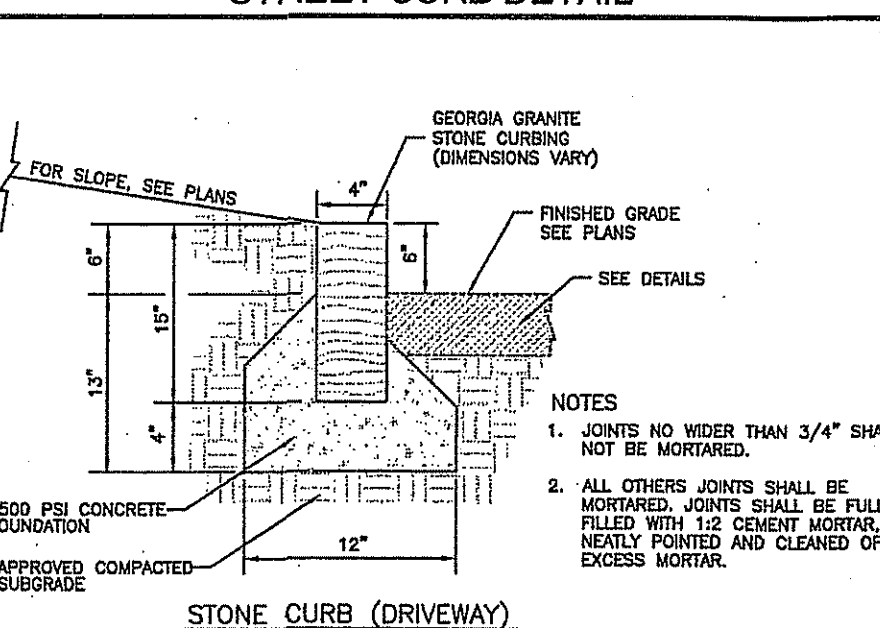


IMPERVIOUS SURFACE AREA 3570 S.F.
SYSTEM DESIGNED FOR MAX LOT COVERAGE 3570 S.F.
MAX COVERAGE = 35% OF LOT AREA (LOT AREA = 10,200 SF)

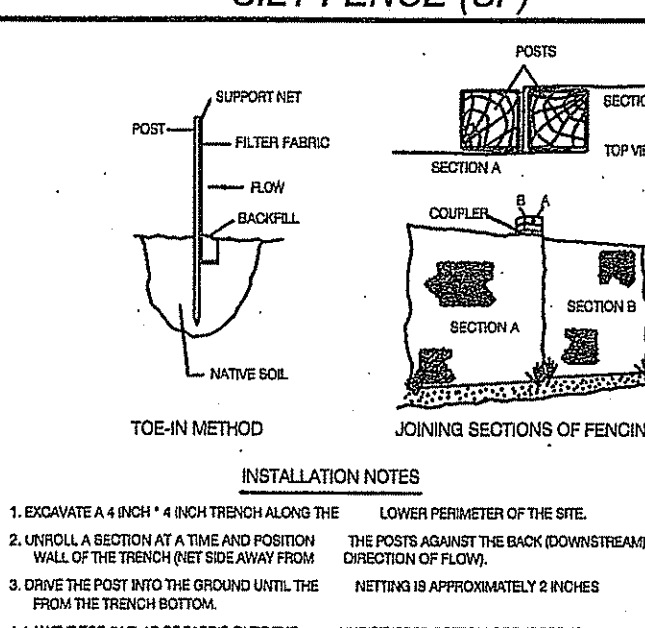
DRIVEWAY DETAIL



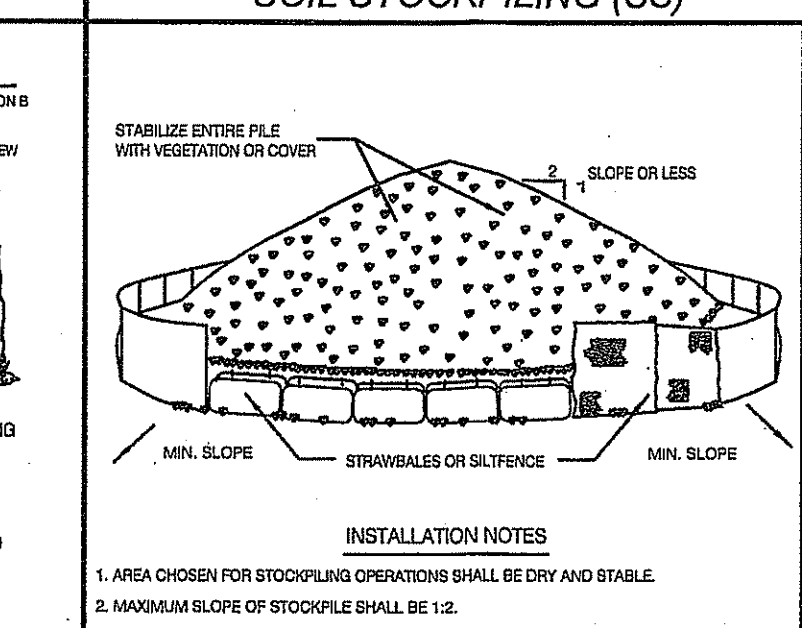
STREET CURB DETAIL



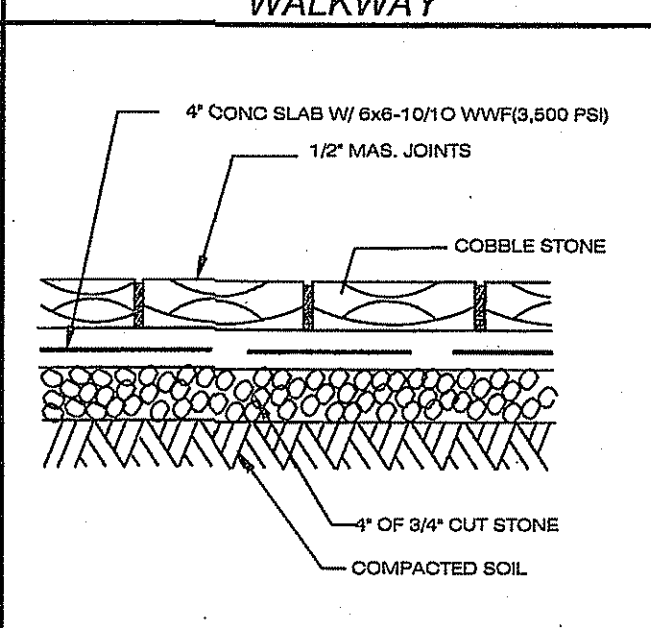
SILT FENCE (SF)



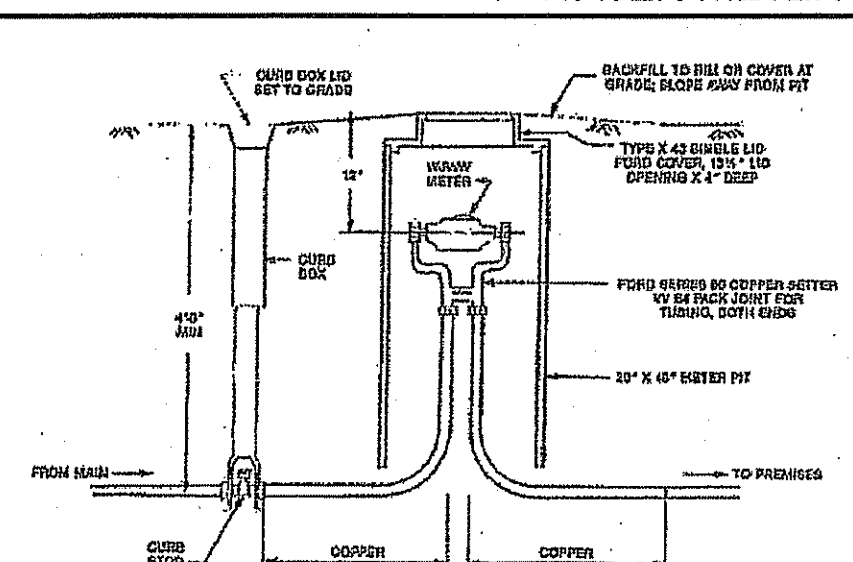
SOIL STOCKPILING (SS)



WALKWAY



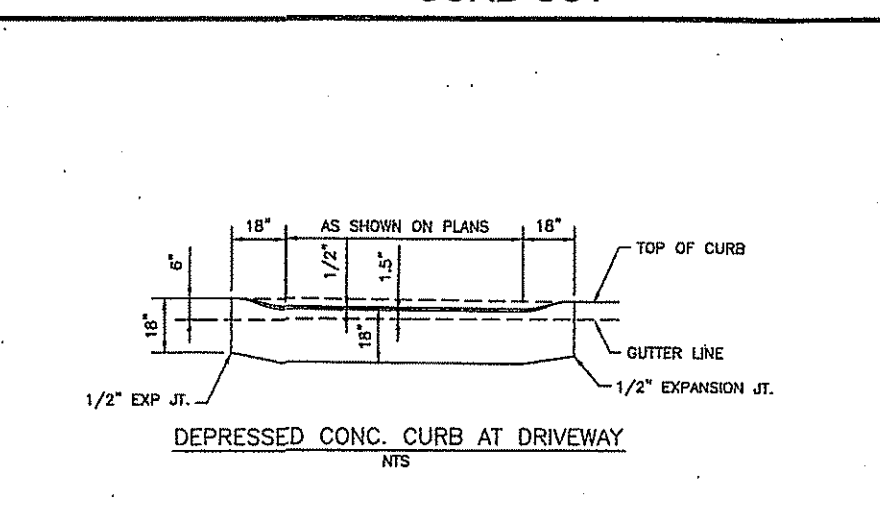
1" WATER METER PIT DETAIL



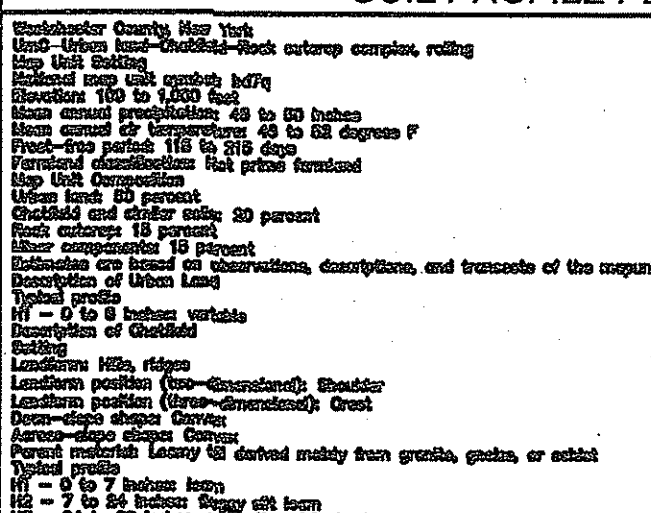
UTILITY NOTES:

- EXISTING WATER SERVICE LINE MUST BE ABANDONED AND PLUGGED AT THE CORPORATION.
- EXISTING WATER CURB BOX MUST BE REMOVED AND BACKFILLED.
- INSTALLATION OF BACKFLOW PREVENTION DEVICES SHALL BE REQUIRED IN ACCORDANCE WITH WWWW REGULATIONS. THE TYPE OF BACKFLOW DEVICES WILL BE BASED ON POTENTIAL HAZARD.

CURB CUT



SOIL PROFILE PER USDA WEBSITE



SOIL DEEP & PERCOLATION DATA

Soil Profile	Soil Deep	Percolation
1	12"	12"
2	12"	12"
3	12"	12"
4	12"	12"
5	12"	12"
6	12"	12"
7	12"	12"
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10	12"	12"
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96	12"	12"
97	12"	12"
98	12"	12"
99	12"	12"
100	12"	12"

LEGEND

SEWER MANHOLE	WATER MANHOLE
ELECTRIC MANHOLE	DRAIN MANHOLE
MANHOLE	ELECTRIC BOX
EXISTING GRADE	PROPOSED GRADE
14" TREE	TREE TO BE REMOVED
SILT FENCE	AREA OF DISTURBANCE
CHAIN LINK FENCE	AS REQ'D BY MUNICIPALITY

STORMWATER POLLUTION PREVENTION AND EROSION CONTROL PLAN

PREPARED FOR: JAF BUILDERS

STREET: 67 ROCKLAND AVE

CITY: LARCHMONT, NY

A.K.A. SECTION 2 - TAX BLOCK 23 - LOT 452

LOCATED IN THE

TOWN OF MAMARONECK

WESTCHESTER COUNTY, NEW YORK

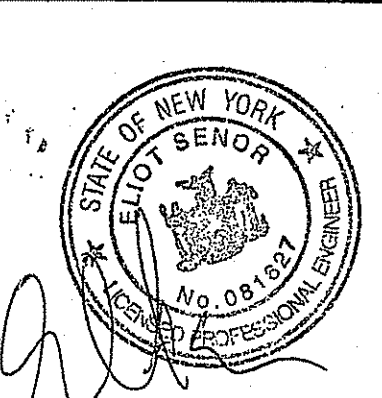
COPYRIGHT GABRIEL E. SENOR, P.C. 2016

GABRIEL E. SENOR, P.C.

CONSULTING ENGINEER LAND SURVEYORS

80 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530

(914) 422-0070 FAX 422-3009



SCALE: as shown
DATE: AUG 13, 2019
DRAWN BY: CHECKED BY:
GC ES.
SW-2

J.D. BARRETT & ASSOCIATES, LLC

www.jdbarrett.com

Landscape Architects • Site Planners • Environmental Scientists

September 12, 2019

Dr. C. Alan Mason, Chairman
Town of Mamaroneck-Village of Larchmont
Coastal Zone Management Commission (CZMC)
Town Center-740 West Boston Post Road
Mamaroneck, NY 10543

**Re: Bevilacqua Property – 12 Old Colony Drive
Block 713, Lot 438, R-15 Zone - .475 Acres
Proposed Swimming Pool – Referral to CZMC from Planning Board (PB)
Site Plan Approval Requested Under Code Section 361**

Dear Chairman Mason & Members of the CZMC:

At this time, our clients, Chris and Kristen Bevilacqua are requesting Site Plan Approval from the PB to allow them to install a swimming pool in their backyard for their family's enjoyment. As part of the PB review for the project, they have referred the project to the CZMC for review and consideration. This project has been before the Zoning Board of Appeals (ZBA) earlier this year and a rear yard area variance to install the swimming pool 19 feet to the rear lot line in lieu of the 30-foot rear yard requirement for the R-15 zone was granted as well as a variance to locate the pool equipment in an above-ground location vs. a buried location. In order to proceed with the PB review of the project, the PB has referred this project to the CZMC for review to ensure that the proposed project is consistent with the policies noted in the Local Waterfront Revitalization Program (LWRP). Therefore, we are now providing site plan information to the CZMC for review and consideration. We attach the following information for your consideration, including:

- This explanatory **Cover Letter**, prepared by J.D. Barrett & Associates, LLC, dated September 12, 2019.
- A completed **Coastal Assessment Form**, signed by the applicant/owner.
- A **Site Plan-Sheet 1 of 2**, prepared by J.D. Barrett & Associates, LLC, dated July 3, 2019, revised September 12, 2019.
- An **Erosion Control & Planting Plan-Sheet 2 of 2**, prepared by J.D. Barrett & Associates, LLC, dated September 12, 2019
- A copy of a recent **Survey** for the property prepared by Merritts Land Surveyors, Pleasantville, NY, dated June 21, 2019.

Overview & Background

This project proposes to install an in-ground swimming pool and above-ground pool equipment pad in the owner's private backyard. As noted above, this project has received variances from the ZBA and the project is currently under environmental review with the PB. The PB has requested review and input from the CZMC in order to continue their project review for site plan approval.

Environmental Setting

The subject property is positioned in the R-15 zone on Old Colony Drive in a neighborhood of similarly sized lots and homes. All the homes in the neighborhood are maintained in a landscaped manicured setting. The subject property measures .475 acres and backs up to Spanish Cove. The property elevation is at 8+ feet above sea level. The water elevation of Spanish Cove varies with the tides, but the base water elevation of Spanish Cove would be sea level, at elevation 0. Hence, the subject backyard is positioned approximately 8 to 9 feet higher than Spanish Cove and separated from Spanish Cove by a stone retaining wall. The homes on either side of the Bevilacqua property are similarly positioned at elevation 8'-10' and they all back up to Spanish Cove, again, separated by the +/- 8' tall stone retaining wall. We note that swimming pools in the neighborhood are common and that the two neighboring properties on either side of the subject property also have in-ground swimming pools in their backyards.

Proposed Site Plan

The proposed swimming pool as shown on the attached site plan shows the pool located in the existing lawn area approximately 19 feet from the rear yard property line in lieu of the required 30-foot rear yard setback. We note here that the owners have agreed to a narrower 16-foot wide pool versus a standard 20-foot wide pool in order to minimize the variance request and better fit the pool into the backyard.

We do not believe that the installation of the swimming pool and swimming pool equipment in the Bevilacqua backyard, as shown on the accompanying site plan, will have a negative impact on the neighbors. We believe that because the swimming pool and pool equipment will be located at grade in the private, secluded backyard on the property that it will not be visible to the adjacent neighbors because in the existing condition the backyard/side yards are currently fenced and buffered with mature landscaping, thereby precluding views into the property. Similarly, the pool will not be visible from Spanish Cove because the water elevation in Spanish Cove is eight feet lower than the elevation of the backyard.

Site Plans included are labeled "Sheet 1 of 2-Site Plan" and "Sheet 2 of 2-Erosion Control & Planting Plan". The Site Plan shows all surrounding area information, photographs of the rear yard of the subject property, and swimming pool features that are keyed to a legend. Cross sections through the pool are also shown to illustrate the secluded nature of the backyard. A Zoning Conformance Table and General Notes are also shown on Sheet 1 of 2.

Sheet 2 of 2, the Erosion Control & Planting Plan provides information on the proposed erosion control measures to contain sedimentation on site and protect Spanish Cove. There is also a lighting and landscape plan, along with the rain garden design calculations and details.

Proposed Stormwater Management

This property backs up to Spanish Cove and all property runoff from the backyard subject area eventually runs off to Spanish Cove. Portions of the front yard currently run off to Old Colony Drive and enter the Town's drainage system in the roadway and eventually discharge into Spanish Cove or Long Island Sound. We include on our Site Plan, locations of stormwater infiltrators for the home as previously proposed (at the time of house construction) on the Erosion Control Plan/Drainage Plan prepared by the prior engineering consultant. These infiltrator units are shown on our Site Plan for reference purposes and we cannot be 100% certain the units were installed in the locations shown on the plan. However, the contractors shall be cognizant that the infiltrator units are likely installed in the backyard and they shall be protected from new construction. If a conflict exists between the installed infiltrator units and the proposed new swimming pool, the existing units shall be repositioned on the property, as practical and logical and to the satisfaction of the Town Engineer. A schematic infiltration relocation diagram is shown on the plan.

Proposed stormwater management quality measures associated with this project include a continuous rain garden/sand filter system that will be installed along the seawall at the rear of the property down slope from the pool and patio. The purpose of this water quality enhancement feature shall be to allow stormwater sheet flowing off the property toward Spanish Cove to be intercepted by the rain garden/sand filter system where stormwater pollutants can be bound up in the sand mixture and plant biomass, thereby allowing enhanced/cleaner storm flows to eventually enter Spanish Cove. We believe that the majority of the runoff entering the rain garden will eventually drain behind the existing wall and seep into Spanish Cove. We show grassed swales on either side of the pool and patio to direct stormwater runoff from the pool area to the rain garden. Details of the rain garden design and the plantings proposed in the rain garden are shown on the plan. We also note here that overflow from the pool skimmer and drainage from the auto-cover box will be directed to the underground, adjacent infiltrators, hence no surface discharge of pool water is proposed. We believe the water quality measures can effectively capture and pre-treat stormwater runoff pollutants prior to the stormwater runoff entering Spanish Cove.

Landscaping

In the current condition, the subject backyard where the proposed swimming pool will be located is very private with established vegetative hedgerows buffering the rear yard from the adjacent properties on either side of the subject property. This established landscaping shall remain in place as part of this project to maintain the buffering between the properties and enhance the privacy of all the neighbors. Additional hedgerow/buffer plantings can be added to enhance the vegetative buffer between the properties. Other plantings proposed include ornamental and rain garden plantings in the backyard to create a pleasant landscaped setting for the new swimming pool. New plantings will include small trees, shrubs, groundcovers and flowering perennials.

Additional evergreen buffer plantings will be added to the mechanical area adjacent to the side of the house and garage where the swimming pool equipment will be installed adjacent to the existing generator and A/C units to help buffer the views of the pool equipment and screen the area from view. Rain garden plantings will also be installed above the sand filter along the rear fence line and seawall.

Pool Equipment

The pool equipment for the new swimming pool is proposed to be positioned at the rear of the house in a concealed alcove adjacent to the garage side of the house. The pool equipment shall be set on a concrete platform above flood elevation (+/- 13.0', similar to the positioning of the existing house generator in this area). The pool filter shall be a cartridge type that requires no backwashing. Pool filtration water sterilization shall be done with a state-of-the-art pool filtration system using a combination of ozone and ultra-violet light which will ensure only minimal amounts of bromine will be required to keep the pool water sterile from bacteria and other harmful organisms. The bromine will provide a short residual presence in the pool water to maintain a safer swimming pool environment. The ultra-violet light/ozone system sterilizes pool water as it passes through the system but has no residual effect on the pool water, hence, small amounts of bromine in the pool water will be required.

Summary

We trust that this information will be helpful to the CZMC's review of the project. We look forward to discussing the project with the CZMC at the September 23, 2019 CZMC meeting.

Respectfully submitted,

Jeri D. Barrett

Jeri D. Barrett, R.L.A.

JDB:lj

Enc.

cc: Mr. & Mrs. Bevilacqua

**Town of Mamaroneck - Village of Larchmont
Coastal Assessment Form (CAF)**

Applicants, or the appropriate municipal agency, shall complete this Coastal Assessment Form (CAF) for proposed actions which are subject to Local Consistency Review (see Waterfront Revitalization Law §§234-1 through 234-5 in the Code of the Town of Mamaroneck and §§292-1 through 292-4 in the Code of the Village of Larchmont). This assessment is intended to supplement other information used by the Bi-Municipal Coastal Zone Management Commission in making a determination of consistency with the Town of Mamaroneck and Village of Larchmont Local Waterfront Revitalization Program.

Upon completion of this form, it should be submitted as part of a complete application package for review. If assistance or further information is required for Town of Mamaroneck matters, please contact the Town of Mamaroneck Environmental Planner at (914) 381-7845. For Village of Larchmont matters, please contact the Village of Larchmont Building Inspector at (914) 834-6210.

PLEASE PRINT OR TYPE ALL ANSWERS.

A. GENERAL INFORMATION

Will the proposed action be undertaken by a municipal agency? Yes [] No [☒]

If yes, please list agency or agencies and contact person(s): _____

If no, please complete the applicant information:

Name of Applicant: Chris & Kristen Bevilacqua

Street Address: 12 Old Colony Dr.

City, State, Zip: Larchmont, NY 10538

Phone: 917-790-0644 Fax: _____ Email: chris@bhv-llc.com

Location and ownership of property for which action is proposed:

Section: _____ Block: 713 Lot: 438

Owner of Property: Same as above

Street Address: "

City, State, Zip: "

Phone: " Fax: _____ Email: "

Size of property (square feet): 20,693.3 SF Is the property now developed? Yes [☒] No []

Will project require a zoning variance? Yes [☒] No []

If yes, briefly describe: Area variance granted 7/2019

C. COASTAL ASSESSMENT

Check either "Yes" or "No" for each of the following questions:

1. Will the proposed action be located in, or contiguous to, or have a **potentially adverse effect** upon any of the following designated resource areas?

	Yes	No	Maybe
a. Significant fish or wildlife habitat or designated critical environmental area	[]	[✓]	[]
b. Scenic resources of local significance	[]	[]	[✓]
c. Natural protective features in an erosion hazard area	[]	[✓]	[]

NOTE: If the answer to any of the above questions is "Yes", please explain in Section D any measures which will be undertaken to mitigate the adverse effects.

2. Will the proposed action have a **significant effect** upon:

	Yes	No	Maybe
a. Commercial or recreational use of fish and wildlife resources	[]	[✓]	[]
b. Scenic quality of the coastal environment	[]	[✓]	[]
c. Development of future, or existing water dependent uses	[]	[✓]	[]
d. Land or water uses within a small harbor area	[]	[✓]	[]
e. Stability of the shoreline	[]	[✓]	[]
f. Surface or groundwater quality	[]	[✓]	[]
g. Existing or potential public recreation opportunities	[]	[✓]	[]
h. Structures, sites or districts of historic, archeological or cultural significance to the local area, state or nation	[]	[✓]	[]

3. Will the proposed action **involve or result in** any of the following:

	Yes	No	Maybe
a. Physical alteration of land along the shoreline, land underwater or coastal waters	[]	[]	[✓]
b. Expansion of existing public services or infrastructure in or near undeveloped or low density areas of the coastal area?	[]	[✓]	[]
c. Filling, dredging, excavation or mining in coastal waters	[]	[✓]	[]
d. Reduction of existing or potential public access to or along the shore	[]	[✓]	[]
e. Development within a designated flood or erosion hazard area	[✓]	[]	[]
f. Development of a natural feature that protects against flooding or erosion	[]	[✓]	[]
g. Replacement of eroded sand or soil	[]	[✓]	[]
h. Construction or reconstruction of erosion protective structures	[]	[✓]	[]
i. Any change in surface or groundwater quality	[]	[✓]	[]
j. Removal of trees from the site	[]	[✓]	[]

4. Project details:

	Yes	No	Maybe
a. If the project is to be located adjacent to the shore:			
1. Does the project require a waterfront site in order to function	[]	[✓]	[]
2. Will water-related recreation be provided	[]	[✓]	[]
3. Will public access to shore or state owned underwater lands be provided.....	[]	[✓]	[]
4. Will it replace a recreational or maritime use	[]	[✓]	[]
5. Do essential public services and facilities presently exist at or near the site..	[]	[✓]	[]

Describe any unique/unusual landforms on the project site (rock outcroppings, swales, etc.):

N/A

Percentage of site which contains slopes of 25% or greater:

0%

Are there streams, lakes, ponds or wetlands existing within or contiguous to the project area?

If so, describe (name, size, characteristics):

Property backs up to Spanish Cove, separated by a +/- 8' ht stone retaining wall

Will the action require approval by a state or federal agency? Yes [] No [☒]

If yes, specify which state or federal agency and attach a copy of pending application and any relevant information and/or documentation to this form:

B. DESCRIPTION OF SITE AND PROPOSED ACTION

Provide a written description of the nature and the extent of the proposed action. Attach plans or additional information as necessary and/or required by application procedures.

See attached cover letter & site plans

6. Is the site located near a flood prone area.....[☒] [] []
7. Is the site located in an area of high erosion.....[] [☒] []
- b. Is the site presently used by the community as an open space or recreation area.....[] [☒] []
- c. Does the project site offer or include scenic views/vistas known to be important to the community or the state[] [☒] []
- d. Will the surface area of any waterways or wetland areas be increased or decreased by the project.....[] [☒] []
- e. Will the project involve any waste discharges into coastal waters.....[] [☒] []
- f. Does the project involve discharge of toxins, hazardous substances or other pollutants into coastal waters.....[] [☒] []
- g. Will the project affect any area designated as a tidal or freshwater wetland.....[] [☒] []
- h. Will the project result in an alteration of drainage flow patterns or surface water runoff on or from the site.....[] [☒] []
- i. Will best management practices (BMPs) be utilized to control stormwater runoff.....[☒] [] []
- j. Will any aspect of the proposed project result in emissions which exceed federal or state air quality standards or generate significant amounts of nitrates or sulfates.....[] [☒] []

Please explain any of the above answers that may need further clarification in Section D.

D. COMMENTS AND ADDITIONAL INFORMATION: (continue on back if necessary)

See attached cover letter

I certify that I am the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: 9/12 2019

Signature of Applicant

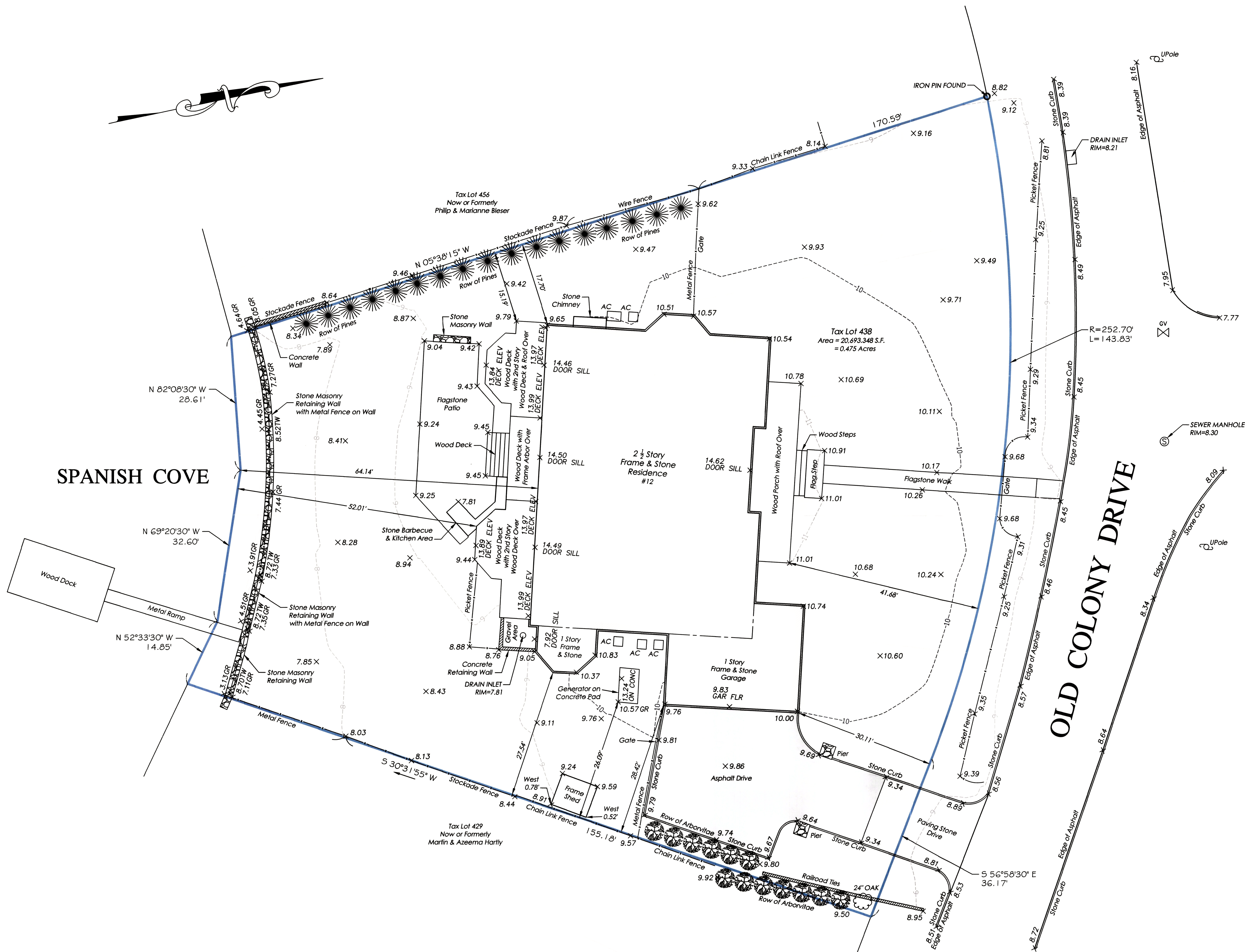
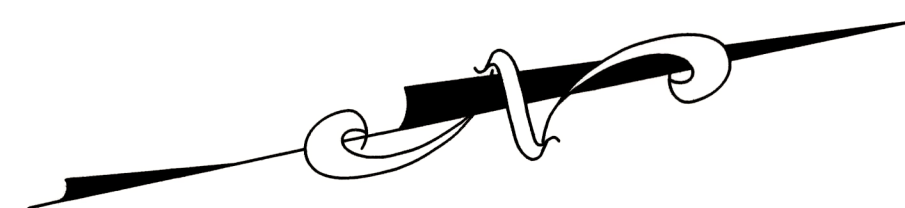
Prepared by: (if different than the applicant)

Name and Title: Jeri Barrett, RLA
Agency/Company: Jeri Barrett & Associates, LLC
Street Address: 109 Sport Hill Rd
City, State, Zip: Easton, CT 06612
Phone: 203 372-5805 Fax: 203 372-0499 Email: jeri@jdbarrett.com

I certify that I prepared this Coastal Assessment Form for the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: 9-12-19 20

Signature of Preparer



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

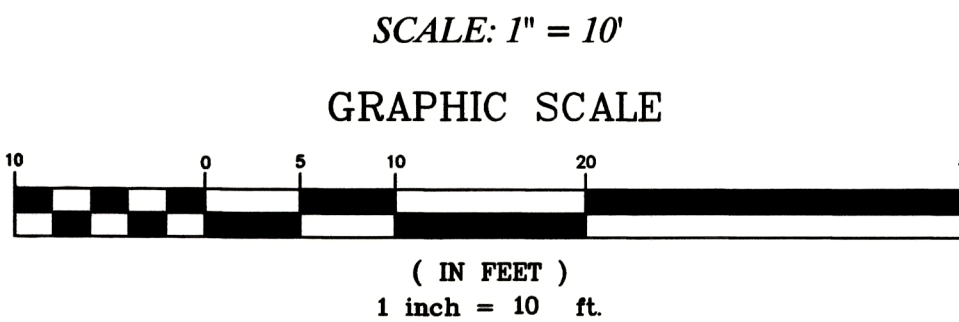
Premises hereon being Lots 162, 163, 164, 165, 166 and 167 in Block 108 as shown on a certain map entitled, "Third Amended Map of Larchmont Shores, Section No. 3, Showing Revision of Block 108, Larchmont, Westchester County, New York." Said map filed in the Westchester County Clerk's Office, Division of Land Records on January 9, 1933, as map number 3928.

Surveyed in accordance with Deed Control Number 530793756.

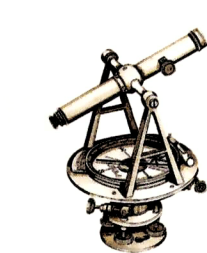
Premises shown hereon designated on the Town of Mamaroneck Tax Maps as: Section 7, Block 713, Lot 438.

EXISTING LOT COVERAGE	
BUILDINGS - PRINCIPAL	3,771.49 S.F.
BUILDINGS - ACCESSORY	56.25 S.F.
DRIVEWAY	1,247.18 S.F.
WALKS/PATIOS/PORCH/DECK/UTILITIES	1,773.69 S.F.
WALLS	180.74 S.F.
TOTAL LOT COVERAGE	7,029.35 S.F.
TOTAL LOT AREA	20,693.35 S.F.
% PRINCIPAL BUILDING COVERAGE	18.23 %
% ACCESSORY BUILDING COVERAGE	0.27 %
% TOTAL LOT COVERAGE	33.97 %
ZONE: R-15 22.5 % MAX. PRINCIPAL BUILDING COVERAGE 5 % MAX. ACCESSORY BUILDING COVERAGE 40 % MAX. PERMITTED LOT COVERAGE	

TOPOGRAPHY OF PROPERTY
PREPARED FOR
CHRISTOPHER BEVILACQUA
SITUATE IN THE
VILLAGE OF LARCHMONT
TOWN OF MAMARONECK
WESTCHESTER COUNTY, NEW YORK



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ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR
ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION
IS A VIOLATION OF APPLICABLE LAWS.

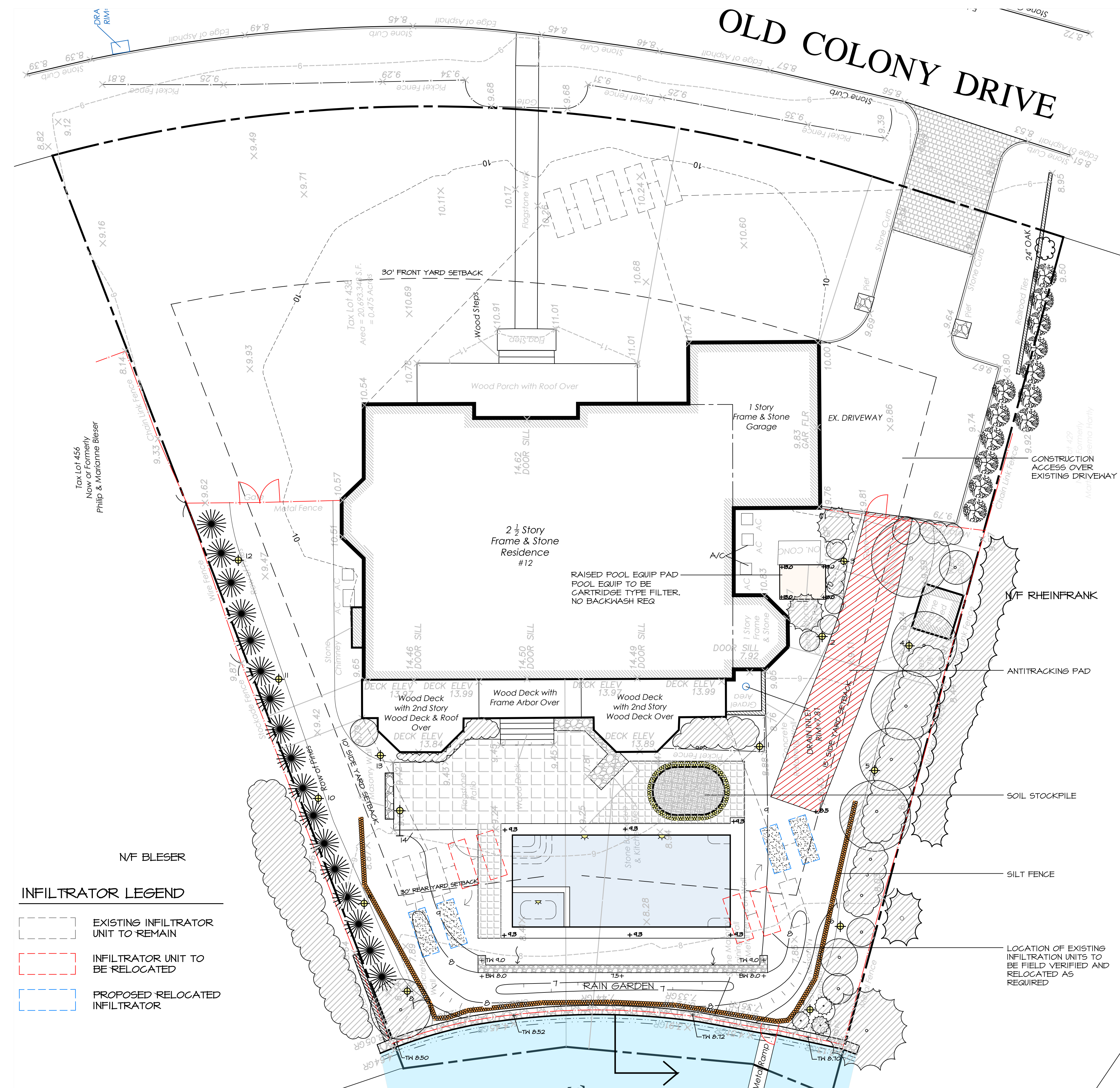


TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

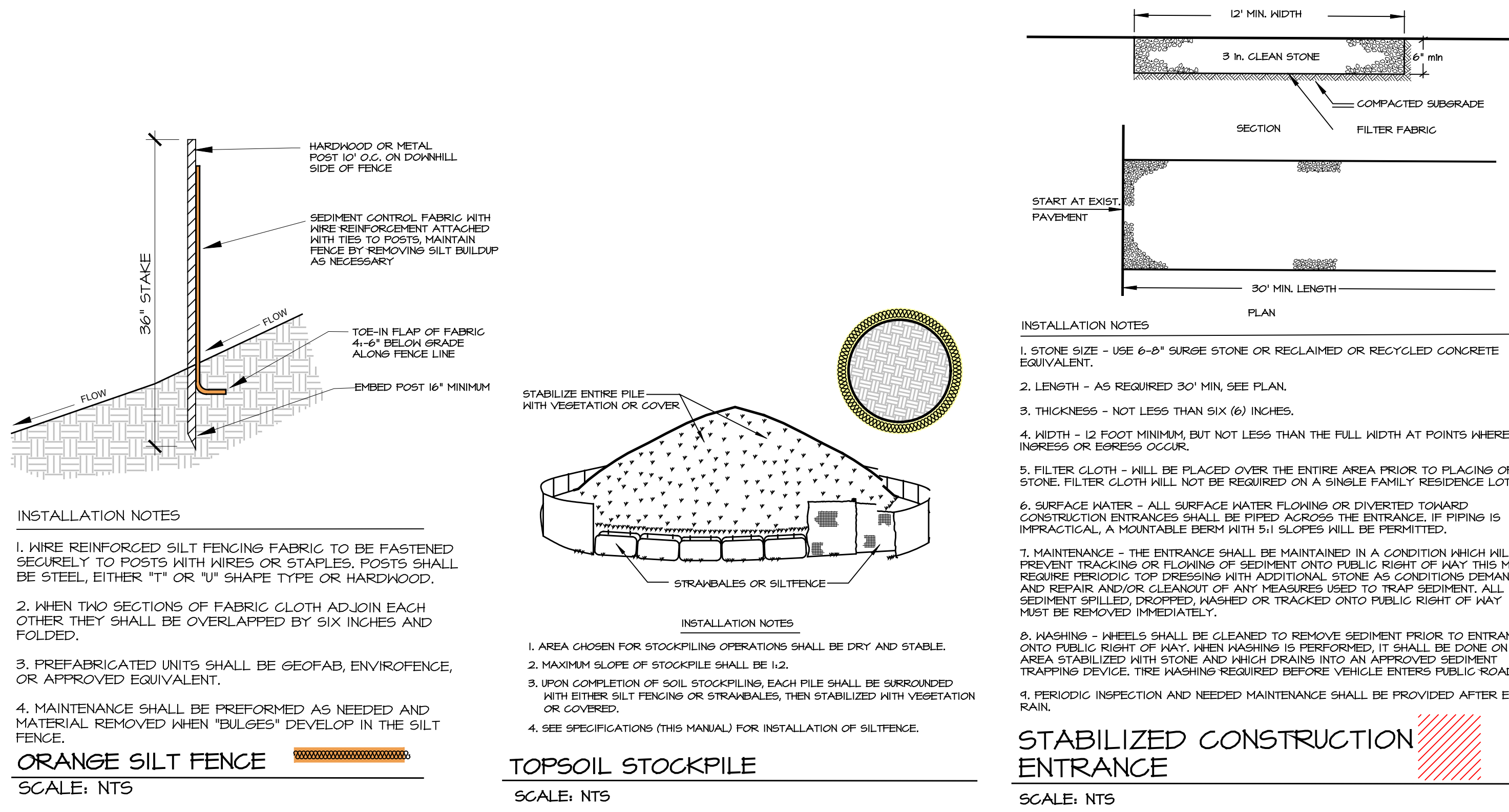
Surveyed: June 19, 2019
Map Prepared: June 21, 2019

By: *Ronald T. Merritt*
New York State Licensed Land Surveyor No. 050604

Project: 19-188	Field Survey By: BC/AP
Drawn By: DA	Checked By: DM



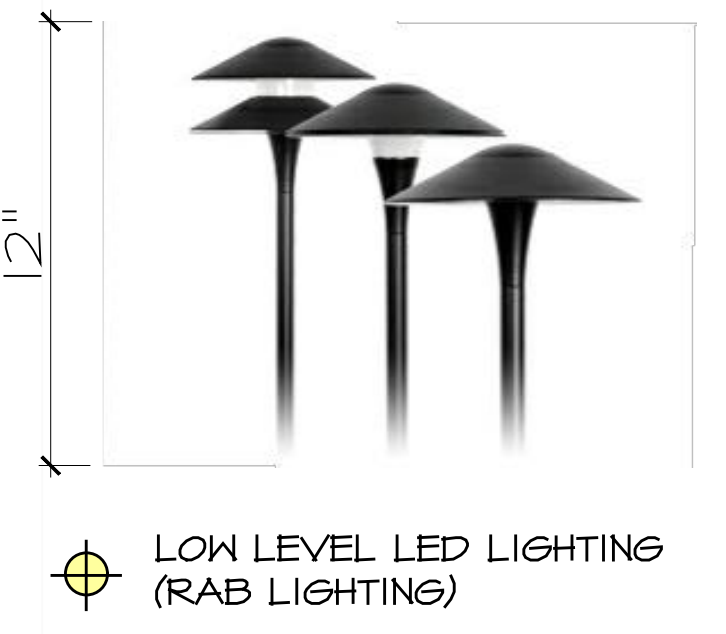
EROSION CONTROL PLAN
SCALE: 1"=10'



EROSION CONTROL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVELS IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENVIRONMENTAL CONSULTANT. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
3. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENVIRONMENTAL CONSULTANT AND IN ACCORDANCE WITH THE STANDARDS SET FORTH PER LOCAL CODES.
4. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE STRIPPED FROM THE WORK AREA FIRST AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE COVERED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
5. ALL INACTIVE DISTURBED AREAS NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL RECEIVE TEMPORARY SEEDING WITHIN SEVEN DAYS. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LINED AND FERTILIZED PRIOR TO SEEDING. FINAL STABILIZATION SHALL BE APPLIED UPON COMPLETION OF FINAL GRADING AND SOIL RESTORATION WITHIN 7 DAYS.
6. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE NETTED AS NECESSARY TO PROVIDE DUST CONTROL.
7. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT. SEE NOTE NUMBER 8 BELOW ON ANTI TRACKING PAD DETAIL.
8. SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
9. EROSION CONTROL MEASURES SHALL BE INSPECTED BY ENVIRONMENTAL CONSULTANT ON A WEEKLY BASIS UNTIL EARTHWORK ACTIVITY IS ON GOING AND UP UNTIL VEGETATIVE STABILIZATION OCCURS ON ALL DISTURBED AREAS.

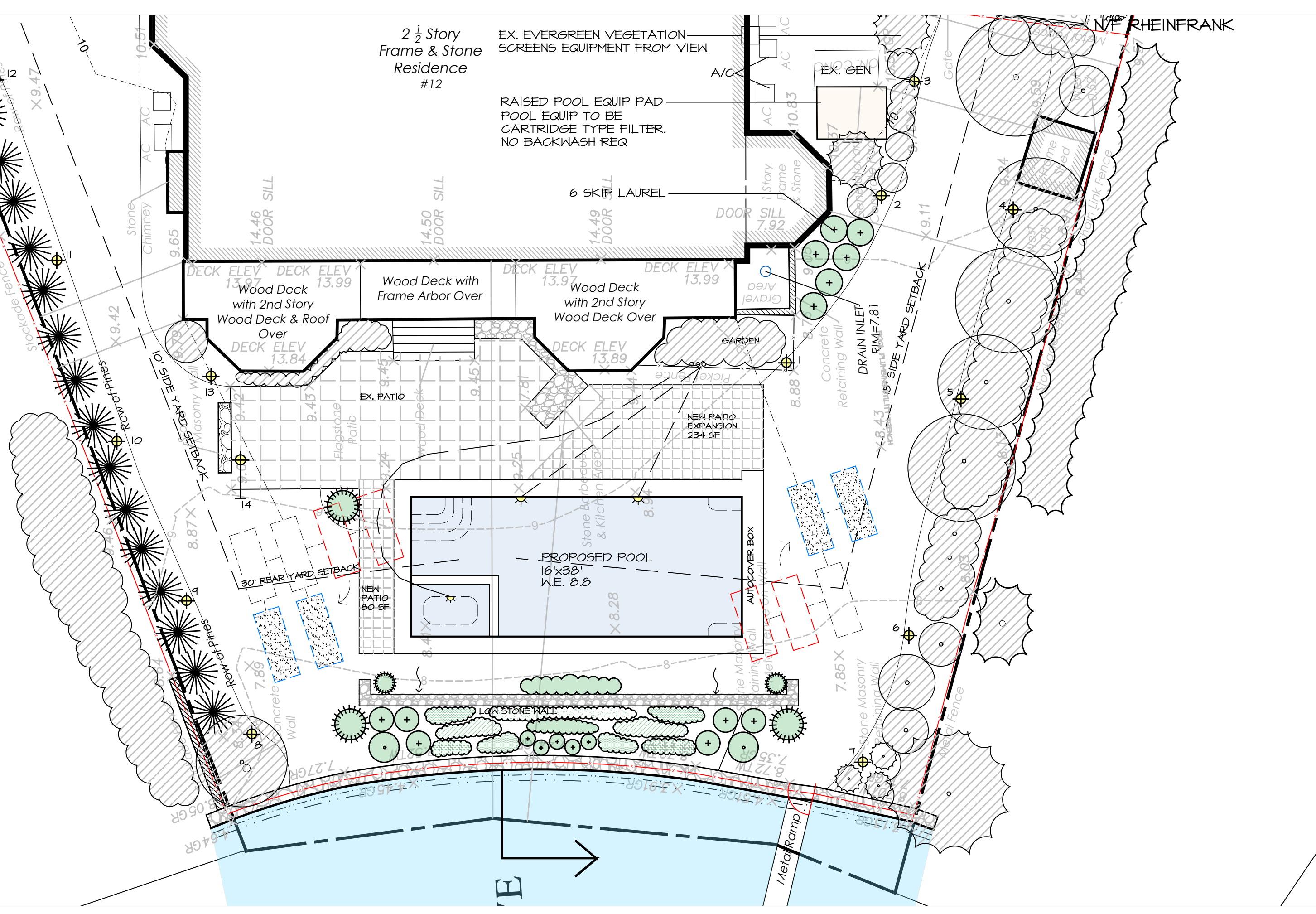
EXAMPLE LIGHTING



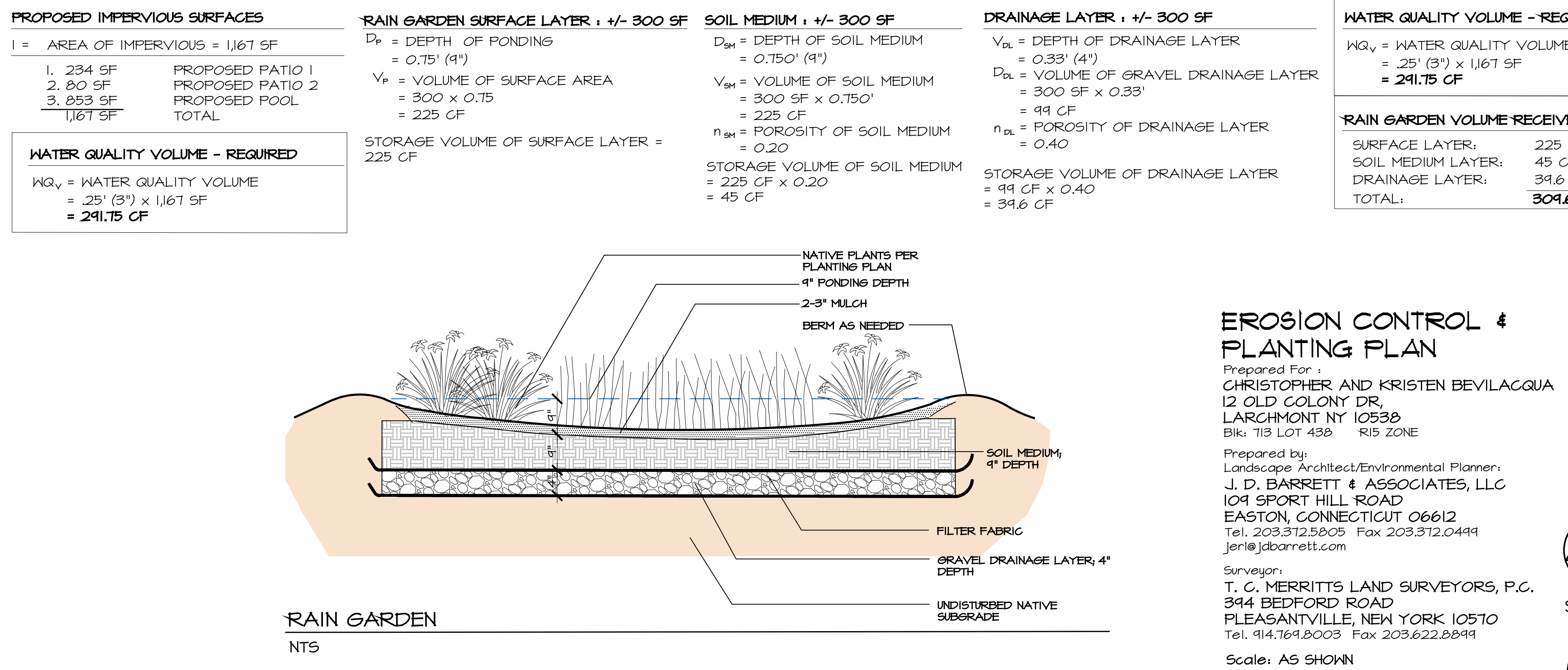
LIGHTING LEGEND

- LOW LEVEL LED LIGHTING (RAB LIGHTING)
- LOW LEVEL LIGHTING #1-13
- LIGHT POST #14 STYLE TO BE SIMILAR TO LOW LEVEL LIGHT SHOWN ABOVE

LIGHTING PLAN
SCALE: 1"=10'



RAIN GARDEN
SCALE: 1"=4'



EROSION CONTROL & PLANTING PLAN

Prepared for:
CHRISTOPHER AND KRISTEN BEVILACQUA
12 OLD COLONY DR.
LARCHMONT NY 10538
Bk: 713 LOT 438 R15 ZONE

Prepared by:
Landscape Architect/Environmental Planner:
J. D. BARRETT & ASSOCIATES, LLC
104 SPORT HILL ROAD
EASTON, CONNECTICUT 06612
Tel: 203.312.5805 Fax: 203.312.0444
jen@jdbarrett.com

Surveyor:
T. C. MERRITT'S LAND SURVEYORS, P.C.
394 BEDFORD ROAD
PLEASANTVILLE, NEW YORK 10570
Tel: 914.764.8003 Fax: 203.622.8844

Scale: AS SHOWN
Date : September 12, 2019

SHEET:
2 OF 2

OVERALL SITE PLAN

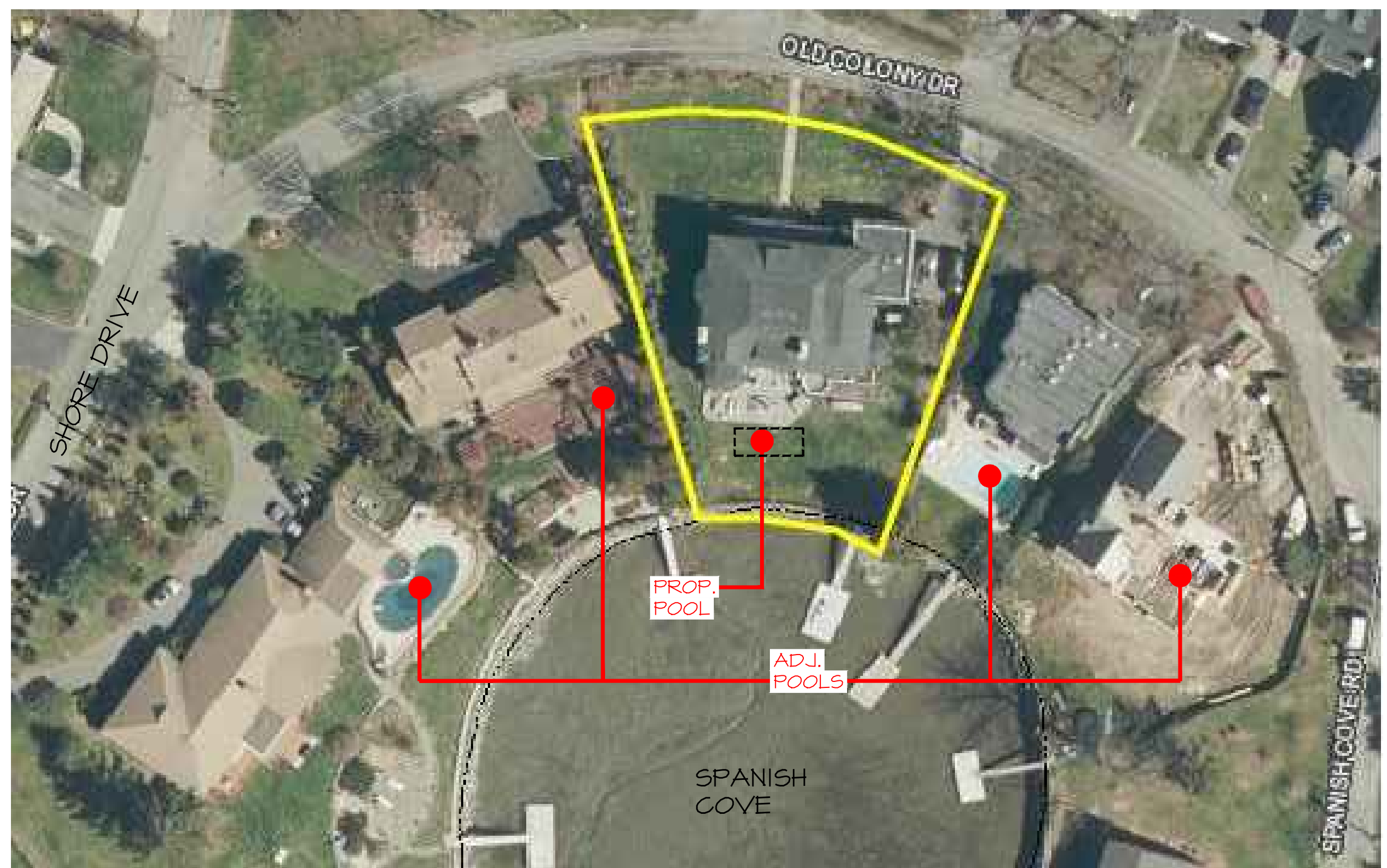
SCALE: 1"=10'

SECTION A-a

SCALE: 1"=10'

SECTION B-b

- (A) 16'X38' POOL
- (B) AUTOCOVERTH FEATURE
- (C) 6' X 9' SPA (OPTIONAL)
- (D) LINE OF EXISTING PATIO
- (E) EXPANDED PATIO FOR LOUNGE CHAIRS
- (F) EXISTING STEPS & PATIO REMAIN
- (G) EXISTING OUTDOOR KITCHEN TO REMAIN
- (H) PROPOSED POOL DECK TO BE FLUSH WITH EXISTING PATIO AND ADJACENT LAWN
- * (I) POOL EQUIPMENT PAD SET ABOVE FLOOD ELEVATION (+/- 13.0)
- (J) CONSTRUCTION ACCESS OVER EX. DRIVEWAY
- (K) 30' REAR YARD SETBACK LINE
- * (L) POOL EXTENDS OVER SETBACK LINE- REQUIRES VARIANCE
- (M) POOL FENCE
- (N) PROPERTY DRAINS TO SPANISH COVE. NO CHANGE IN DRAINAGE IS PROPOSED
- (O) PROPOSED RAIN GARDEN
- (P) EXISTING 8' HT SEAWALL
- (Q) GRASS SWALE DIRECTS RUNOFF TO RAIN GARDEN
- (R) EX. INFILTRATORS TO BE RELOCATED
- (S) RELOCATED INFILTRATORS
- (T) EX. INFILTRATORS TO REMAIN
- * REQUIRES ZBA VARIANCE - (GRANTED)



AERIAL PHOTO (PHOTO SHOWS ADJACENT PROPERTIES ON BOTH SIDES OF SUBJECT PROPERTY THAT CONTAIN INGROUND SWIMMING POOLS)



VIEW OVER BACKYARD TOWARD REAR OF HOUSE
WHERE SWIMMING POOL IS PROPOSED



3 VIEW OVER REAR YARD TOWARD SPANISH COVE.
POOL PROPOSED AT RIGHT IN LAWN AREA



2 REAR OF PROPERTY BACKS UP TO SPANISH COVE.
EXISTING ALUMINUM FENCE TO SERVE AS POOL
SAFETY FENCE W/ MODIFICATIONS AS REQUIRED
TO MEET NEW YORK STATE POOL CODE.



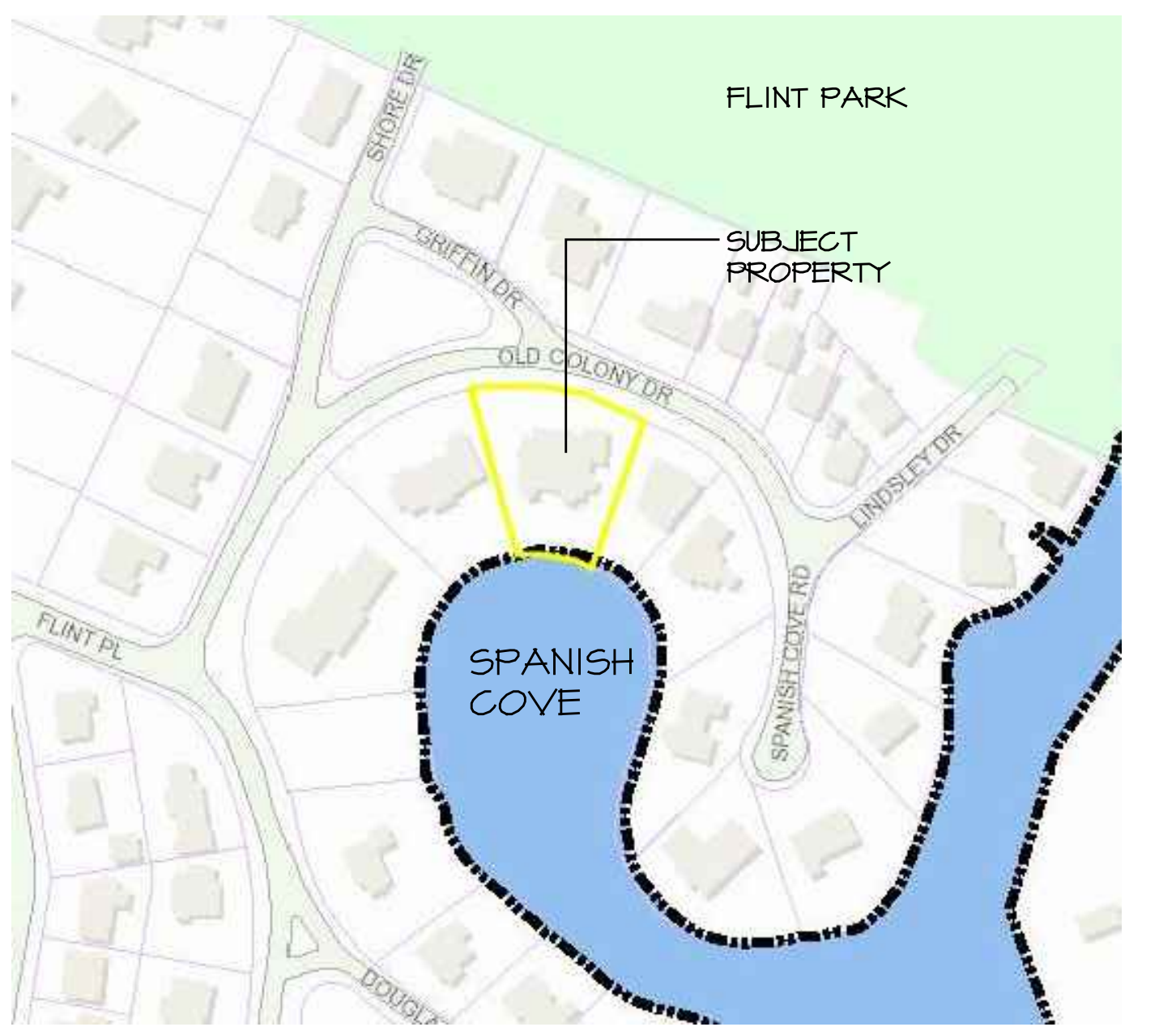
4 VIEW SOUTH FROM CORNER OF EXISTING PATIO OVER REAR YARD. PROPOSED POOL TO MEET LINE AND GRADE OF EXISTING PATIO AT FAR LEFT OF PHOTO.



5 EXISTING PLANTING BED
SCREENS MECHANICAL
EQUIPMENT (AC UNITS AND
GENERATOR) FROM VIEW.
PROPOSED ABOVE GROUND
POOL EQUIPMENT WILL BE
LOCATED IN THE SAME AREA
AND SIMILARLY SCREENED



6) EXISTING AC UNITS AND GENERATOR LOCATED ADJACENT TO GARAGE AT EAST SIDE OF HOUSE. PROPOSED POOL EQUIPMENT TO BE SITED ADJACENT TO EXISTING MECHANICAL UNITS. POOL EQUIPMENT WILL BE SET ON A RAISED CONCRETE PAD TO BE SET AT MINIMUM ELEVATION +/- 13.0 OR SLIGHTLY ABOVE FLOOD ELEVATION



LOCATION MAPS

11

GENERAL NOTES

1. THESE PROJECT PLANS ARE PREPARED IN SUPPORT OF VILLAGE OF LARCHMONT PERMIT APPLICATION TO CONSTRUCT A 608 SF INGROUND POOL EQUIPPED WITH AN IN- POOL SPA, AUTOCOVER AND A MASONRY PATIO IN THE HOMEOWNER'S BACKYARD.
2. THE APPLICANT IS SEEKING ENDORSEMENT FROM THE COASTAL ZONE MANAGEMENT COMMISSION AND SITE PLAN APPROVAL FROM THE PLANNING BOARD. THE ZBA APPROVED AN AREA VARIANCE IN JULY, 2019 TO ALLOW THE POOL TO BE POSITIONED WITHIN THE REAR YARD SET BACK AND LOCATE THE POOL EQUIPMENT IN AN ABOVE GROUND LOCATION.
3. THE SUBJECT PROPERTY IS 20,843 SF AND IS LOCATED IN THE R15 ZONING DISTRICT. THE REAR OF THE PROPERTY BORDERS SPANISH COVE.
4. SITE PLAN INFORMATION HAS BEEN PREPARED BY J.D. BARRETT AND ASSOCIATES, LANDSCAPE ARCHITECTS, EASTON, CT.
5. UPDATED SURVEY INFORMATION FOR THE PROPERTY PROVIDED BY THE T.C. MERRITTS LAND SURVEYORS, PLEASANTVILLE, NY.

ZONING CONFORMANCE TABLE (UPDATED PER MERRITTS SURVEY)
PROPOSED SWIMMING POOL

	<u>CODE REQUIREMENTS</u>	<u>EXISTING CONDITION</u>	<u>PROPOSED CONDITION</u>
LOT AREA	15,000 SF	20,693.340 SF	20,693.340 SF
FRONT YARD	30'	30.11'	30.11'
SIDE YARD (WEST)	10'	17.70' (RESIDENCE)	17.70' (RESIDENCE) 25'-1" (POOL)
SIDE YARD (EAST)	15'	27.54' (RESIDENCE)	27.54' (RESIDENCE) 22'-5" (POOL)
REAR YARD	30'	64.14' (RESIDENCE)	64.14' (RESIDENCE) 19'-0" (POOL) *
MAX. BUILDING COVERAGE	22.5% (4,696.4 SF)	10.23%	10.23%
MAX. LOT COVERAGE	40% (6,211.34 SF)	33.97% (7,024.35 SF)	39.6% (8,199.35 SF)

* VARIANCE GRANTED 2019


SITE PLAN

Prepared For:
CHRISTOPHER AND KRISTEN BEVILACQUA
12 OLD COLONY DR.
LITCHFIELD, NJ 07538
Bk1: T13 LOT 438 R15 ZONE

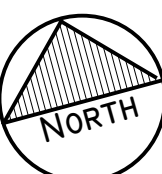
Prepared by:
Landscape Architect/Environmental Planner:
J. D. BARRETT & ASSOCIATES, LLC
109 SPORT HILL ROAD
EASTON, CONNECTICUT 06612
Tel. 203.312.5805 Fax 203.312.0444
jer@jdbarrett.com

Surveyor:
T. C. MERRITS LAND SURVEYORS, P.C.
344 BEDFORD ROAD
PLEASANTVILLE, NEW YORK 10570
Tel. 914.764.8003 Fax 203.622.8844

Scale: 1"=10'
Date : July 3, 2019
Rev : September 12, 2019



SHEET:
1 OF 2



SHEET:
1 OF 2

**Town of Mamaroneck - Village of Larchmont
Coastal Assessment Form (CAF)**

Applicants, or the appropriate municipal agency, shall complete this Coastal Assessment Form (CAF) for proposed actions which are subject to Local Consistency Review (see Waterfront Revitalization Law §§234-1 through 234-5 in the Code of the Town of Mamaroneck and §§292-1 through 292-4 in the Code of the Village of Larchmont). This assessment is intended to supplement other information used by the Bi-Municipal Coastal Zone Management Commission in making a determination of consistency with the Town of Mamaroneck and Village of Larchmont Local Waterfront Revitalization Program.

Upon completion of this form, it should be submitted as part of a complete application package for review. If assistance or further information is required for Town of Mamaroneck matters, please contact the Town of Mamaroneck Environmental Planner at (914) 381-7845. For Village of Larchmont matters, please contact the Village of Larchmont Building Inspector at (914) 834-6210.

PLEASE PRINT OR TYPE ALL ANSWERS.

A. GENERAL INFORMATION

Will the proposed action be undertaken by a municipal agency? Yes [] No [x]

If yes, please list agency or agencies and contact person(s): _____

If no, please complete the applicant information:

Name of Applicant: United States Golf Association, c/o Tim Lloyd

Street Address: 105 Cherokee Road, Suite 2A

City, State, Zip: Pinehurst, NC 28374

Phone: 315-591-4053 Fax: _____ Email: tlloyd@usga.org

Location and ownership of property for which action is proposed:

Section: 3 Block: 47-1.. Lot: 1&2

Owner of Property: Winged Foot Holding Corp., c/o Colin Burns

Street Address: 851 Fenimore Road

City, State, Zip: Mamaroneck, New York 10543

Phone: 914-698-8400 Fax: 914-698-0386 Email: cburns@wfgc.org

Size of property (square feet): 12,196,800 Is the property now developed? Yes [x] No []

Will project require a zoning variance? Yes [] No [x]

If yes, briefly describe: _____

Describe any unique/unusual landforms on the project site (rock outcroppings, swales, etc.):

N/A

Percentage of site which contains slopes of 25% or greater: 0%

Are there streams, lakes, ponds or wetlands existing within or contiguous to the project area?

If so, describe (name, size, characteristics): A locally-regulated watercourse and two (2) ponds (Upper and Lower Pond). The Lower Pond is also a NYSDEC Class-C waterbody.

Will the action require approval by a state or federal agency? Yes [] No [x]

If yes, specify which state or federal agency and attach a copy of pending application and any relevant information and/or documentation to this form:

B. DESCRIPTION OF SITE AND PROPOSED ACTION

Provide a written description of the nature and the extent of the proposed action. Attach plans or additional information as necessary and/or required by application procedures.

The project proposes various permanent and temporary improvements for the preparation and performance of the 120th U.S. Open. Permanent improvements include widening of one existing on-site stream crossing. Temporary improvements include the construction of access roads and staging areas, event tents and support facilities, bleachers and grandstands.

All temporary improvements will be removed upon completion of the Open and fully restored to existing conditions.

C. COASTAL ASSESSMENT

Check either "Yes" or "No" for each of the following questions:

1. Will the proposed action be located in, or contiguous to, or have a **potentially adverse effect** upon any of the following designated resource areas?

	Yes	No	Maybe
a. Significant fish or wildlife habitat or designated critical environmental area	[]	[x]	[]
b. Scenic resources of local significance	[]	[x]	[]
c. Natural protective features in an erosion hazard area	[]	[x]	[]

NOTE: If the answer to any of the above questions is "Yes", please explain in Section D any measures which will be undertaken to mitigate the adverse effects.

2. Will the proposed action have a **significant effect** upon:

	Yes	No	Maybe
a. Commercial or recreational use of fish and wildlife resources.....	[]	[x]	[]
b. Scenic quality of the coastal environment	[]	[x]	[]
c. Development of future, or existing water dependent uses	[]	[x]	[]
d. Land or water uses within a small harbor area	[]	[x]	[]
e. Stability of the shoreline	[]	[x]	[]
f. Surface or groundwater quality.....	[]	[x]	[]
g. Existing or potential public recreation opportunities.....	[]	[x]	[]
h. Structures, sites or districts of historic, archeological or cultural significance to the local area, state or nation	[]	[]	[x]

3. Will the proposed action **involve or result in** any of the following:

	Yes	No	Maybe
a. Physical alteration of land along the shoreline, land underwater or coastal waters.....	[]	[x]	[]
b. Expansion of existing public services or infrastructure in or near undeveloped or low density areas of the coastal area?	[]	[x]	[]
c. Filling, dredging, excavation or mining in coastal waters	[]	[x]	[]
d. Reduction of existing or potential public access to or along the shore.....	[]	[x]	[]
e. Development within a designated flood or erosion hazard area	[]	[x]	[]
f. Development of a natural feature that protects against flooding or erosion	[]	[x]	[]
g. Replacement of eroded sand or soil	[]	[x]	[]
h. Construction or reconstruction of erosion protective structures	[]	[x]	[]
i. Any change in surface or groundwater quality	[]	[x]	[]
j. Removal of trees from the site.....	[x]	[]	[]

4. Project details:

	Yes	No	Maybe
a. If the project is to be located adjacent to the shore:			
1. Does the project require a waterfront site in order to function	[]	[x]	[]
2. Will water-related recreation be provided	[]	[x]	[]
3. Will public access to shore or state owned underwater lands be provided.....	[]	[x]	[]
4. Will it replace a recreational or maritime use.....	[]	[x]	[]
5. Do essential public services and facilities presently exist at or near the site..	[]	[x]	[]

6. Is the site located near a flood prone area.....[] [x] []
7. Is the site located in an area of high erosion.....[] [x] []
- b. Is the site presently used by the community as an open space or recreation area.....[x] [] []
- c. Does the project site offer or include scenic views/vistas known to be important to the community or the state[] [x] []
- d. Will the surface area of any waterways or wetland areas be increased or decreased by the project.....[x] [] []
- e. Will the project involve any waste discharges into coastal waters[] [x] []
- f. Does the project involve discharge of toxins, hazardous substances or other pollutants into coastal waters.....[] [x] []
- g. Will the project affect any area designated as a tidal or freshwater wetland[x] [] []
- h. Will the project result in an alteration of drainage flow patterns or surface water runoff on or from the site[] [x] []
- i. Will best management practices (BMPs) be utilized to control stormwater runoff[x] [] []
- j. Will any aspect of the proposed project result in emissions which exceed federal or state air quality standards or generate significant amounts of nitrates or sulfates.....[] [x] []

Please explain any of the above answers that may need further clarification in Section D.

D. COMMENTS AND ADDITIONAL INFORMATION: (continue on back if necessary)

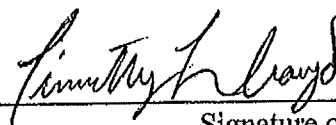
See attached plans.

- Item 2h: In March of 2019, Winged Foot Golf Club was nominated to the State Historic Preservation Board for inclusion on the State and National Registry of Historic Places. No disturbance to existing structures is proposed. Land disturbance is minimal and will be fully restored.
- Item 3j: ~~Nine existing trees will be transplanted to construct a temporary road. Upon removal, the area will be replanted with similar quantity and species at a height of ±8 feet. One (1) 24" Pin Oak will be removed at the 8th hole and replaced with a 14" Pin Oak after the event.~~
- Item 4b: The project site is a private golf club.
- Item 4d: ~~The proposed widening of an existing stream crossing from 8 feet to 12 feet will result in a reduction in surface area of the stream channel by ±40 square feet.~~
- Item 4g: ~~An existing on-site stream crossing is proposed to be widened from 8 feet to 12 feet. This is a locally regulated watercourse.~~
- Item 4i: Temporary erosion and sediment controls will be implemented per NYSDEC Standards to protect adjacent down grade areas from sediment deposition.

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

I certify that I am the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: September 10, 20 19



Signature of Applicant

Prepared by: (if different than the applicant)

Name and Title: Joseph M. Cermele, P.E., CFM

Agency/Company: Kellard Sessions Consulting

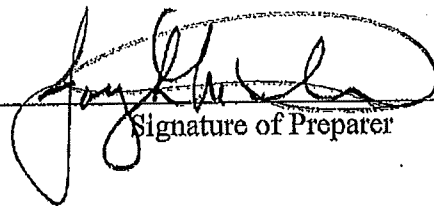
Street Address: 500 Main Street

City, State, Zip: Armonk, New York 10504

Phone: 914-273-2323 Fax: 914-273-2329 Email: jcermele@kelses.com

I certify that I prepared this Coastal Assessment Form for the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: September 10, 20 19



Signature of Preparer

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: United States Golf Association		
Project Location (describe, and attach a general location map): Tax Map Parcel Number 3-47-1..1 & 2, 851 Fenimore Road, Mamaroneck, New York, Westchester County		
Brief Description of Proposed Action (include purpose or need): The project proposes various permanent and temporary improvements for the preparation and performance of the 120th U.S. Open. Permanent improvements include widening of an existing on-site stream crossing. Temporary improvements include the construction of access road and staging areas, event tents and support facilities, bleachers and grandstands. All temporary improvements will be removed upon completion of the Open and fully restored to existing conditions.		
Name of Applicant/Sponsor: United States Golf Association, c/o Tim Lloyd		Telephone: 315-591-4053
		E-Mail: tlloyd@usga.org
Address: 105 Cherokee Road, Suite 2A		
City/PO: Pinehurst	State: North Carolina	Zip Code: 28374
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Winged Foot Holding Corporation, c/o Colin Burns		Telephone: 914-698-8400
		E-Mail: cburns@wfgc.org
Address: 851 Fenimore Road		
City/PO: Mamaroneck	State: New York	Zip Code: 10543

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site Plan Approval; Coastal Assessment; Wetlands and Watercourse Permit	Pending Approval
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Tree Permit; Surface Water and Erosion Control Permit/Stormwater Pollution Prevention Plan	Pending Approval
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	WCHD for Temporary Water and Sanitary Service WJWW for Temporary Water Service	Pending Approval
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

Recreational zoning district

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Mamaroneck School District

b. What police or other public protection forces serve the project site?

Mamaroneck Town Police Department

c. Which fire protection and emergency medical services serve the project site?

Mamaroneck Town Fire Department

d. What parks serve the project site?

Leatherstocking Nature Trails, Saxon Woods Park and Golf Course, Quaker Ridge Golf Club, Woodland Reserve, and Colonial Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential (Suburban) and Recreational (Golf Course)

b. a. Total acreage of the site of the proposed action? ±280.9 acres
b. Total acreage to be physically disturbed? ±0.3 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? ±280.9 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Total number of structures	1 temp. road 500 gravel
ii. Dimensions (in feet) of largest proposed structure:	_____ height; _____ width; and 500 paved length
iii. Approximate extent of building space to be heated or cooled:	_____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment:	_____
ii. If a water impoundment, the principal source of the water:	<input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment.	Volume: _____ million gallons; surface area: _____ acres
v. Dimensions of the proposed dam or impounding structure:	_____ height; _____ length
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):	_____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): <u>An unnamed stream without an Environmental Resource Mapper water index number will be modified as the stream crossing is expanded from ±8 feet to ±12 feet.</u>	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
 Four (4) additional feet of structures will be constructed above the stream to expand the existing stream crossing from eight (8) feet to twelve (12) feet total.

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☒ Yes ☐ No
 If Yes, describe: Minimal excavation for headwall construction

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☒ No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____
 None

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
 If Yes:

i. Total anticipated water usage/demand per day: Under Evaluation gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
 If Yes:

- Name of district or service area: Temporary supply/storage on site for event.
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No
- Do existing lines serve the project site? ☐ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Temporary increase in sanitary waste for spectators and event staff to be collected and discharged to existing sanitary sewer

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
 If Yes:

- Name of wastewater treatment plant to be used: Mamaroneck Wastewater Treatment Plant
- Name of district: Mamaroneck
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____</p> <p>N/A _____</p>		
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>None _____</p>		
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p>_____ Square feet or _____ acres (impervious surface)</p> <p>_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____</p> <p>_____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>		
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)</p> <p>Temporary generators and light towers _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)</p> <p>N/A _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)</p> <p>N/A _____</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input checked="" type="checkbox"/> Random temporary increase for duration of tournament..</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____ No change _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>*The additional demand for energy will be temporary and provided by portable generators.</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ In accordance with town code • Saturday: _____ In accordance with town code • Sunday: _____ In accordance with town code • Holidays: _____ In accordance with town code </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Dawn to Dusk • Saturday: _____ Dawn to Dusk • Sunday: _____ Dawn to Dusk • Holidays: _____ N/A </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ In accordance with town code • Saturday: _____ In accordance with town code • Sunday: _____ In accordance with town code • Holidays: _____ In accordance with town code 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Dawn to Dusk • Saturday: _____ Dawn to Dusk • Sunday: _____ Dawn to Dusk • Holidays: _____ N/A
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ In accordance with town code • Saturday: _____ In accordance with town code • Sunday: _____ In accordance with town code • Holidays: _____ In accordance with town code 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Dawn to Dusk • Saturday: _____ Dawn to Dusk • Sunday: _____ Dawn to Dusk • Holidays: _____ N/A 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p style="margin-left: 20px;"><u>Noise from spectators, as well as general operations throughout the tournament, may exceed ambient noise levels.</u></p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p style="margin-left: 20px;"><u>23-foot MLT6 Light Towers will be erected throughout the course. 13 groups of 4 towers will be required for 2 weeks. 6 groups of 4 towers will be required for 3 months. In total, there will be 19 towers consisting of 76 lights.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored <u>Red-Dye Diesel and Gasoline</u></p> <p>ii. Volume(s) <u>±3,000</u> per unit time <u>2 months</u> (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p style="margin-left: 20px;"><u>3 above ground tanks for temporary storage of diesel fuel and gasoline. Total storage of ±3,000 gallons.</u></p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s): _____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ 0 tons per _____ (unit of time) • Operation : _____ TBD tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: <u>Facilities are temporary to be dismantled for re-use (Tent, Bleachers, Composite Matting)</u> • Operation: <u>Refuse/Recyclables will be sorted, collected, and disposed of properly.</u> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☒ Other (specify): Recreation (Golf Course)

ii. If mix of uses, generally describe: _____

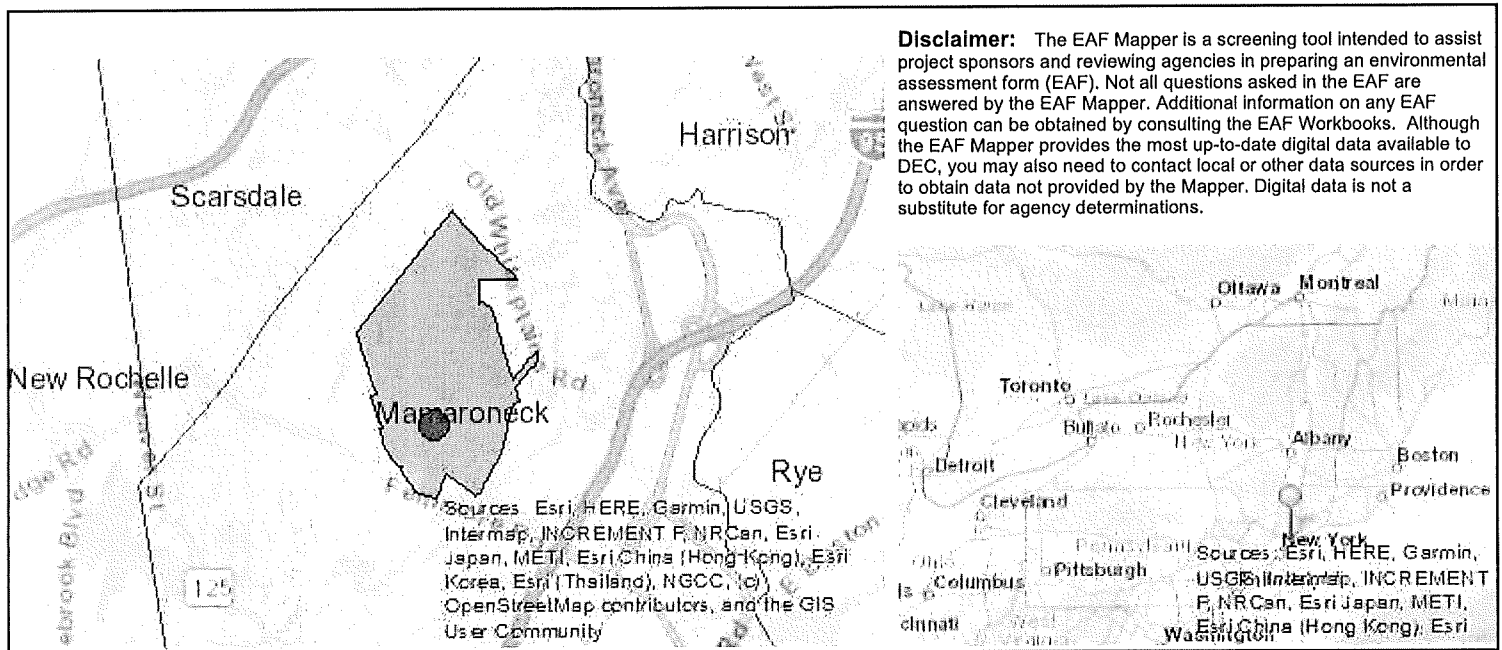
b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces *Temporary Entry Road	0	±12,000 sf gravel ±12,000 sf paved	0
• Forested			No change
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			No change
• Agricultural (includes active orchards, field, greenhouse etc.)			N/A
• Surface water features (lakes, ponds, streams, rivers, etc.) *Pipe 4 feet of existing stream for crossing			
• Wetlands (freshwater or tidal)			No change
• Non-vegetated (bare rock, earth or fill)			No change
• Other Describe: <u>Temporary tents and bleacher structures for event</u>			

<p>c. Is the project site presently used by members of the community for public recreation? <i>i. If Yes: explain:</i> _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, <i>i. Identify Facilities:</i> _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>e. Does the project site contain an existing dam? If Yes: <i>i. Dimensions of the dam and impoundment:</i> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <i>ii. Dam's existing hazard classification:</i> _____ <i>iii. Provide date and summarize results of last inspection:</i> _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: <i>i. Has the facility been formally closed?</i> • If yes, cite sources/documentation: _____ <i>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:</i> _____ _____ <i>iii. Describe any development constraints due to the prior solid waste activities:</i> _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: <i>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:</i> _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: <i>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:</i> <input type="checkbox"/> Yes – Spills Incidents database Provide DEC ID number(s): _____ <input type="checkbox"/> Yes – Environmental Site Remediation database Provide DEC ID number(s): _____ <input type="checkbox"/> Neither database <i>ii. If site has been subject of RCRA corrective activities, describe control measures:</i> _____ _____ <i>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?</i> If yes, provide DEC ID number(s): _____ <i>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):</i> _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No • Explain: _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ >6 feet	
b. Are there bedrock outcroppings on the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ ±5 %	
c. Predominant soil type(s) present on project site:	
Charlton	±29.82 %
Crockett	±13.14 %
Paxton	±12.07 %
d. What is the average depth to the water table on the project site? Average: _____ >3 feet	
e. Drainage status of project site soils: <input checked="" type="checkbox"/> Well Drained: _____ 80 % of site <input checked="" type="checkbox"/> Moderately Well Drained: _____ 20 % of site <input type="checkbox"/> Poorly Drained: _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input checked="" type="checkbox"/> 0-10%: _____ 78.45 % of site <input checked="" type="checkbox"/> 10-15%: _____ 19.61 % of site <input checked="" type="checkbox"/> 15% or greater: _____ 1.94 % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
ii. Do any wetlands or other waterbodies adjoin the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes to either i or ii, continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
• Streams: Name _____ Classification _____	
• Lakes or Ponds: Name 935-79 (A.K.A. Lower Pond) Classification ^C _____	
• Wetlands: Name Federal Waters, Federal Waters, Federal Waters,... Approximate Size _____	
• Wetland No. (if regulated by DEC) _____	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Name of aquifer: _____	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>Typical mammals found in _____</p> <p>suburban areas _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>Red Maple-Sweetgum Swamp</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: <u>NYSDEC EAF Mapper</u></p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ 9.0 acres • Following completion of project as proposed: _____ 9.0 acres • Gain or loss (indicate + or -): _____ N/A acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: <u>Larchmont Reservoir Sheldrake Leatherstocking, County & State Park Lands</u></p> <p style="margin-left: 20px;">ii. Basis for designation: <u>Protect river bed, fish and wildlife habitat, and aesthetic beauty, Exceptional or unique character</u></p> <p style="margin-left: 20px;">iii. Designating agency and date: <u>Agency: Westchester County, Date: 9-30-89, Date: 1-31-90</u></p>	



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Lake/Pond Name]	935-79
E.2.h.iv [Surface Water Features - Lake/Pond Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No

E.2.i. [Aquifers]	No
E.2.n. [Natural Communities]	Yes
E.2.n.i [Natural Communities - Name]	Red Maple-Sweetgum Swamp
E.2.n.i [Natural Communities - Acres]	9.0
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	Larchmont Reservoir Sheldrake Leatherstocking, County & State Park Lands
E.3.d.ii [Critical Environmental Area - Reason]	Protect river bed, fish and wildlife habitat, and aesthetic beauty, Exceptional or unique character
E.3.d.iii [Critical Environmental Area – Date and Agency]	Agency:Westchester County, Date:9-30-89, Date:1-31-90
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Site Plan and Operational Summary

120th U.S. Open Championship

Conducted by the United States Golf Association

Winged Foot Golf Club

Mamaroneck, NY

Presented to:

Town of Mamaroneck

740 W Boston Post Road

Mamaroneck, NY 10543

July 24, 2019

Revised September 10, 2019

Prepared by: United States Golf Association

Contacts: Charlie Howe & Tim Lloyd

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INTRODUCTION AND REQUEST FOR WAIVER

In January 2015, the United States Golf Association (USGA) entered into an agreement to conduct the 120th United States Open Championship (referred to as the Championship, the Open or the U.S. Open) at Winged Foot Golf Club (Winged Foot or the Club) on its famed West Course (West Course or Course). The Championship was last conducted at this site in 2006 and won by Geoff Ogilvy. The contents and structure of this document are largely guided by the Site Plan and Operational Summary prepared and submitted to the Town of Mamaroneck in October/November of 2005 in advance of the 106th U.S. Open.

The anticipated attendance and actions required to provide access to the Club for attendees, traffic and equipment, along with the historic character of Winged Foot and the potential impact a major sporting event could have on the surrounding area, including specifically the Town of Mamaroneck, were the primary reasons for issuing this report. The USGA believes this summary along with prior and future conversations with Town of Mamaroneck officials and information supplied by the USGA will enable the Town of Mamaroneck Planning Board to reach an acceptable level of understanding and comfort in connection with the upcoming U.S. Open.

The USGA would like to thank the Town of Mamaroneck, its officers and representatives for their assistance and guidance through this process. The USGA and Winged Foot are extremely confident that the 120th U.S. Open Championship will be a tremendous success for the Club and the local area, shedding light on the place that the Town of Mamaroneck holds in the history of the game.

1. HOW THIS REPORT IS ORGANIZED

This report seeks to provide an introduction to the general plan for the logistics of the U.S. Open along with a brief overview of Winged Foot Golf Club. It also contains a discussion of the actions to be taken prior to the Open, actions which will take place during the week of the Championship, and actions which will follow the conclusion of the event in order to ensure appropriate remediation occurs. A description of potential impacts and risks are identified herein with their respective mitigation procedures.

2. HISTORY OF THE U.S. OPEN CHAMPIONSHIP

In 1894, five clubs joined together to create the United States Golf Association. The year following, they hosted the first national championship of golf, the United States Open, at Newport Country Club in Newport, Rhode Island. At the time, Newport was a 9-hole facility and the Open was a 36-hole event. Ten professionals and one amateur competed, making four trips around the course in one day. Horace Rawlins prevailed, taking home a prize of \$150, a gold medal, and the honor of keeping the U.S. Open Championship Cup at his home course of one year.

Initially the Open was primarily competed in and won by British professionals. Beginning in the early 1910s, the Open became more important as a world golf championship when U.S.-born players began to show more competitively. A string of Americans started to win the event into and through the 1930s, including John J. McDermott, Francis Ouimet, Bobby Jones and John Goodman.

The U.S. Open has always been considered one of the toughest, if not the toughest test in professional golf. It is known for narrow fairways, thick and penal rough, firm surfaces and slick greens. Champions have consistently declared that winning the event is one of the most grueling and rewarding victories of their careers.

While difficulty and challenge have remained largely consistent throughout the course of history, the Open has evolved in many ways. Beginning on 1898 it became a 72-hole event, with 36 holes played in back-to-back days. In 1926 it became a three-day event, with 18 holes played each of the first two days followed by a concluding 36-hole finish. In 1965 it became a four-day event as it stands to be currently. From 1895 through 2017, if two or more players were tied through competition, an 18-hole playoff ensued. The most recent 18-hole playoff was in 2008, a memorable and historic victory by Tiger Woods over Rocco Mediate at Torrey Pines Golf Course. Beginning in 2018, the playoff format was changed to be a two-hole aggregate, although it hasn't been needed yet.

Television coverage continues to be an ever more important stakeholder in the Open each year. The event was first broadcast in 1954, which was also the first time the course was roped from tee to green. Beginning in 1977, ABC Sports began to televise all 18 holes for each of the final two rounds. In 1982, ESPN cable network broadcast rounds 1 and 2 for the first time. NBC took over the telecast in 1995 and held rights through 2014. Since 2015 FOX Sports purchased rights to all USGA championships. Five years into their twelve-year agreement they have proven already to be a leader in golf coverage through a variety of innovative technological enhancements.

3. COURSE SELECTION AND THE 120TH U.S. OPEN CHAMPIONSHIP

The selection process for the U.S. Open Championship begins when interested courses and/or clubs send formal invitations to the USGA asking to consider their facility as a host site for the Championship. The USGA received a formal invitation for the 120th U.S. Open from Winged Foot.

The USGA staff performs a long and arduous analysis of each course that sends an invitation for a particular year. Among other things, the USGA must determine whether the course is challenging enough for the world's finest golfers, and if the site is able to accommodate the requirements of hosting a major event. The USGA researches each potential site, both for its internal space, and for the necessary surrounding infrastructure such as airports, accommodations, and reasonable parking/traffic plans. Once the USGA staff is comfortable with a particular course, it recommends one or more potential sites to the Championship Committee, which then determines the offer that will be accepted.

The USGA was drawn to Winged Foot and its West Course due to its wonderful reputation of challenge and its place as a classic design by one of the nation's greatest golf course architects, A.W. Tillinghast. Winged Foot's West Course has hosted five previous U.S. Opens – 1929 won by Bobby Jones, 1959 won by Billy Casper, 1974 won by Hale Irwin, 1984 won by Fuzzy Zoeller, and 2006 won by Geoff Ogilvy). The West Course has also hosted a Walker Cup, the U.S. Amateur twice, the U.S. Four Ball Amateur, and a PGA Championship. The U.S. Women's Open (twice) and the U.S. Senior Open have been contested on Winged Foot's East Course. In addition to the championship pedigree of the golf courses, the clubhouse at Winged Foot is one of the most notable in the world. Designed by renowned architect Clifford Wendehack, it stands as one of the most unique and recognizable backdrops to the 18th hole of each golf course.

All factors above contribute to the USGA's excitement to return to Winged Foot for a sixth time. Since the selection was finalized, the USGA has worked on a site and logistics plan that will ensure the safety and enjoyment for all U.S. Open fans and attendees. Interwoven into those plans are the broadcast and print media requirements which will tell the story to millions of people who cannot make it to the event in person. In keeping

with fundamental goals, the USGA is working with the Club and the Town of Mamaroneck to conduct an event that does not seek to maximize profit or attendance as its first priority. Rather it will strike an appropriate balance between financial goals and ensuring a satisfactory experience and sound atmosphere in which to conduct the Championship.

4. WINGED FOOT GOLF CLUB OVERVIEW

Location and Transportation

Winged Foot Golf Club is located in Westchester County and is situated within the Town of Mamaroneck. The site is accessible from its west by the Hutchinson River Parkway and from its east by I-95. It is expected that many attendees will reach the area by utilizing mass transit via the Metro North Railroad, arriving at the Mamaroneck Station. The use of this stop as well as additional transportation information is detailed later in this document.

History and Use

Winged Foot Golf Club was founded in 1921 and is considered one of the premier golf clubs in the world. It is the only club to have two courses both ranked inside the world top-100. The Club is private, and the majority of its members are from the Westchester County and metropolitan New York area.

Next year will mark the sixth time the U.S. Open has been held on Winged Foot's West Course, tying it with Pebble Beach Golf Links and Oakland Hills Country Club South Course as the only places to host six times. Only Oakmont Country Club West has hosted the event more (nine). Winged Foot also holds the distinction as being the "youngest" host, as it was only six years old when it held the 1929 U.S. Open.

Areas of Note

The only surface water resources located on the Club's grounds are two irrigation ponds near the 5th hole of the East Course and one small stream behind the green on the 6th hole of the West Course. It has been determined by inspection of Westchester County online maps and files that no areas exist on Winged Foot property designated as either Critical Environmental Areas, Fish and Wildlife Habitats, Hazardous Waste Sites, 100/500 Year Flood Plains, NYS Regulated Wetlands, or Tidal Wetlands. The property is zoned as Private Recreational by both Westchester County and Town of Mamaroneck.

5. THE AGREEMENT BETWEEN THE USGA AND WINGED FOOT

The USGA and Winged Foot entered into an agreement in January 2015 for the 120th U.S. Open Championship to be hosted on Winged Foot's West Course. Section 3 of the agreement defines the lease period to commence on January 21, 2015, and extend through until 75 days following the conclusion of the competition, thus being September 4, 2020, unless otherwise terminated or extended. Winged Foot licensed specific areas contained in its property to be utilized by the USGA to conduct the Championship. During the Exclusive Lease Period (Wednesday, June 10th – Tuesday, June 23rd), the course will be closed to the public except for designated and authorized staff, vendors, volunteers and public safety officials. During the Championship week (Monday, June 15th – Sunday, June 21st), the property will also be open to ticket holders. Following conclusion of competition rounds, the USGA will remove all temporary facilities and equipment from the property as efficiently and carefully as possible, and subsequently will work in direct coordination and cooperation with Winged Foot to restore the property to its pre-existing condition.

Section 7 identifies Championship Week to be Sunday, June 14th through Sunday, June 21st. Sunday, June 14th is designated as a practice day for competitors but the facility is not open to public or ticket holders. Monday, June 15th through Wednesday, June 17th are practice days open to ticket holders. Thursday, June 18th through Sunday, June 21st are competition rounds. The agreement acknowledges the possibility of extension into Monday, June 22nd for playoff or postponement. Note that as of 2018, after this agreement had been signed, the U.S. Open no longer has an 18-hole Monday playoff. With that being said, there is still a chance that the competition could extend into Monday if due to weather delays or extended playoff holes being required beyond darkness on Sunday, June 21st.

Section 8 of the agreement states that Winged Foot and the USGA acknowledge and agree that the Championship is a major event which requires extensive planning and work in order to be conducted in a manner befitting a major national championship. Consequently, it is vital that both parties cooperate with each other and do so for the entire period of the agreement.

Section 10 sets forth certain obligations of the USGA, including but not limited to the following:

- Determine conditions of the course for the Championship competition; more specifically defined in Section 18 to include but not be limited to ground moisture levels, grass growing heights, fairway widths, teeing areas and hole locations on greens
- Provide biodegradable paint for marking penalty areas, ground under repair and temporary immovable obstructions
- Make available to the Club the services of the USGA Green Section staff

- Provide and erect grandstands on or around the Championship Course
- Provide media facilities and services
- Provide facilities to support the USGA corporate partners
 - As of June 2019, the USGA has six corporate partnerships – American Express, Rolex, Lexus, Deloitte, Cisco and Corona Premier
- Provide a telecommunications system to support the various committee headquarters, onsite facilities and other championship functions
 - As of 2015, the USGA now allows all attendees to bring their cell phone into the Championship. In order to support the increased volume of data usage, most cellular providers bring in temporary towers to boost their onsite capacity. Additionally, in 2015 the USGA began providing public WiFi in key areas for attendees to utilize which helped reduce the number of people relying on cellular data. The WiFi program was expanded in 2019 to be totally site wide which raised usage by 304% from 2018.
- Provide portable toilet facilities ensuring that any local health requirements and any other local laws or regulations regarding such facilities are met
- Provide for the construction and dismantling of all tents, trailers and other temporary structures
- Provide and erect all signage for the Championship, including but not limited to road, directional and parking signs
- Provide all plumbing for the Championship which cannot be met with existing Club plumbing capabilities
- Provide all electrical needs for the Championship which cannot be met with existing Club electrical capabilities
- Devise and prepare an evacuation plan for the players whereby they are transported off the course during severe weather situations
- Provide rope and stakes for gallery control
- Provide for litter collection, garbage removal and general clean-up of the grounds and all necessary related equipment and personnel
- Provide courtesy transportation through use of cars, vans and/or buses for players, media, USGA officials and USGA guests
 - The USGA, working with Lexus as a corporate partner, also provides courtesy vehicles for all players and key USGA staff and officials for their sole use throughout the Championship
- Arrange for local hotel accommodations to be reserved for players, media and USGA staff and guests

- Provide first-aid stations, ambulance services and medical personnel to be on site and able to communicate with USGA and Winged Foot staff and officials
 - Three First-Aid tents will be constructed on site and staffed and stocked by medical personnel from Montefiore Health System.
- Determine what licenses and permits will be needed for conducting all aspects of the Championship for which the USGA is responsible, including but not limited to construction, routing of traffic, and serving alcoholic beverages

Section 12 states that the USGA must train and recruit necessary volunteers through the support of Winged Foot's membership to serve as committee chair people.

Section 13 states that the USGA is responsible for the development, printing, sales and fulfillment of all admissions tickets, credentials and badges and all activities relating thereto in advance of and during the Championship.

Section 15 sets forth the parties' shared responsibilities in connection with the Hospitality Program, including the location of facilities and packages.

Section 16 states the obligations relating to the sale of food and beverages during the Championship. Winged Foot will maintain responsibility for any food and beverage provided within the clubhouse, while the USGA will be responsible for all food and beverage in temporary serving areas constructed throughout the property. Both parties acknowledge and agree that each shall be responsible for obtaining the necessary licenses required for the sale of food and beverage at the areas each is responsible.

Section 19 states the USGA shall make necessary arrangements for parking spaces required for the Championship and Winged Foot should use good faith efforts to assist in identifying locations which are reasonably close to the site and which can be used without charge.

Section 20 states the USGA will arrange for all policing, security and traffic control for, and in connection with the Championship. The USGA shall consult with the Club in connection with such matters and the USGA shall select its own private security firm. The Town of Mamaroneck Police, the Westchester County Police and the New York State Police shall assist the USGA in dealing with and coordinating state and local police authorities on matters relating to policing, security and traffic control.

Sections 21 and 22 identify rights holders for print media, broadcasting and digital media in connection with the Open. FOX Sports is the broadcasting partner for all USGA championships. International networks also support the Open from Europe and Asia.

Section 31 obligates the USGA and Winged Foot to at all times be in full compliance with all federal, state and local laws, ordinances and statutes and all governmental rules, regulations, orders and directives.

6. ADVISORY GROUP

An advisory group consisting of representatives from the USGA and Winged Foot have worked together to ensure that the preparation of the Championship addresses the needs of the Club, other involved local agencies (including, but not limited to, state and local police), the USGA and the surround community of Mamaroneck. As the Championship draws closer, it is an imperative goal of the parties to have frequent meetings and discussions to maximize the success of the event and to continue to address the concerns of all involved.

Executive Security Committee

An Executive Security Committee dedicated to the security-related planning, preparation for, administration, conduct and success of the Championship is being established and will include individuals from the Town of Mamaroneck Police, the State Police, the County Police, the Westchester DOT, the USGA, the Club, the Village of Mamaroneck and the Village of Scarsdale. These individuals have met twice to date and will meet at least once per month going forward. They will continue to meet on an increased basis between January 2020 and the Championship.

It should be noted that the USGA has made and will continue to make strong efforts in its goal to involve the local community in and around Mamaroneck, New York. It is an extremely important goal of the USGA that the community leaders are kept abreast of the preparations for the Championship and are involved throughout the process. The USGA recognizes that the efforts of the local community are critical to the success of a major event and is pleased that the relationship has prospered. Throughout the remainder of this year, the USGA's championship staff and members of the advisory committee will meet with numerous community groups and representatives to discuss preparations for the Championship. The USGA plans to attend community meetings in which local residents have the opportunity to ask questions and raise concerns in an open forum. The USGA has had a solid working relationship with the Town of Mamaroneck and in particular with Town Administrator, Mr. Steve Altieri, and the Chief of Police, Paul Creazzo. The USGA is committed to continuing to make itself

available for any and all additional meetings at the request of the Town of Mamaroneck, and/or any one or more of its representatives, as well as in regard to meetings with the County and surrounding towns.

7. PRE-OPEN ACTIONS

The USGA has been visiting Winged Foot frequently since the fall of 2017, and beginning in November 2018 a Championship Office trailer was placed on site to house permanent USGA staff. Those staff people have been working diligently with Winged Foot to establish the appropriate volunteer committee chairs, develop a thorough site plan for major facilities, and begin identifying the best locations for parking and transportation depots.

Throughout the remainder of the 2019 summer and fall, and growing in frequency at the beginning of 2020, many vendor and staff meetings will take place which will further finalize all planning efforts for the Championship. While many details of the plan are still to be determined, it is the full intention of the USGA staff to maintain communication with the Town of Mamaroneck as to all updates and any changes which may occur throughout the process.

Vendor Acquisition

The USGA has several nationally based agreements with vendors who will perform services at the U.S. Open from 2020-2024. Additional one-year and two-year agreements will be negotiated and signed through the fall of 2019 and early 2020. The USGA seeks local support when possible and will always encourage vendors who need temporary labor to source it as internal as possible to the Town of Mamaroneck and Westchester County.

The USGA held an initial corporate hospitality preview sales day on April 23, 2019. This served to show prospective clients a sample of the product they are interested in purchasing. It also served as an opportunity for key nationally based long-term U.S. Open vendors to convene at Winged Foot for an initial introduction to the site. Upon completion of the temporary sample facility, Richard Polcari visited the site to review the structure. He signed off on the construction techniques, which will be the primary method of the highest-end hospitality offering for the 2020 U.S. Open.

Fall Site Prep

Beginning in November 2019, the USGA will begin preparation work to ready the site for spring-time Championship operations. The primary projects scheduled for the fall will be installation of access roads, underground water piping and electrical supply lines.

Access roads must be installed on property to allow for construction vehicles to reach various facilities on site, to give vendors space to lay down and stage equipment, and for Championship vehicles to move through the property efficiently, such as players' cars and various shuttle buses. All roads installed on site will be temporary.

Three methods will be used to create temporary roads. One will be key areas of paving. The USGA plans to pave the temporary entrance to the property coming from Old White Plains Road in the same place as it existed in 2006. This paving is to provide a more stable surface due to the high traffic of buses and pre-/post-Championship construction vehicles which will utilize the route. Additionally, the crossing over the East Course 5th hole will be paved, this also being done to be a more stable base for high-volume of construction traffic. Other small paving areas may be included to provide stronger surface on key turn areas, but none of those areas singularly would be more than 1,500 SF. A second temporary surface type will be a gravel material, laid on top of existing terrain and with a highway-grade filter cloth as a sub-material to reduce soil penetration. It is expected approximately 250,000 SF of gravel surface will be laid on site at Winged Foot, all of which will be removed following the conclusion of Championship procedures by the fall of 2020. Note that this number is typically approximately 750,000 SF, but the USGA has made efforts to reduce gravel needs for a variety of reasons, namely to improve the environmental impact of the operation, to further protect Winged Foot's property making for easier and less-intrusive restoration procedures, and to minimize dust floating around the property. To replace the square footage of gravel not laid, the USGA will be sourcing multiple types of composite matting surface. The USGA and Winged Foot have worked diligently for the past year to research and test a variety of products. The final choice(s) of matting have not been determined yet, but the USGA is committed to using this method of temporary roads despite the substantial increase in cost.

It is expected that the gravel roads will be installed this fall to allow for compaction over the freezing/thawing of the winter months. The USGA would likely also, at a minimum, lay in the gravel sub-base for the paved roads this fall, looking to ultimately pave in the spring. Any mats needed in the fall to reach gravel areas will be installed as well, but the majority of the mats will be placed in the spring at different times based on when they would be needed (e.g. the major on-course compounds will be laid in March for early vendor arrivals, but the bus loop would not be laid until May since it isn't needed earlier).

Gravel roads are all temporary and pervious in nature. Paved roads are also temporary, and appropriate drainage is being planned by the USGA and Winged Foot, to divert water into the extensive and effective drainage system that has been installed over the recent years. Matting sits on top of the currently grass and allows surface water to run underneath as there is no soil penetration to block flow.

The only planned soil disturbance areas for these projects are the paved spaces. A small amount of topsoil will be carved out to allow the roads to sit flush with existing surface. The topsoil removed will be kept on site in a staging area near the West Course 12th hole. This same topsoil will be replaced once the paved roads are removed in the summer of 2020. Where soil disturbance is planned, the USGA and Winged Foot will coordinate the appropriate placement of silt fence or sock and waddle for erosion control and to control stormwater runoff. Including 2006, the USGA has never had an issue with erosion or stormwater runoff when utilizing these methods.

All roads, whether paved, graveled or matted will be removed as soon as possible following the conclusion of the Championship. Some of them will be immediate, but others will need to remain through July and into part of August based on vendor removal timelines.

The USGA expects to utilize five entrance points to Winged Foot property, three of which are existing and two of which would be temporarily created. The three existing are the Club's two gated entry points, one from Fenimore Road and the other from Old White Plains Road, and the entry from Wesleyan Road to the maintenance area. The temporary entrance from Old White Plains Road near the East Course 5th green will also be re-created as it was in 2006. A fifth entry point is planned through the property located at 203 Griffen Ave, which is a home owned by Winged Foot. The existing driveway will serve as the primary route, and it will be extended by composite matting through the backyard into Winged Foot and onto the East Course 14th fairway. Both of the temporary entry points would be removed as soon after the Championship as they are finished use. Expected usage for each access point is as follows:

- Existing gated entrance from Fenimore Rd
 - In use per normal day-to-day activity
 - During construction periods, will be used for some USGA deliveries, specifically for facilities near West Course 10th hole, East Course 1st, 9th, 10th holes, and the main Club parking lots and pool facility
 - During Championship week:
 - In the daytime will be used for a variety of small-bus and passenger vehicle shuttles dropping in Club parking lots, and will be primary access point for VIP and player cars parking near East Course 1st hole
 - At nighttime will be used for servicing vehicles entering and exiting the property
- Existing gated entrance from Old White Plains Rd
 - In use per normal day-to-day activity

- During construction periods, will be used for some USGA deliveries, specifically for the maintenance staff hospitality venue and beginning in late May for the public safety compound on the East Course 3rd hole and the player support facilities in the eastern club parking lot
- During Championship week:
 - In the daytime will be used for exiting shuttle buses and for public safety access to their compound
 - At nighttime will be used for some servicing vehicles entering and exiting the property
- Existing maintenance entrance via Wesleyan Rd
 - In use per normal day-to-day activity
 - During construction periods, will be used for majority of USGA deliveries, either entering or exiting the property
 - During Championship week:
 - In the daytime will be used as an entrance and exit for shuttle buses
 - At nighttime will be used for servicing vehicles entering and exiting the property
- Temporary access point from Old White Plains Rd
 - Access point created in November 2019 and used to bring in material to create temporary roads and compounds near East Course 5th and 6th holes; once those areas are completed, likely by the end of December, the access point will be gated until March when more equipment begins to arrive
 - In March, the major Championship construction begins and this access point will serve as a primary entry for a majority of the trucks arriving to the site
 - During Championship week:
 - In the daytime will be used as an entrance for shuttle buses
 - At nighttime will be used for servicing vehicles entering and exiting the property
 - During post-Championship break down will be used in a similar capacity as done through the construction period, and then the road will be removed once it is no longer needed, later in the summer of 2020
- Temporary access point through 203 Griffen
 - Beginning in late May 2020, the existing driveway will be used for broadcast vehicles entering the property

- A temporary road will be laid through the back yard, into Winged Foot property on East Course 14th and 15th holes
- During Championship week:
 - In the daytime will be used for entering and exiting broadcast staff shuttles
 - At nighttime will be used for servicing vehicles needed in the broadcast area
- During post-Championship break down will be used briefly to remove equipment from the broadcast area – expected to be completed use within two weeks of the Championship

In addition to access roads, the USGA will work with Winged Foot to install water supply pipes and electrical lines. Currently no electric is planned, but if that changes during the planning phases the USGA will notify the Town of Mamaroneck. The USGA is working with H2M Architects on the water system design, evaluating the appropriate water capacities and flow rates required for the various equipment needed to support the Championship. Winged Foot has existing public water, but the pipes are not of sufficient size to meet the U.S. Open needs. It is expected the system utilized will be a combination of expanding the public water supply on property while also using temporary potable water tanks. The USGA has had initial meetings and conversations with Westchester County, particularly the Department of Health and the Bureau of Public Health Protection, and it maintains communication with County officials as the system is being developed to ensure codes and regulations are met. Any water supply installed underground will be permanent in nature. If it is built only to serve the needs of the Open, it will be properly flushed out and capped for protection following its use in 2020, with the expectation it can be opened and re-utilized at possible future U.S. Opens held at Winged Foot.

Parking and Access

The USGA is currently working with the NY State Police, Westchester County and Town of Mamaroneck Police and State/County DOT on the final parking and access plan for the Open. Approximately 10,000-12,000 parking spots need to be provided for the Open. This would include parking for volunteers, vendors, corporate hospitality patrons and VIPs as well as general public ticket purchasers. The number of spaces needed could fluctuate based on the ability of the USGA and the MTA to promote patron use of the Metro North Railroad and the bus shuttle that the USGA will provide from Mamaroneck Station. Based on historical numbers at past U.S. Opens, the USGA expects to see 2.1 people per vehicle on weekdays and 2.5 people per vehicle on weekend days. The highest number of vehicles will be on Friday, June 19th and Saturday, June 20th.

Based on such numbers, the following represents the USGA's formula: 10,000 spaces between Orchard Beach, SUNY Purchase and Westchester Community College at 2.1 people per car, for a total of 21,000 people. The

USGA expects 10,000-15,000 people per day to take the Metro North Railroad. The USGA has approximately 350 spaces on site at Winged Foot at 2.5 people per car, for a total of 1,075 people. A taxi, limo and rideshare drop-off location is being discussed which would receive approximately 4,000 people per day. It is expected approximately an additional 500-1,000 people will enter the site via walk-up from surround neighborhoods. Lastly, corporate clients will be dropped at SUNY Purchase where they will board a Championship shuttle to the site, and this operation will likely accommodate 2,000-3,000 people per day. In total, this is approximately 35,000-40,000 total attendees per day, including paid ticket holders, staff, volunteers, vendors, support personnel, media, players and their families/agents/caddies/coaches.

The formulation of the parking and traffic plan, as well as control associated with such a plan, is a combined effort among the USGA, State, County and Town police and DOT. Ultimately, the USGA will decide lot locations, assignments to various lots, and total numbers of vehicles parked while other agencies referenced above will be responsible for the details of the execution of the plan (e.g. traffic control at various key intersections, routing of vehicles to the lots, signage needed, etc.). The USGA and police agencies will work in conjunction with one another to determine primary and secondary routes, as well as the layout of the bus drop-off/loading areas on site at Winged Foot.

The parking plan for the Championship is currently being negotiated with all involved parties working toward the best and most efficient answer that will ensure a successful Championship while minimizing any adverse effects to the Town of Mamaroneck and Westchester County. After much consultation with the State, the DOT and various state and local police agencies, the parties will settle on a plan for the Championship. The general components are as follows

Orchard Beach/Pelham Bay Park: The USGA is currently in discussions with New York State Parks with the plan of assigning approximately 6,000 fan vehicles to Orchard Beach. The USGA has the ability to conduct a zip code sort to see if it's worthwhile to distribute complimentary parking hangtags to those within driving distance to Orchard Beach. The buses would route to exit Hutchinson River Parkway onto Old White Plains Road and would drop at the location used at the 2006 U.S. Open near the East Course 5th hole. Alternate routes are being discussed utilizing I-95 when the Hutchinson River Parkway presents a problem.

Westchester Community College: The USGA is currently in contractual discussions with Westchester Community College.

- General spectator
- No concerns identified

SUNY Purchase: The USGA is currently in contractual discussions with Westchester Community College.

- Corporate
- No concerns identified

Mamaroneck Station/Metro North:

- Will be working with MTA on their schedule for June 2020, and looking to supplement trains if necessary during peak time of fan arrival.

Taxi, Limo, Rideshare:

- Carriage House Lane was a challenge for all those involved in 2006. With the introduction of Ride Share companies Uber and Lyft, we suspect an even greater utilization by fans. The USGA is in discussions with Westchester County Parks on the potential use of an off-site location for Passenger Drop, Taxis and Rideshare. Currently looking at Saxon Woods Park and then providing shuttle to Carriage House Lane. The biggest difference from 2006, would be Carriage House Lane being exclusively limited to residents and the USGA shuttle. In 2006, any vehicle could access Carriage House Lane.

Winged Foot:

- Players, VIPs and law enforcement

Road Closures

The USGA has typically worked with law enforcement agencies to determine if any road closures can/should be used to assist in the overall traffic plan for the Open. There are currently none being requested; however, if warranted, the USGA and Executive Security Committee will make known such request to the Town of Mamaroneck.

Corporate Tents and Villages

Within the site plan are the locations of all planned corporate tents. Each corporate option is inclusive of food and beverage (the cost of the F&B will be paid directly by the clients to the catering vendor). The options are as follows:

Champions Pavilion – As was the case in 2006, there will be one facility named Champions Pavilion which serves clients purchasing single tickets or full ten-seat tables. Clients purchasing single tickets will have access to the facility and provided space in an open seating floor plan. Clients purchasing a full table will be provided 15 tickets and will have assigned tables within the facility. The current intention is to have one facility with four tents. One

tent will be the open seating for individual tickets, another tent will be for table clients, a smaller tent will connect to those two seating tents and will house the food court, and the final tent will be a back-of-house (BOH) prep tent for the catering vendor to store and plate the food for service.

30-ticket tents – New to the hospitality program in 2020 is a facility which will be divided up into 16.4' x 42.4' sections, each individually serving one client. The private space will have 16.4' x 26' interior space where each client will have their own bar and buffet. The remaining 16.4' x 16.4' will be an exterior covered patio with tiers of stadium-like seating. The exterior space will be accessed via a door from the interior private space. Each of the interiors will be air-conditioned. This option will be available to the players' right of the 9th tee and to the players' left of the 17th fairway. In each location, depending on number of individual private spaces sold will be 1-2 prep tents for the catering vendor.

50-ticket tents – Also new to the program in 2020 will be a revised option for clients wishing to have 50 tickets per day. In 2006 this was a 30' x 30' tent with an exterior patio. In 2020, it will be changed to be similar to the 30-ticket option but bigger. The interior private space will be 20' x 33', will be air conditioned, and will house seating and bar/buffet. The exterior portion will be stadium-like seating in a 20' x 16.4' space. This option will be available to the players' right of the 9th hole, to the players' right and left of the 10th hole and to the players' left of the 17th tee. There will be prep tents in quantity as needed for each area based on number of spaces sold.

100-ticket tents – In 2006, this option was a 40' x 40' private tent with an exterior patio. Similar to the 30-ticket and 50-ticket options, this new design for 2020 will be a combination of interior space and exterior stadium-like seating. The interior space will be 33' x 33', will be air conditioned and will house seating and bar/buffet. The exterior portion will be 33' x 16.4'. This option will be available in the same locations as the 50-ticket tents, plus the additional location to the players' left of the 18th green for the highest-end purchasers. Due to the similar total depth of private space, the 50-ticket and 100-ticket options are interchangeable in the sales process and will be mixed among each area/facility.

AGA Club – New to the offerings for 2020 will be a facility located to the players' right of the 9th fairway. AGA stands for "Allied Golf Associations" which is a nationwide network of local and regional golf associations under the umbrella of the USGA. The dynamic and size of this facility is still being discussed.

FOX Sports Hospitality – A one-off hospitality facility will be located to the players' left of the 15th green in a vacant lot owned by Winged Foot between 183 Griffen Ave and 195 Griffen Ave. This location will be for FOX Sports hospitality. The size of the tent is yet to be determined. The area will be built to accommodate the

hospitality space, a prep tent, and necessary ancillary facilities such as generators, restrooms, and additional catering storage.

Additional Catered Spaces – Outside of the hospitality program are other catered spaces on site for various groups. These include USGA Hospitality, currently planned to be built over top of the Winged Foot pool, Media Dining, currently planned to be built on the 1st hole of the East Course, Player Hospitality, currently planned to be built on the 1st teebox of the East Course, Winged Foot Hospitality, currently planned to be located within the Clubhouse, and Volunteer Hospitality, currently planned to be built on the 12th hole of the East Course.

Merchandising

Similar to 2006, a facility will be constructed on the current Winged Foot driving range to conduct the U.S. Open merchandising program. The tent will be approximately 36,000 SF. The tent will be open to all fans attending the event. As has traditionally been the case, in addition to the seven days of the Championship it is expected this facility would be open to the public Thursday, June 11th through Sunday, June 14th. The parking, transportation and security plan will be determined through the fall and winter months to ensure the most efficient and safe operation possible.

Trophy Club

Similar to 2006, a facility will be built for upgraded access to general ticket buyers. This tent will be located on the 16th hole of the East Course to the players' right of the 8th West tee. The expected size will be approximately 30,000 SF interior and ultimately determined by ticket sales. Exterior uncovered seating will also be made available. Food and drink in this facility are for purchase.

Concessions, First Aid, Miscellaneous

Other smaller tents are planned throughout the course to serve all fans in attendance. They include concession operations (planned in conjunction with the U.S. Open concessionaire vendor), First Aid facilities (three 40' x 40' air-conditioned tents), and activation spaces (powered through USGA corporate partnerships to provide an engaging experience for fans to explore). The USGA also will provide complimentary water tents on property where fans can fill up water bottles to stay hydrated throughout the day. The USGA is working with Westchester County Department of Health to ensure these water taps meet the proper health and sanitation requirements.

Bleacher/Viewing Areas

There will be grandstands erected on nearly all holes of the West Course to provide viewing opportunities for all fans in attendance. It is expected there will be approximately 12,000 total seats. Among those numbers

includes designated areas for ADA viewing with ramp and/or elevator access. The location of the ADA viewing will coincide with the disability service shuttle routing plan to be determined in the spring of 2020.

All grandstands will be engineered based on the areas and sizes finalized in the fall. Each stand will have certified and stamped structural drawings. It is expected the NYS Department of Labor will do the inspections on these stands as has been the case at previous New York-based U.S. Opens. The same vendor who provides the grandstands would also provide temporary pedestrian bridges if they are needed. Those bridges will also be engineered, and drawings will be produced and stamped as such.

The USGA will rope off the entirety of the West Course to delineate where fans can walk and protect the playing area for the competitors and rules officials. The roping plan will ensure safety and efficient movement of all attendees throughout the site, while being mindful to provide as much viewing as possible along tees, fairways and greens.

Trailers

The site plan indicates the location and function of office trailers on site. The trailers serve working groups on site, including some volunteer committees, a set of media and broadcast functions, USGA staff offices, public safety and transportation headquarters, and various players and caddie operations. Most of these trailers will be powered by generators and be outfitted with telecommunications, furniture and refreshments. Some of the trailers will be for refuge only. All trailers which are occupied for more than one month, are more than 12' wide or which don't serve a working staff group or vendor will be anchored. Any trailers occupied for less than one month, which serve a working staff group or vendor and are 12' wide or smaller will be anchored if substantial elevation challenges require it for safety. The USGA will work with the trailer provider to determine which units require anchoring based on terrain. The trailer provider will deliver, install and subsequently dismantle and remove the trailers through their internal operations or via their subcontractors.

Generators

In order to provide temporary power to facilities throughout the property, there will be a series of generators delivered and installed. The USGA expects to continue the relationship with the same provider it has used for the previous 15+ years, noted for their contributions to many other high-profile events throughout the world, including Olympic Games, fashion shows and the PGA Championship. One of the key reasons for such a long relationship with this provider is their innovation and excellence in the special event field. Due to the sensitive locations they operate, including sites like Winged Foot which are in residential areas, their equipment is energy-efficient and runs with low noise output.

The first generators will arrive in early March to support the offices for the initial vendors. All generators will be placed internal to Winged Foot property, and any that need to serve facilities near the property perimeter will be strategically placed to minimize noise disturbance. When on site, most generators will run 24/7.

Generator quantities and placements are finalized through the course of the winter once interior floor plans are confirmed, as this will impact the amount of power required in each facility. It is expected there will be 5-8 locations which require power prior to late May. Beginning in late May, the remainder of the generator sets on site will begin to go live, initially being tested and then being turned on for the duration of the event.

At full force, there may be up to 100 generator units on site. Many of them are grouped as sets. This is a recent trend in the operation to accomplish a series of goals. Primarily, using a higher quantity of smaller generators provides greater redundancy for key facilities. For instance, the media center cannot risk losing power, so more power is provided by way of multiple generators such that if one generator fails, the others can pick up the load. Additionally, delivering smaller generators to various locations throughout the property is more logistically feasible than trying to drive in larger units, thus lessening the chance for ground and soil disturbance. The smaller generators are also quieter. It is imperative to the Championship that the generator noise does not detract from the competition. Smaller generators prevent any issues with play and subsequently serve the same benefit to the surrounding neighbors, ensuring they don't have any issues with decibel levels. Lastly, smaller units are easier to hide since they sit lower to the ground. Again, this prevents aesthetic disturbance to the neighbors, and it also ensures the Championship and golf club show well in the television broadcast.

The decibel levels of the equipment vary by size, but generally they are between 50 and 80 dBa. Generator sizes on site vary between 30 kW and 1500 kW. The larger generators will be located more internal to the golf course, at a distance which should naturally mitigate any noise or visibility concerns.

Signage

The USGA communicates closely with its vendors and their trucks during delivery and installation. Maps will be provided, and internal signage will be placed to direct these groups through the network of access roads on property. The USGA works closely with the vendors to police the truck traffic throughout the site to minimize noise and disturbance to the surrounding area.

The USGA has a vendor which will provide all directional and identification signage needed on property in connection with the Championship. In addition, the USGA will work with the DOT to provide as much highway directional signage as is needed to effectively route fans and buses to the various parking and shuttle points.

8. IMPACTS AND MITIGATION ASSOCIATED WITH ACTIONS IMMEDIATELY PRECEDING THE U.S. OPEN

Parking and Access

Traffic and circulation will be addressed through the interagency team developing a plan that will provide adequate offsite parking and access to the site described in greater detail above. The use of gravel, paving and composite matting on site at the Club for drop-off areas associated with these sites will decrease levels of damage and will aid in and lend to greater expediency through the remediation process. It should be noted that the USGA will be required to restore each of the parking areas to the condition they were in prior to the Open, normal wear and tear expected.

The USGA will provide all signage, roping and lighting required for each of the parking facilities, as needed, and will ensure the proper level of security is present at each site. The USGA has also hired a vendor, Country Club Services, over the course of the past 25 years. Country Club Services has extensive experience working major events, including the PGA Championship and the Masters.

Corporate Villages and other Tents

All tent villages will be placed in open grassed or paved areas on property. The location and timing of tent placement will be done so as not to interfere with normal play, per the member-play timeline agreed to between the USGA and Winged Foot. Some landscaping will be provided to soften the visual effect of the tents. Raised floors will help to minimize the disturbance to the grass beneath the facilities. The tents on site will be uniform in style and color to provide the best aesthetic possible. The USGA is aware of potential visual disturbance of these structures to the neighboring homeowners, and it is in the best interests of the Championship to ensure the most aesthetically appealing final product as possible, not only for the neighborhood and the Club, but also for the onsite attendees and the worldwide broadcast of the Championship.

Each public facility on site will have access for ADA guests. This will be done by floored ramping, built to ADA codes and with necessary handrails, or by use of temporary ADA elevator lifts. Each facility will also be planned according to the appropriate occupancy limits, and the required doors and number/width of egress points will be planned and provided to the Town in the winter once sizes and quantities of facilities are finalized.

Bleacher/Viewing Areas

All grandstands will be built in open grassed areas. Locations designated for ADA access will include ramping and ADA elevator lifts. Each grandstand will have the required number of aisles and egress points as dictated by building code.

Signage

Signage will be designed for uniformity and placed only as needed. All signage will be planned and installed to meet the aesthetic goals of the event. The USGA only allows private company branding for their corporate partners, and this will only be done in the partners' internal activation spaces. The signage produces and installed will be very similar in nature as it was in 2006.

Helicopter Fly-over & Drone Policy

The USGA will work with the Town of Mamaroneck to address any issues and to file any forms necessary to provide for broadcast or media fly-overs of the property. Once more information related to this operation is available, the USGA will immediately notify and discuss timing with the Town of Mamaroneck.

It is the USGA's intent to work with the Town of Mamaroneck to introduce a "No Drone Policy" during the week of the U.S. Open. To date, the USGA has shared previous ordinances from past championships with the Town of Mamaroneck, where such a temporary policy was implemented with success. A process for approving any exemptions will be coordinated between the USGA and Town of Mamaroneck; i.e. USGA broadcasts partners.

9. ACTIONS DURING THE 2020 U.S. OPEN

Volunteers at the Open

The USGA will use approximately 4,500 volunteers during the Championship. Because each is required to contribute a minimum of four (4) six-hour shifts during the week, there will be about 1,500 volunteers assigned for any given day. It should be noted that the focus of the USGA's recruitment effort is centered on the communities that surround the Club. Roughly 50% of the volunteers currently registered in the program are from New York State. The volunteers have been assigned to 20 different committees. Included in the volunteer numbers are hole marshal groups primarily recruited through local Westchester County golf clubs and organizations.

The volunteers assist with scoring, gallery control, media and merchandising operations, hospitality services and various other functions. Their headquarters on site will be on the 12th hole of the East Course, mostly in tented space with some support trailers as well. Volunteers are currently being recruited and assigned to committees. They will be trained for their duties during May and June of 2020.

Security and Emergency Services

The USGA has been working and will continue to work with local authorities to develop a plan specific to Winged Foot. This plan will continue to develop throughout the winter and spring months and will take into account the then current security atmosphere surrounding the New York and global environment. The USGA will address medical emergencies and an appropriate response plan. In conjunction with their Medical Chairman, the USGA will name a primary hospital and will develop the plan for the golf course. The USGA is planning for three medical facilities on course, staffed by Montefiore Health System doctors and nurses. The USGA will have EMTs moving throughout the course on ambulance carts and bicycles. With assistance from the Town of Mamaroneck, the USGA will have ambulances staged around the perimeter of the property to transport those needed medical attention.

The parties will have a combination of Town, State and County police as well as private security personnel working the Championship and intend to work closely together to ensure that the safety plan at the Championship is effective and thorough. At each of the past 25+ U.S. Opens, the USGA has had an FBI presence onsite and plans to enlist the services of the FBI again for 2020. The USGA is also assisted by its primary security advisor, Don Donovan. The USGA typically has in excess of 100 private security guards working each day, as well as additional law enforcement police personnel in place for security. There will be additional police providing traffic support.

It should be noted that the entire property will be fenced by a USGA vendor and that each fan will be required to pass through designated security screening tents where everyone will walk through a magnetometer. The USGA has limits on what items can and cannot be brought into the site. There is a list of prohibited items displayed in many locations, both electronically and physically, and to be seen well before attending the U.S. Open as well as once arriving. The USGA believes it continues to be well ahead of the game when it comes to security procedures and will continue to work with the Town, County and State to identify any new threats or risks, either in a general sense or specific to the local area. Each person attending the event will have his or her ticket scanned prior to admittance, thereby controlling counterfeiting and keeping a close control on true attendance numbers.

Parking and Traffic Circulation

The general parking plan has been discussed earlier in this document and will continue to be finalized through the fall and winter. The interagency team previously described is currently developing the plan for traffic management and shuttle routing.

Litter/Cleaning/Waste

The USGA will hire a set of vendors to assist with cleaning the site, litter pickup and waste hauling. This includes overnight cleaning of interior tented spaces, daytime trash pickup on course, and overnight hauling of waste via a system of temporary dumpsters. The litter pickup will be aided by hundred of trash and recycling receptacles placed throughout the site for fans to disposed their items. The dumpsters will be spotted strategically to provide the easy daytime cleanup operation while also ensuring as efficient as possible overnight truck routing. All dumpsters will be fenced off for security and green mesh will be hung on the fence to minimize any aesthetic issues. In total, there will be approximately 25 dumpsters placed on site.

The USGA continues to focus on the most effective sustainability practices at the U.S. Open. While there are challenges with a temporary site, especially at locations such as Winged Foot where the event only takes place once every 10-20 years, there are several mitigation techniques utilized to improve the environmental impact of the operation. These include the use of compostable food packaging and service wares, detailed conversations and cooperation from the caterer and concessionaire, and support from LEED certified ecology vendors. In the past few years, the USGA-selected trash pickup vendor has worked directly with the hauler to track all metrics of the waste removal program. Additionally, the USGA seeks options for post-championship construction materials to be repurposed in various capacities, such as local organizations and programs like Habitat for Humanity. Those outlets have not yet been identified for the 2020 U.S. Open, but conversations will ensue throughout the winter and spring to avoid sending waste off property in dumpsters when possible.

One specific initiative planned to be new in 2020 will be the method for installing stairs to facilities and guard rails on decking throughout the site. The USGA has worked with the tent and floor provider to manufacture aluminum stairs and galvanized steel and glass guard rail. This will replace a large amount of what has previously been carpenter-constructed wood products. While there will still be a need for some lumber-based stairs and guard rail on site, it is expected the lumber waste produced by the event will be reduced by up to 80%.

10. ATTENDANCE ESTIMATES AND CAPACITY

The paid attendance number has been capped at 25,000. Sales began as of June 10, 2019, and are currently underway. The estimate was determined by the USGA and Winged Foot based on the natural capacity of the Club, learnings from 2006, and a general progression at the U.S. Open that it is more important to enhance the experience of those on site than to maximize the number of bodies. For reference, the paid attendance was capped at 30,000 in 2006. This includes Gallery, Trophy Club and AGA Club ticket-holders plus all corporate hospitality and Winged Foot member passes.

In addition to paid attendance, there are a set of other groups who will have access to the Championship. This includes volunteers, media and broadcast members, USGA and Winged Foot staff, Championship vendors, players and their support groups, complimentary/VIP passes, and public health, security, and emergency services personnel. In total, these other groups will account for approximately 10,000-12,500 additional people on site each day. Each day, peak hours of inbound traffic to the site will be 7:30am-10:30am, and peak hours of outbound traffic away from the site will be 4:30pm-6:30pm.

Restrooms will be provided for all attending the Championship. This will be accomplished in multiple ways. All attendees on site will have access to a series of porta-john banks located throughout the property. Upgraded ticket-purchasers and corporate passholders will have access to luxury restroom trailers, located securely within each respective facility. Staff, media and player groups will be able to utilize similar restroom trailers within those facilities. Those groups who have access to the Clubhouse will be able to use existing facilities within the building. Additionally, there are a group of staff office trailers which have internal low-flush toilet systems included. Porta-johns and low-flush toilets all contain internal storage space for clean and dirty water, thus do not require any plumbing. The luxury restroom trailers will be plumbed either into the existing public water supply system or into temporary potable water storage tanks in order to receive clean water. The wastewater is self-contained in the trailer similar to the other restroom options. All wastewater is pumped out by trucks provided and operated by the restroom vendor. During pre- and post-Championship construction periods, the wastewater will be removed from the site during daytime hours and carried to external dumping locations which the restroom vendor uses in their day-to-day activity. During Championship week the USGA will look to utilize an existing manhole on site to dispose the dirty water. This will occur during overnight servicing. An onsite manhole was used in 2006, and the USGA is working with the Club to identify that location, at which point it will share those plans with the Town of Mamaroneck and Westchester County for approval.

11. IMPACTS AND MITIGATION DURING THE U.S. OPEN

Operations

Facilities for volunteers and operations will have negligible or no long-term effect on the environment. Restoration will address any areas that may receive more than ordinary wear, and other areas will be addressed through routine maintenance. Roping, fence lines and volunteers are used throughout the Championship to control the flow of all attendees, ensuring they remain in areas which are planned to take heavy foot traffic. The USGA and Winged Foot work together to designate where is most advantageous for those paths to exist. Absent extreme weather conditions during Championship week, it is expected these foot traffic areas will re-grow

naturally through routine maintenance practices, thereby minimizing the spaces on site requiring full restoration procedures.

The USGA also works with their insurance provider to inspect the site on multiple occasions throughout the build process to identify any potential risks with the site design and equipment installed. The initial meeting allows the insurers to provide a list of items which should be addressed by the operations team. The insurer then returns later to confirm the practices are being implemented. Traditionally any list provided by the insurer has been very short, as efforts are taken each year to mitigate potential risks before they occur.

Security and Emergency Services

A plan will address security and emergency services and will be developed with input from the USGA, and the Town, County and State police agencies. The plan will assure proper coverage for medical emergencies and public safety. On site medical facilities will be placed in open and accessible areas. Medical personnel on carts and/or bicycles will have minimal impact to the course. Designated routes will be chosen for transport and backup helicopter access provided in event of major emergency or impassable routes. Ample security personnel, including private security, police personnel and FBI services will ensure safety of players, fans, staff and volunteers, as well as the surrounding community. In addition, ample fire-related services will be provided for on site staging during the Championship.

ADA Access Plan

The USGA makes certain to address the need for the U.S. Open to be an accessible venue. Fans wishing to attend in a wheelchair will have a designated lot they can park where a lift-equipped shuttle will drop them on site. Once on property, all general public facilities will be made accessible by ramps and elevator lifts. Certain grandstands on site will be designated for wheelchair seating. The USGA also works with Pride Mobility to provide approximately 175 motorized scooters for fans to use on a first-come, first-served basis. The USGA will have a disability services headquarters on site to assist fans who need support navigating the property. There is also a volunteer committee designated to provide support for disabled services. This includes operating an internal shuttle route system which is a series of multi-passenger golf carts that can take fans to key points throughout the property. Specialized golf carts will also be in circulation which are equipped to load a wheelchair bound fan and bring them where they want to watch or enter an upgraded facility. The USGA has worked with an ADA consultant who visits the site on a certain frequency throughout the build to ensure codes are being met, signage is displayed properly, and can assist fans directly during Championship week. A full ADA plan will be prepared in the spring and provided to all relevant parties.

Traffic and Parking Circulation

The traffic plans are discussed in more detail earlier in this document, and as more elements are finalized they will be shared through the Town officials. In order to minimize the impact of Championship traffic to the community directly around Winged Foot and the Town of Mamaroneck, the USGA utilizes external parking lots and mass transit options as much as possible. Diverting fans to locations away from the Town allows for more efficient flow of shuttle buses, emergency vehicles and other general day-to-day Town traffic. As mentioned earlier, there are very few parking spaces allocated on site, and those are designated for players, limited USGA staff and VIPs, limited Winged Foot staff and VIPs, limited security support personnel and some Championship vendors.

The USGA, Westchester DOT and Metro North will all work to use media options for promoting the use of mass transit, primarily the train. Given the increased popularity of rideshare programs such as Uber and Lyft, the USGA is identifying a more effective “passenger drop-off” operation than was utilized in 2006. Currently, the USGA is exploring an external lot where Uber, Lyft and passenger drop-off can occur, and then the USGA would secure shuttle buses to bring those fans and guests to the site in a controlled manner, limiting vehicles which enter the direct area around the Club.

Adverse Weather Conditions and Storm Water Drainage Issues

Conditions at the Club will be continually monitored, and should adverse conditions be detected, steps will be taken to relocate uses that could worsen foot traffic impact to certain areas on property. In the event of extreme weather conditions, the USGA prepares a site evacuation and fan protection plan to ensure the safety of all on site. This includes designating a variety of onsite facilities to open up to general gallery and will indicate the most efficient way to move the crowds to buses so they can be brought back to their parking or train transportation options. Beginning a few years ago, the USGA began to work with a vendor who grounds a number of tents on site for lightning protection.

From reviewing notes of the 2006 U.S. Open, it was indicated that there was initial concern about potential impacts to stormwater runoff due to the facilities constructed on site. As mentioned earlier, anywhere there is physical grading, runoff protection will be addressed with silt fence or sock and waddle. All other stormwater runoff due to the existing of tents and floors on site should not be of concern for 2020. As has been the case at other U.S. Opens, including 2006, the method for constructing the floors and tents allows for natural runoff to occur through the existing drainage system on property. Additionally, Winged Foot has added significant drainage infrastructure since 2006 which will further help prevent any adverse impact to the surrounding

neighborhood. As always, runoff will be constantly monitored throughout the process and addressed if any issues occur, but the USGA is very confident this will not be a problem during the build, Championship or tear down.

Impacts to Areas Immediately Adjacent to the Club

Due to the space available at Winged Foot based upon the fact it has thirty-six (36) holes of golf between the East and the West Courses, the parties are confident there will be minimal, if any, damage to adjacent properties. If damage does occur, the USGA and Winged Foot will actively work to remedy the situation as quickly as possible.

Aesthetics

The U.S. Open is a large event that will require set up of substantial facilities for both the event itself and its transmission around the globe. These facilities will result in substantial, yet temporary change in the character of the West Course and adjacent areas. Moreover, the number of people viewing the Open will impact the pastoral setting of the course as it is normal played. All facilities will, however, be placed in a manner that minimizes intrusion into the setting while at the same time providing for a quality and safe viewing experience by onsite attendees. There will be no long-term adverse aesthetic impacts, as the course will be fully restored to its pre-Open condition.

Surface and Groundwater Quality

There will not be any changes to the water quality as a result of the Open. Special precautions will take place with respect to fuel management for facilities that might require use of generators. These precautions will preclude spills and associated impacts.

Noise Levels

It can be expected that noise levels surrounding the Championship and its related pre- and post-Open activities will be higher than typical day-to-day proceedings at the Club. Sources of noise include additional traffic, generator use, construction activity, crowd cheering and noise associated with vehicular use (if needed). Below is the USGA request for noise variances associated with the entire process of the Championship. These are similar to the requests made and approvals granted for the 2006 U.S. Open.

- November/December 2019 – temporary road construction and water/electrical line installation
 - Monday-Saturday: 7am-6pm
- March 1, 2020 – April 30, 2020 – tents, generators, grandstands, fencing, additional road construction

- Monday-Saturday: 7am-7pm
- Sunday: 7am-5pm
- May 1, 2020 – June 10, 2020 – tents, generators, grandstands, fencing, additional road construction, internal furnishings, scoring boards and video boards
 - Monday-Sunday: 7am-9pm
- June 11, 2020 – June 21, 2020 – Championship week inclusive of pre-Championship merchandise sale period
 - Daytime activity beginning at 5am, extending through the conclusion of play (~9pm)
 - Overnight servicing beginning at the conclusion of play (~9pm) extending through completion at approximately 2am
- June 22, 2020 – July 5, 2020 – Immediate Championship teardown activities
 - Monday-Sunday: 7am-9pm
- July 6, 2020 – August 15, 2020 – Completion of removal and initial restoration proceedings
 - Monday-Sunday: 7am-6pm

Lighting

The USGA will obtain and place a series of light towers throughout the property. There are usually less than 10 towers required during the pre-Championship period, and they are to serve the overnight security guards who will watch the property to protect from intruders. During Championship week, the number of towers will grow to approximately 30 and will provide lighted routes for trucks and vehicles to use so they can safely navigate to their points of delivery, replenishment, removal, etc.

The USGA will place these light towers and strategically direct the light away from neighboring houses. The USGA is aware of the concern this may cause the surrounding community and will make every effort necessary to avoid any issues. If a neighbor does voice a complaint, the USGA will immediately resolve this problem to prevent reoccurrence.

Natural Resources

There will be minimal impacts to the course property, such as compaction associated with movement of vehicles and pedestrians within the West and East Course areas and other impacts to the turf. These impacts will be temporary in nature as the course will be restored and are routine in nature for any professional golf championship/tournament.

Cumulative Impacts

It can be expected that additional business will be generated in the short term throughout the Town of Mamaroneck and Westchester County as a result of hosting the Open. There are immediate benefits due to the influx of fans to the area for the week of the Championship, but due to the majority of the activity occurring on site, it may be less than the surrounding community expects. This is primarily due to the transportation plan which aims to divert vehicles away from the immediate area for the reasons mentioned earlier in this document. However, through to the use of Metro North and the high volume expected on the train, along with the proximity of the Mamaroneck station to the village, an increase in business is expected. The USGA would encourage the Town and County to focus on the longer-range impact to local businesses based on the influx of staff, vendors and other visitors who will be on site for a working capacity in the one-year lead up to the Championship plus the two-three month tear down of facilities and restoration of property. In total, the USGA expects a very positive economic impact to the community for the U.S. Open and will continue to engage local business groups as to the expected timing and magnitude.

Energy

Energy consumption will increase as a result of the Open. Fuel usage will increase for equipment usage, generator power and Championship shuttle vehicles. Efforts will be made to encourage use of mass transportation, primarily the Metro North train service. Effects on energy use will be short-term, and the USGA will actively seek ways to minimize the quantity of generators and fuel consumption equipment needed on site.

12. POST U.S. OPEN ACTIONS

Breakdown of Facilities and Timing

The USGA vendors have always done a fine job dismantling equipment and removing it from the host club in a timely manner, such breakdown being a primary concern of the USGA and of Winged Foot. The tents and grandstands typically take the longest to be removed, but it is expected all Championship equipment will be off site by August 31, 2020. An approximate schedule for dismantling is as follows (subject to change):

- Week of June 22nd-June 28th
 - Remove all equipment from offsite parking lots and security checkpoints
 - Remove equipment from WFGC parking lots
 - Begin dismantling USGA Hospitality at WFGC pool area
 - All broadcast vehicles exit via Griffen Ave temporary access
- Week of June 29th-July 5th

- Complete removal of equipment from WFGC pool area
- Discontinue use of Griffen Ave temporary access
- All generators and fuel tanks removed from site, except those which are still in use to power vendor and staff offices
- Remainder of July
 - Continue dismantling remaining tents, floors and grandstands – all equipment should be broken down and staged by the end of July
 - Roadways continuously removed as they are no longer needed – mats picked up and shipped offsite, gravel/asphalt excavated out and hauled to predesignated offsite disposal location
- Early August
 - Completion of vendor equipment removal by August 15th
 - Temporary roadways picked up and/or cleared out by August 15th
 - Temporary access point on Old White Plains Rd abandoned by August 15th to begin restoration procedures
 - USGA Championship Office and USGA Field Office trailers will be last remaining units on site – it is expected that they will be dismantled by August 31st

Restoration of Course

The Club and the USGA will work together to determine the most effective course of restoration. Past practices at recent U.S. Opens have shown that allowing some time immediately following the Championship for lightly impacted areas to heal has reduced the total amount of restoration needed. Generally, through aeration and standard maintenance procedures, much of the impacted areas on course will come back naturally. Additionally, the summer months are less than ideal for replanting or re-sodding areas of the property. Once into the late summer and early fall months, those areas which require restoration will be addressed when growing conditions are more optimal. Specific actions expected are as follows:

- Areas impacted by Championship foot and golf cart traffic will be evaluated through the remainder of the summer with the expectation they will recover naturally, potentially requiring minor aeration and fertilization
- Areas covered by grandstands, office trailers and elevated generators often times continue growing while facilities are erect, and any areas suffering damage generally recover naturally, potentially requiring minor aeration and fertilization

- Areas covered by scaffold flooring (and tenting) for shorter durations often will recover naturally
- Areas covered by scaffold flooring (and tenting) for longer durations will need to be evaluated throughout the summer months. Sometimes these will recover naturally through standard maintenance procedures. Where impact is more permanent, the USGA and WFGC will work together through a co-selected vendor to repair the turf. Typically the top layer of dead material will be cleaned out and the soil will be tilled. Depending on the part of the golf course and how integral it is to playing the course, the ground will be seeded or it will be sodded.
- Areas covered by other equipment such as ground-lying generators and office space, storage facilities, catering support equipment, etc. which cause grass underneath to die will be treated as mentioned in the bullet above. The USGA and WFGC will evaluate whether each should be seeded or sodded.
- Areas covered by temporary roadways will be treated to similar turf restoration as it is expected the grass underneath will die. For any paved roads, the topsoil will be carved out prior to installation so the surface can be installed flush. That topsoil will be stored on site so that after the road is removed it can be replaced, thus eliminating the need for importing any soils to the property.
- One tree is planned to be removed to the players' right of the 8th green on the West Course. This is intended to improve the view of the 8th green from the nearby corporate facility. The USGA and WFGC have agreed to an acceptable replacement which will be planted following the Championship.
- A row of trees which was planted following the 2006 U.S. Open at the temporary access from Old White Plains Road will be removed to re-create that access point. Rather than dispose of those trees, WFGC is going to relocate them to a space near their maintenance facility. Following the Championship, once the road is removed new trees will be imported to close the hole created.

It is the intention of the USGA to leave WFGC in the same condition as it exists today, with the exception of minor tree work described above. The U.S. Open operation continues to evolve year-over-year. The restoration procedures have been a specific focus recently, and it is an area which has been significantly improved since 2006.

13. CLOSING

In connection with the set-up and restoration aspects of the U.S. Open and the impact the event has on a host club and the surround community, the USGA believes it is imperative to state it relies on its good name, history of past performance, and continuous efforts for improvement year over year to ensure that the operation will be conducted to the highest and most professional level. As the USGA, we are aware we are guests of Winged

Foot, the Town of Mamaroneck, Westchester County and New York State. We have a strong history in this area and at this club, and we continue to hope we will be invited back again in the future. There are only a handful of courses in the country that are capable of hosting the U.S. Open from a pure test of golf, and the list is further shortened when one considers what is required operationally from the host site and its surrounding environment. Winged Foot and the Town of Mamaroneck fit that description, and we assure you that we will apply our very best efforts to ensure the 2020 U.S. Open is a success in the eyes of the golfing world, as well as the eyes of the Club and the Town. We look forward to working with you throughout this extensive but highly rewarding process.

120th U.S. OPEN CHAMPIONSHIP
OPERATIONAL PLAN

FOR
UNITED STATES GOLF ASSOCIATION
CONDUCTED AT
WINGED FOOT GOLF CLUB
MAMARONECK, NY

DATE: JULY 31, 2019
REV.: SEPTEMBER 10, 2019



AREA MAP
SCALE: 1"=400'



LOCATION MAP
(N.T.S.)



**KELLARD
SESSIONS**

CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE | SITE & ENVIRONMENTAL PLANNING
300 MAIN STREET, ARMONK, NY 10504
T: (914) 275-2323 | F: (914) 275-2329
WWW.KELLS.COM

SITE DATA
APPLICANT/SPONSOR: UNITED STATES GOLF ASSOCIATION
105 CHEROKEE ROAD, SUITE 2A
PINEHURST, NC 28374
OWNER: WINGED FOOT HOLDING CORP.
851 FENIMORE ROAD
MAMARONECK, NEW YORK 10543
PROPERTY ADDRESS: 851 FENIMORE ROAD
MAMARONECK, NEW YORK 10543
PROPERTY SIZE: ± 280 ACRES
TAX MAP DESIGNATION: 3-47-1.1/ 1&2
ZONING DESIGNATION: REC ZONING DISTRICT

SHEET INDEX	
COVER SHEET	C-100
EXISTING CONDITIONS SITE PLAN	C-200
U.S. OPEN SITE PLAN	C-201
ENLARGED SITE PLAN	C-300
TEMPORARY ROAD PROFILES	C-400
EXISTING CONDITIONS PHOTOS	C-500
EROSION & SEDIMENT CONTROL NOTES & DETAILS	



SITE DATA

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MAMARONECK, NEW YORK 10543

TAX MAP DESIGNATION: 3-47-1-1 AND 2

ZONING DESIGNATION: REC ZONING DISTRICT

- GENERAL NOTES:**
1. AERIAL IMAGERY (2018) AND TOPOGRAPHY OBTAINED FROM AVAILABLE WESTCHESTER COUNTY GIS DATA.
 2. WETLAND/WATERCOURSE LIMITS ARE APPROXIMATE AND BASED ON AVAILABLE WESTCHESTER COUNTY GIS DATA. THE PRESENCE OF ON SITE WETLAND/ WATERCOURSE VERIFIED IN FIELD BY THIS OFFICE.
 3. THE UPPER & LOWER PONDS ARE LOCALLY REGULATED WATERBODIES. THE LOWER POND IS A NYSDEC CLASS C WATERBODY. NO DISTURBANCE OF EITHER POND IS PROPOSED.
 4. THERE ARE NO TOWN REGULATED STEEP SLOPES LOCATED ON THE PROPERTY.
 5. THERE ARE NO FEMA FLOODPLAINS OR FLOODWAYS LOCATED ON THE PROPERTY.
 6. THE TURF MAINTENANCE FACILITY IS CURRENTLY UNDER CONSTRUCTION PER PRIOR APPROVAL. AERIAL IMAGE IS NOT REPRESENTATIVE OF CURRENT CONDITION.

LEGEND

- EXISTING WATER COURSE
- 100' WETLAND BUFFER
- EXISTING WATER SURFACE
- EXISTING PROPERTY LINE
- EXISTING 2 FT. CONTOUR
- EXISTING 10 FT. CONTOUR

GRAPHIC SCALE

(IN FEET)
1 inch = 150 ft.

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EXISTING CONDITIONS SITE PLAN

UNITED STATES GOLF ASSOCIATION
C/O WINGED FOOT GOLF CLUB

TOWN OF MAMARONECK WESTCHESTER COUNTY, NEW YORK

C-100

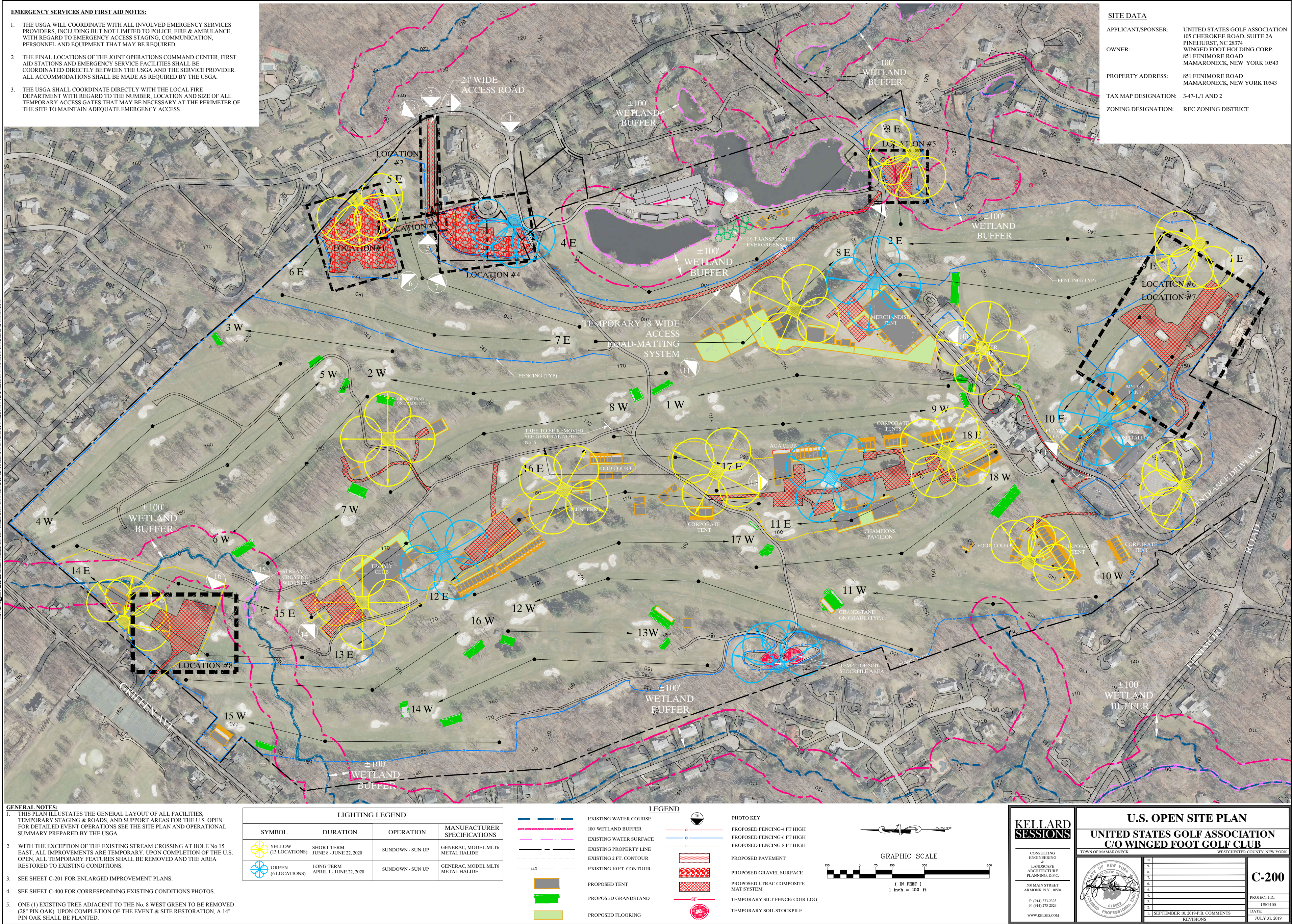
PROJECT I.D.: USG100

DATE: JULY 31, 2019

REVISIONS

1. SEPTEMBER 10, 2019 P.B. COMMENTS

UNAUTHORIZED ADAPTATIONS, MODIFICATIONS AND/OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 206(2) OF THE NEW YORK STATE EDUCATION LAW



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U.S. OPEN SITE PLAN

UNITED STATES GOLF ASSOCIATION

C/O WINGED FOOT GOLF CLUB

TOWN OF MAMARONECK, WESTCHESTER COUNTY, NEW YORK

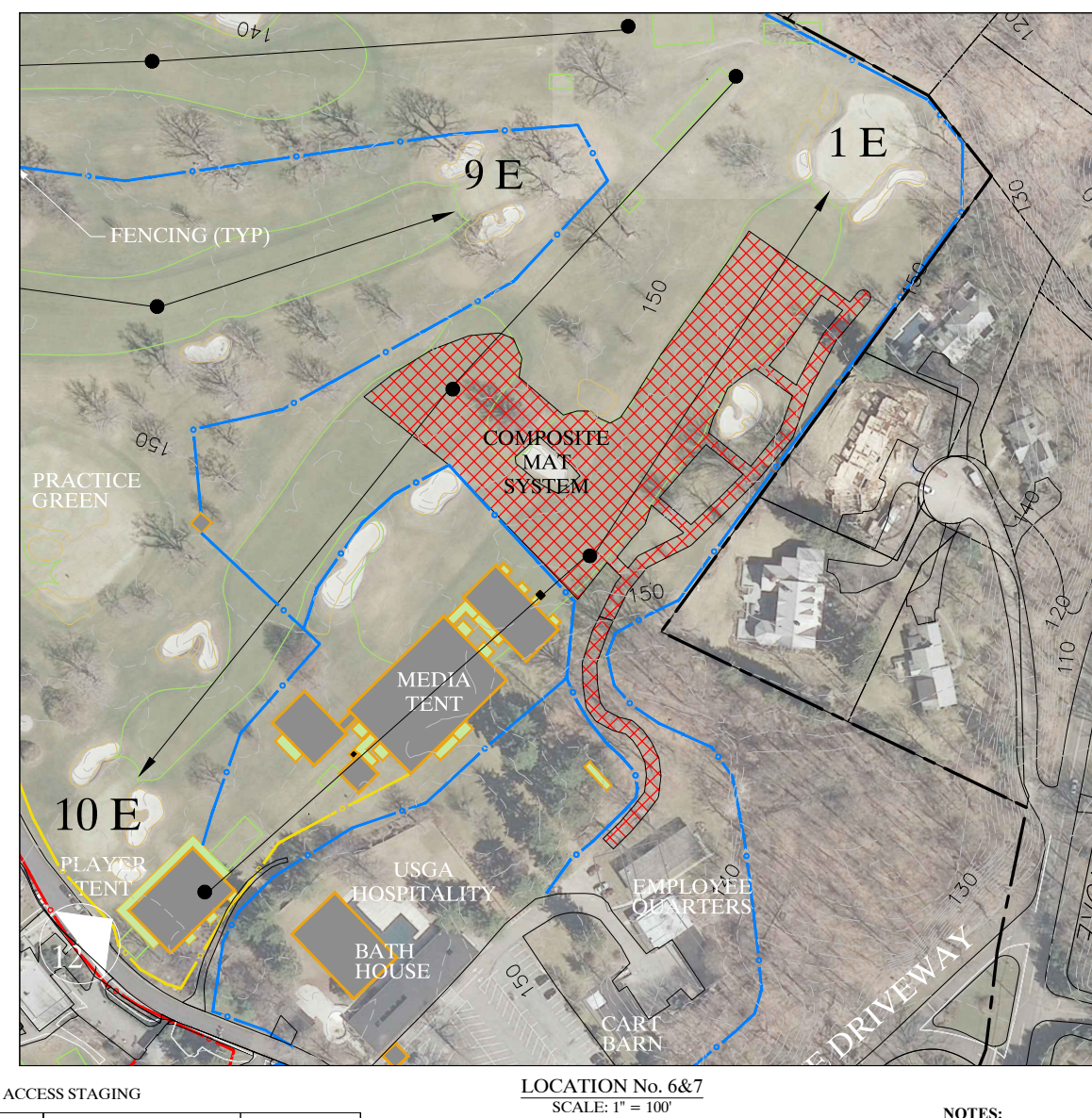
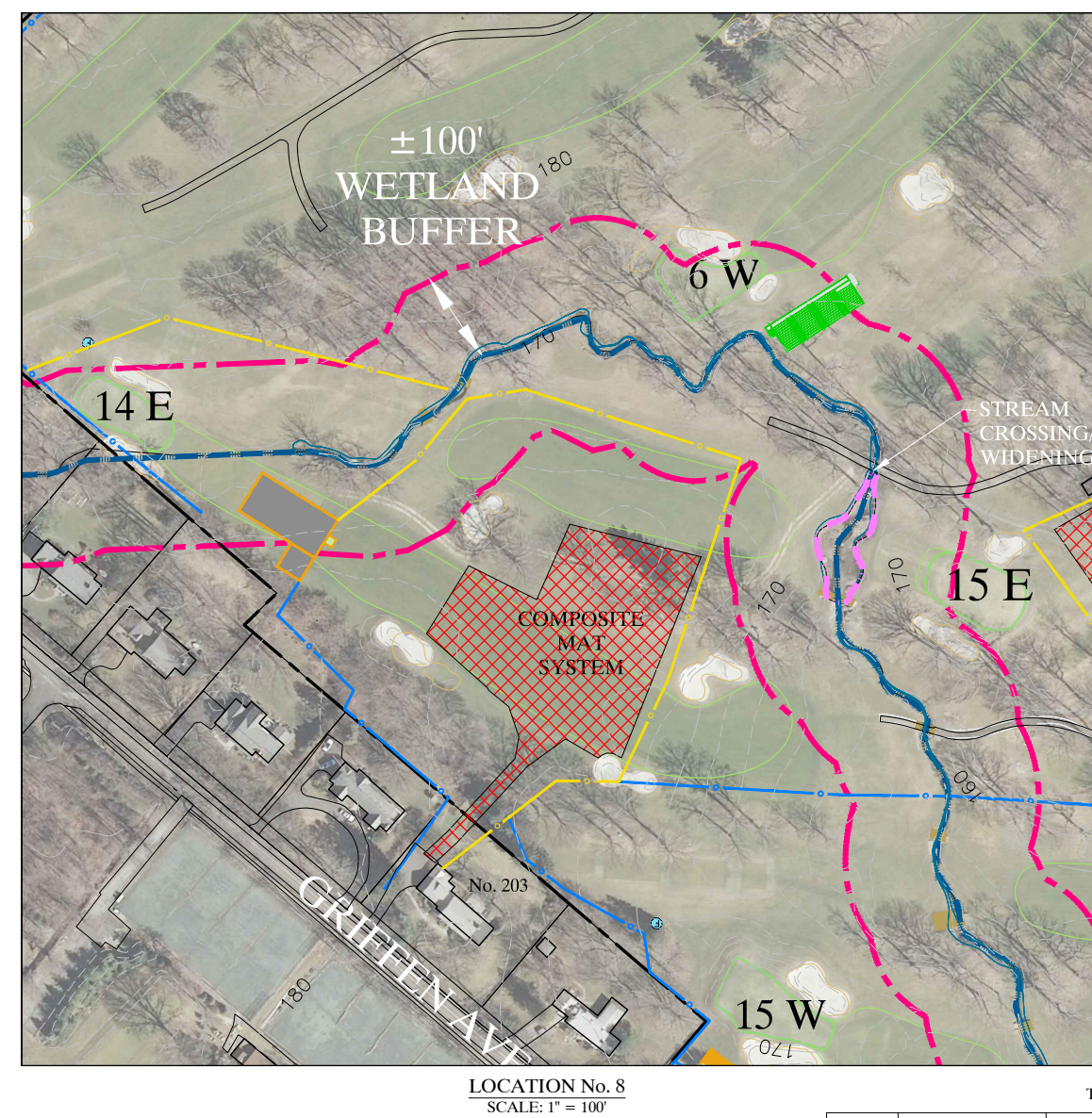
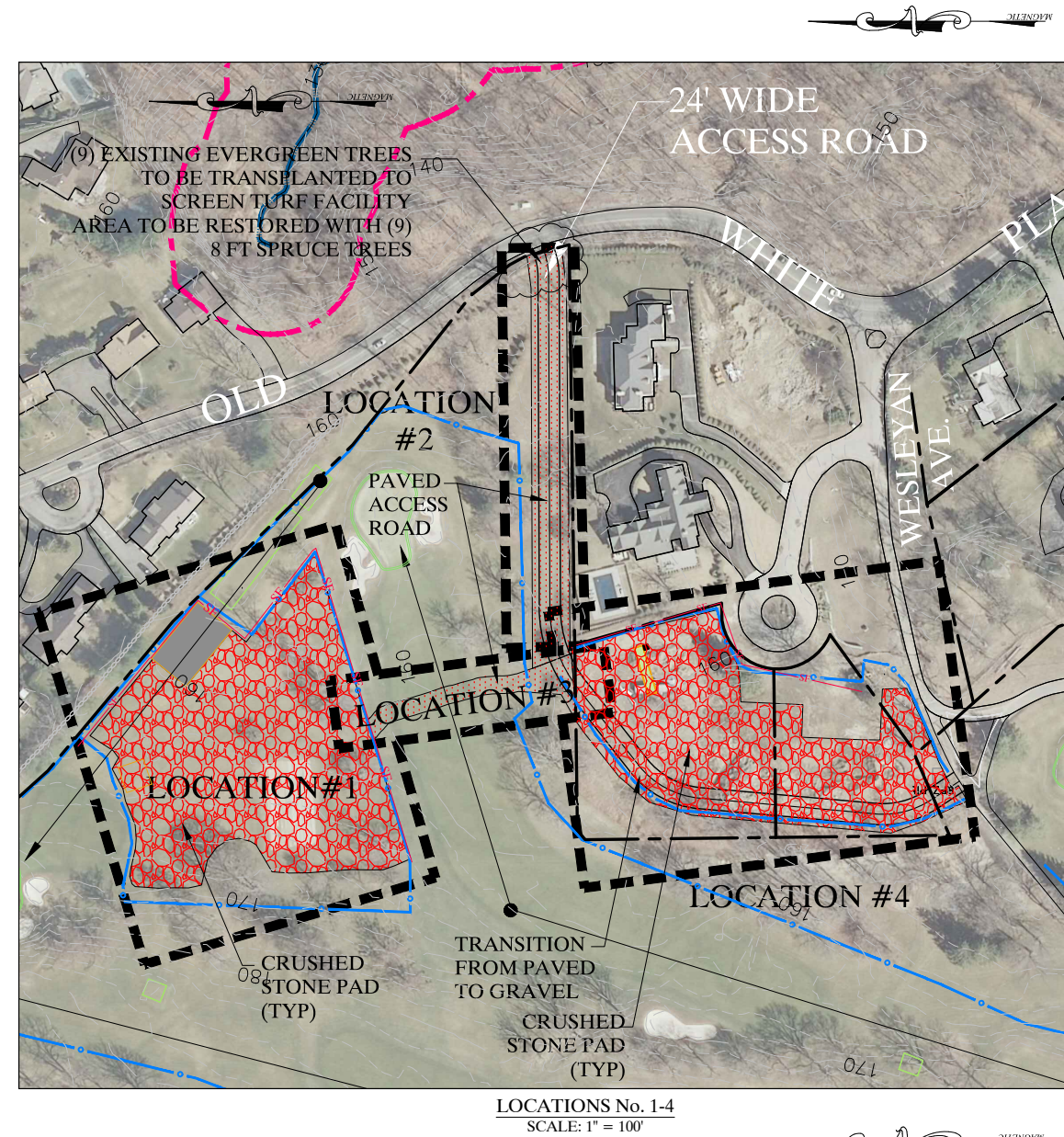
NO.	DATE	REVISIONS
1	SEPTEMBER 10, 2019-P.R. COMMENTS	

C-200

PROJECT ID: USG100

DATE: JULY 31, 2019

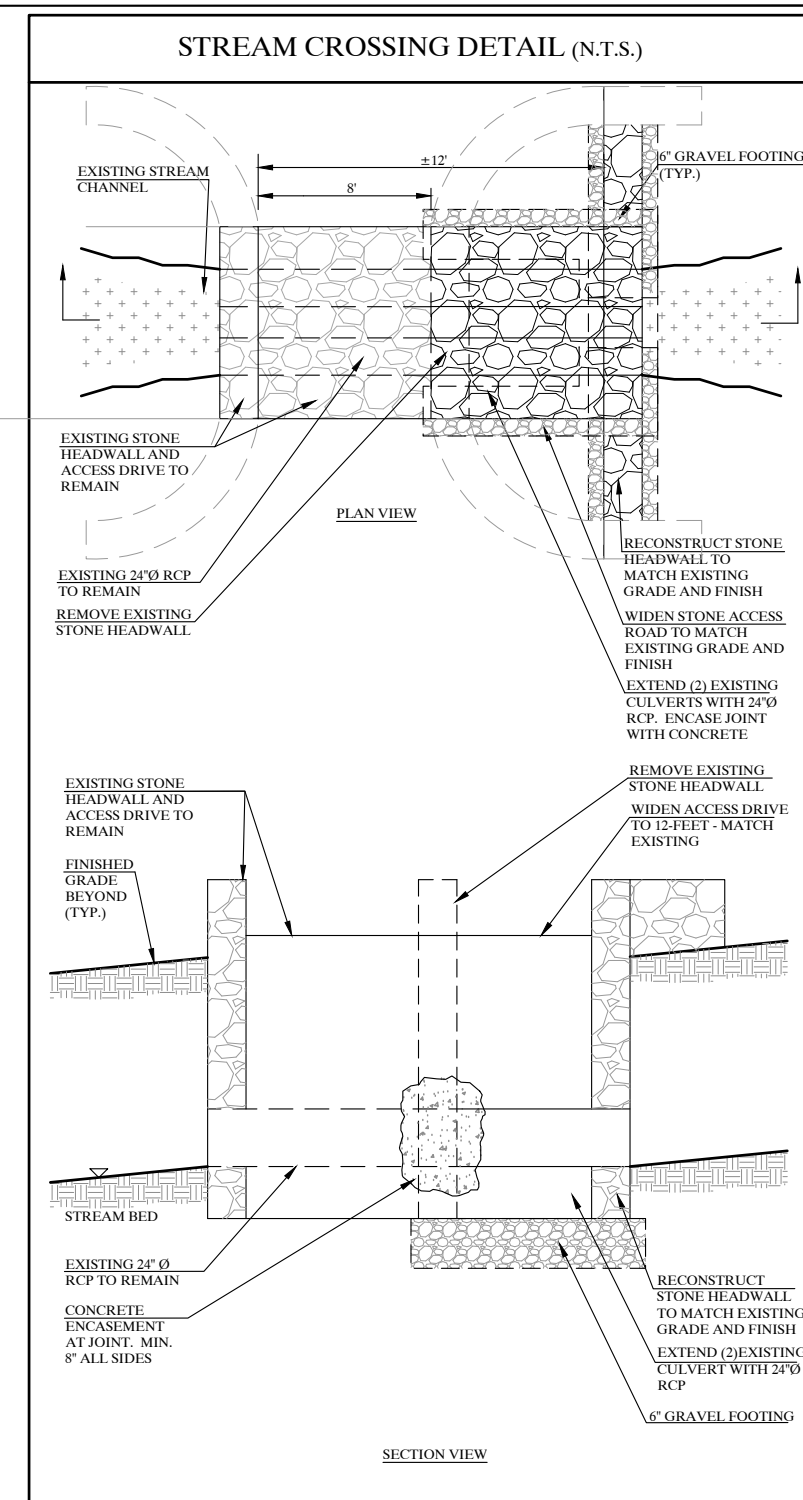
UNAUTHORIZED ALTERATIONS, MODIFICATIONS AND/OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 200(2) OF THE NEW YORK STATE EDUCATION LAW




TEMPORARY ACCESS STAGING						
Loc.#	Location	Description	Cover	Duration	Approx. Sq. Ft.	
1	6 East Fairway	Vendor compound	Gravel	November 2019 - August 2020	77154	
2	5 East Right	Access road	Paved	November 2019 - August 2020	19300	
3	5 East Fairway Crossing	Access road	Paved	November 2019 - August 2020	5994	
4	Nursery	Main compound	Gravel	December 2019 - September 2020	63662	
5	3 East Fairway	Compound	Mats	June 2020	19624	
6	1 East Fairway	Access and parking	Mats	June 2020	75691	
7	1 East Fairway Right	Access road	Mats	June 2020	4850	
8	14 East Fairway	Network compound	Mats	May - July 2020	48432	

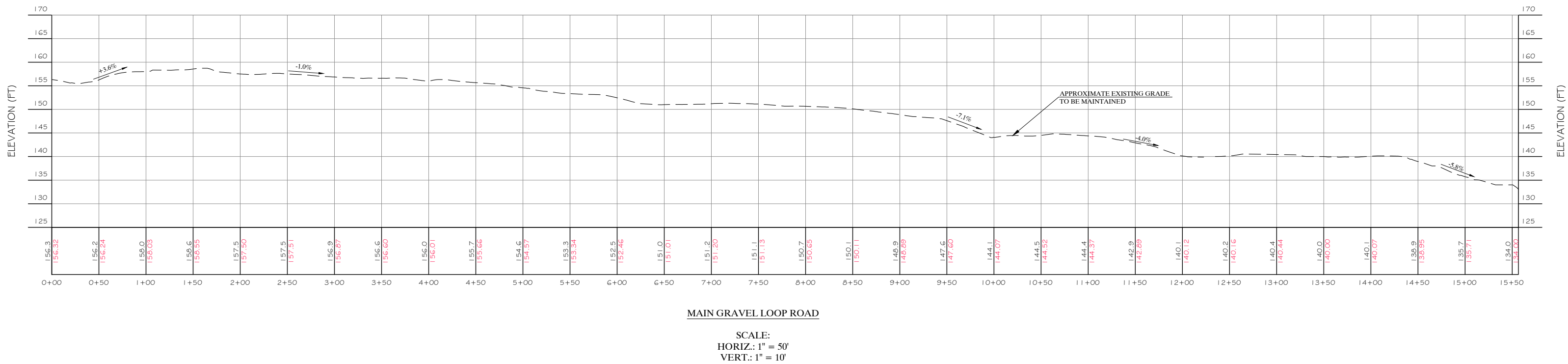
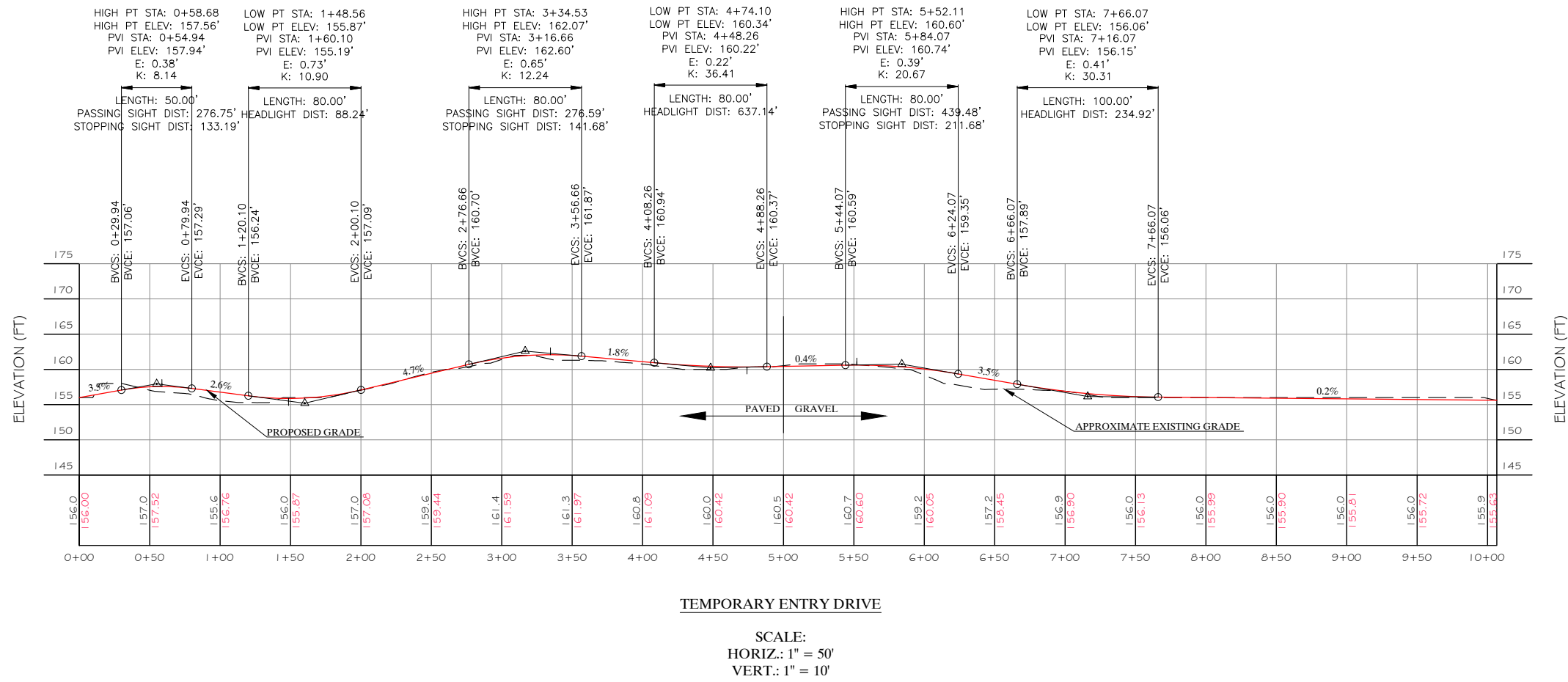
- LEGEND**

 - EXISTING WATER COURSE
 - 100' WETLAND BUFFER
 - EXISTING WATER SURFACE
 - EXISTING PROPERTY LINE
 - EXISTING 2 FT. CONTOUR
 - EXISTING 10 FT. CONTOUR
 - PROPOSED TENT
 - PROPOSED GRANDSTAND
 - PROPOSED FLOORING
 - PHOTO Kiosk
 - PROPOSED FENCING
 - PROPOSED PAVEMENT
 - PROPOSED GRAVEL SURFACE
 - PROPOSED 1-TRAC COMPOSITE MAT SYSTEM
 - TEMPORARY SILT FENCE/ COIR LOG
 - TEMPORARY SOIL STOCKPILE



KELLARD SESSIONS	<h1 style="margin: 0;">ENLARGED SITE PLAN</h1> <h2 style="margin: 0;">UNITED STATES GOLF ASSOCIATION C/O WINGED FOOT GOLF CLUB</h2>																																																																																																							
CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.F.C.	TOWN OF MAHARDECK	WESTCHESTER COUNTY, NEW YORK																																																																																																						
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TEMPORARY ROAD PROFILES
UNITED STATES GOLF ASSOCIATION
C/O WINGED FOOT GOLF CLUB

TOWN OF MAMARONECKWESTCHESTER COUNTY, NEW YORK



1	SEPTEMBER 10, 2019 P.R. COMMENTS
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C-300
PROJECT ID:
USG100
DATE:
JULY 31, 2019

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND/OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 1202 OF THE NEW YORK STATE EDUCATION LAW



PHOTO No. 1



PHOTO No. 2



PHOTO No. 3

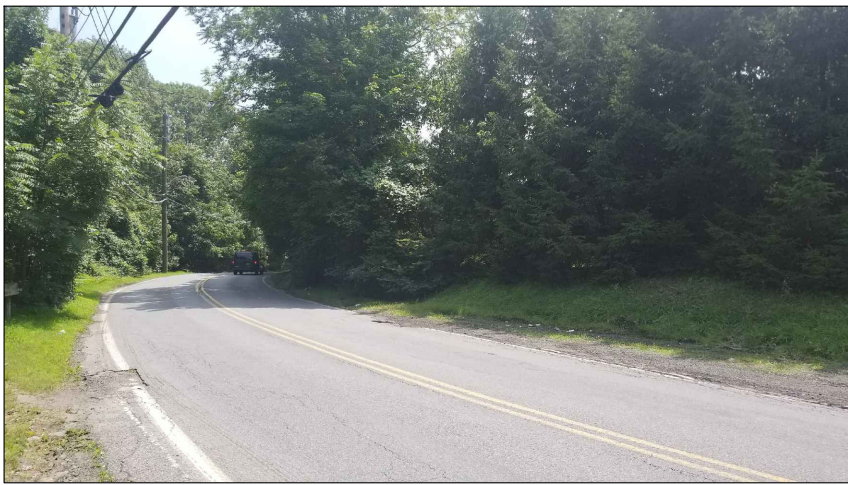


PHOTO No. 4



PHOTO No. 5



PHOTO No. 6



PHOTO No. 7



PHOTO No. 8



PHOTO No. 9



PHOTO No. 10



PHOTO No. 11



PHOTO No. 12



PHOTO No. 13



PHOTO No. 14



PHOTO No. 15



PHOTO No. 16

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EXISTING CONDITIONS PHOTOS
UNITED STATES GOLF ASSOCIATION
C/O WINGED FOOT GOLF CLUB
TOWN OF MAMARONECK
WESTCHESTER COUNTY, NEW YORK

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1	SEPTEMBER 10, 2019 P.R. COMMENTS
REVISIONS	

PROJECT ID:
USG100
DATE:
JULY 31, 2019

C-400

UNAUTHORIZED ADJUSTMENTS, MODIFICATIONS AND/OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 1202(2) OF THE NEW YORK STATE EDUCATION LAW

All proposed soil erosion and sediment control practices have been designed in accordance with the following publications:

- The primary aim of the soil erosion and sediment control plan is to reduce soil erosion from areas stripped of vegetation during and after construction and to prevent silt from reaching the drainage structures, wetland systems and downstream properties. As outlined in the construction sequencing notes below, the Sediment & Erosion Control Plan is an integral component of the construction phasing and sequencing and will be implemented to control sediment and re-establish vegetation as soon as practicable. The plan will be implemented prior to the commencement of any earthmoving activities. The applicant or developer or their representative shall be on site at all times when construction or grading activities take place.

- SILT FENCE

Maintenance/Inspection

- COIR LOG (SEDIMENTSTOP FILTRATION LOG)

Maintenance/Inspection

- SOIL/MATERIAL STOCKPILING

Maintenance/Inspection

- GENERAL LAND GRADING

- DUST CONTROL

- POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES:

Outlined below is a brief listing of the construction sequencing for the project.

The total disturbance area for the project is ±25,244 SF.

- Start of construction
- Installation of sediment and erosion control measures
- Completion of site clearing
- Completion of rough grading
- Completion of final grading
- Close of the construction season
- Completion of final landscaping
- Successful establishment of landscaping in public places

- Contractor shall identify isolated work areas and establish limits of disturbance.
- Contractor shall install erosion and sediment control parameters as appropriate.
- Contractor shall mobilize equipment and materials to the work area so that no damage/disturbance of golf course not intended for restoration or maintenance work.
- Contractor shall commence final site prep as described below.
- Prior to any equipment stockpiling or fuel storage, the contractor shall use the area designated for fuel storage to store the stream crossing to be widened.
- The stream crossing to be widened shall be performed during periods of dry weather.
- Prior to any work performed in or adjacent to the stream channel, the contractor shall install a turbidity curtain, plant check dam or other approved means of erosion and sediment control.
- Contractor shall commence breakdown of fairways as described below.
- Upon final stabilization of work areas, contractor shall remove all erosion and sediment control parameters.

Beginning in November 2019, the USGA will begin preparation work to ready the site for spring-time Championship operations. The primary projects scheduled for the fall will be installation of access roads, underground water piping and

Three methods will be used to close temporary roads. One will be key areas of paving. The USGA plans to pave the temporary access to the property coming from Old White Plains Road in the same place it existed in 2006. The paving is needed to allow the temporary road to be used by the maintenance crew to move equipment and materials to the areas that will utilize the route. Additionally, the crossing over the East Course 50th hole will be paved, this also being done to allow a more stable surface for the equipment. The temporary road will be closed to traffic for approximately 10 days, which will surface on key turn areas, but these areas will be more than 1,500 ft. The second temporary road will be a gravel material, laid on top of existing terrain and with a highway-grade fiber cloth as a surface. Winged Foot, all of which will be removed following the conclusion of Championship procedures by the fall of 2020. The temporary road will be approximately 100 ft wide and will be used to move equipment and materials to the areas that will utilize the route. The USGA and Winged Foot have worked diligently for the past year to research and test a variety of products. The final choice of matting have not been decided yet, but the USGA is committed to using this method of temporary roads.

Gravel roads are all temporary and pervious in nature. Paved roads are also temporary, and appropriate drainage is being planned by the USGA and Winged Foot, to divert water into the extensive and effective drainage system that has been installed over the recent years. Matting sits on top of the currently grass areas and allows surface water to run underneath as there is no soil penetration to block flow.

All roads, whether paved, graveled, or matted will be removed as soon as possible following the conclusion of the Championship. Some of them will be immediate, but others will need to remain through July and into part of August based on vendor removal timelines.

In addition to access roads, USGSA will work with Winged Foot to install water supply pipes and electrical lines. Currently no electric is planned, but if that changes during the planning phase the USGSA will notify the Town of Winged Foot. The project will involve working with H2M Architects on the water system design, evaluating the appropriate water storage capacity and flow rates required to meet the needs of the site. The existing water main at Winged Foot has an existing pipe diameter, but the pipes are not of sufficient size to meet the US Open needs. It is expected the system utilized will be a combination of expanding the public water supply on property while also using temporary portable water storage tanks. The project will require coordination with the U.S. Forest Service, the National Park Service, the Department of Health and the Bureau of Public Health Protection, and it maintains communication with County officials as the system is being developed to ensure codes and regulations are met. Any water supply installed underground will be permanent in nature and designed to last for many years. The USGS anticipates that the project could be completed by late summer or its use in 2020, with the expectation it can be opened and re-utilized at possible future US Opens held at Winged Foot.

CONSTRUCTION SPECIFICATIONS

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HATCHWATER CLOSURE SHALL BE 12" WIDE. HATCHWATER SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FT. THICK LAYER OF FILTER STONE WILL BE PLACED AGAINST THE 1:1 INCH STONE AS SHOWN ON THE DRAWINGS. MAX. DRAINAGE AREA 1 ACRE.

The USGA vendors have always done a fine job dismantling equipment and removing it from the host club in a timely manner, such breakdown being a primary concern of the USGA and of Winged Foot. The tents and grandstands typically take the longest to be removed, but it is expected all Championship equipment will be off site by August 31, 2020. An approximate schedule for dismantling is as follows (subject to change):

- RESTORATION OF COURSE:

The Club and the USGA will work together to determine the most effective course of restoration. Past practices at recent U.S. Opens have shown that allowing some time immediately following the Championship for lightly impacted areas to heal has reduced the total amount of restoration needed. Generally, through aeration and standard maintenance procedures much of the impacted areas on course will come back naturally. Additionally, the summer months are less than ideal for replanting or re-sodding areas of the property. Once into the late summer and early fall months, those areas which require restoration will be addressed when growing conditions are more optimal. Specific actions expected are as follows:

It is the intention of the USGA to leave WFGC in the same condition as it exists today, with the exception of minor tree work described above. The U.S. Open operation continues to evolve year-over-year. The restoration procedures have been a specific focus recently, and it is an area which has been significantly improved since 2006.

FEATURES

- Front 8" (203 mm) wheel with solid disc
- Inflation bolts 132,000 psi
- Drive shafts: 70-PSI
- Total bare bolt Ins.: 528,000
- Drive Ins.: 281,424
- Efficiency: 130-140V
- Coverage: (83.5 CF) 3.75, 261.91 (2.444 m³)
- One drive motor - reflexer
- Tempered glass tires
- Silicone particles for moisture and dust protection
- Friction one mounting for tool less positioning
- Inclined footpath (240°) swatches

ELECTRICAL SYSTEM

- 30 A drive breaker (designed on load condition at start up)
- Heat-treated wheels with sealed 5A (5000) amp
- Convenience interlocks with individual breakers
- (13.12V DC) 20-200 Amp (1000-10000 A) 3000 (5000)
- (10.12V DC) 30 A, 5-wire solid state (DEMA 10-300) meter
- 400A/240 VAC wet cell battery
- Wiring used and fused to emergency dead-line control

MAINT

- Wheel bearing: 10 mm (203 lbs)
- Vertical max: 23.1 ft, 5-section with ground adjustable
- Light frame
- Dual handle - manual chassis for ease of deployment - electric switch optional
- Detachable axle failure mode for common light distribution
- 150° ground resistance max with main fully extended
- Industrial class power coat finish with polymer gaskets

INCLOSURE

- Injection molded hood enclosure with UV protected colorant
- 68 (80A) 2.3 C, 7 m - prime power
- Low energy connector for ease of use
- Multi-plant operating/halfway doors
- Flame retardant with light
- Manual holder with operating manual

TRAILER

- Tuckler steel frame
- (11.300 ft), (244 kg) tube and sleeve towing locks
- 780 lbs transport and lock in position for storage
- 54k nitrogen-filled - (10.12V DC) 2000 (5000)
- 400A/240 VAC safety frame with spring loaded safety hooks
- 2x (9.500 m) ball half
- Molded polycarbonate fenders
- DOT approved LED tail, side, brake and turning lights

DETAILED ANALYSIS TRAILER CONCEPT
A 1000-10000 A 3000 (5000)

WHEEL BEARING
WHEEL
WHEEL COVER
WHEEL COVER
WHEEL COVER

TOP-TYPICAL

THE WHIPS SPACED ON $2 \pm Q_3$

1.58" O.D. TOP RAIL

CHAIN LINK TOP SELVAGE BARBED AND TWISTED

CHAIN LINK BOTTOM SELVAGE KNUCKLED

1.58" O.D. TOP RAIL

END & CORNER POST

TRUSS ROD DIA. ADJUSTABLE

TURNBUCKLE

10" MAX. SPACING

PER MANUFACTURER'S TOLERANCES

STEEL VINYL CLAD CHAIN LINK WITH BLACK VINYL PRIVACY MESH

POSTS DRIVEN INTO EXISTING GRADE

CHAIN LINK FENCE (STEEL - VINYL CLAD BLACK)

LINE POST TOP

LINE POST

LINE POST TIES ON $2 \pm Q_3$

POSTS DRIVEN INTO EXISTING GRADE

$5' (TYP.)$

ECCENTRIC POST HINGE

TYPICAL SQ. POST HINGE

TYPICAL

HEIGHT VARIES-SEE BELOW

4 FT. HIGH FOR INTERNAL SPECTATOR CORRALS

6 FT. HIGH FOR PERIMETER SECURITY

8 FT. HIGH FOR INTERNAL STAGING/SUPPORT FACILITIES

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- INSTALLATION NOTES**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE AND/OR FILTRATION LOG.

STABILIZE ENTIRE PILE WITH VEGETATION OR COVER

2
1 SLOPE OR LESS



MIN SLOPE

SILT FENCE OR FILTRATION LOG

MIN SLOPE

INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
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Town of Mamaroneck – Building Department

740 West Boston Post Road

Mamaroneck, NY 10543-3353

TEL: 914-381-7830 FAX: 914-381-8473

APPLICATION FOR TREE PERMIT

(No Hand Written Applications Accepted)

DATE: September 9, 2019

SITE ADDRESS: 851 Fenimore Road

DESCRIPTION OF WORK: The project proposes various permanent and temporary improvements for the preparation and performance of the 120th U.S. Open. Permanent improvements include widening of of one existing on-site stream crossing.
Temporary improvements include the construction of access roads and staging areas, event tents and support facilities, bleachers and grandstands. All temporary improvements will be removed upon completion of the Open and fully restored to existing conditions.

OWNER INFORMATION:

Name(s):	Winged Foot Holding Corporation c/o Colin Burns		
Mailing Address:	851 Fenimore Road		
City/State:	Mamaroneck, NY	Zip Code:	10543
Home Phone:		Cell Phone:	
Work Phone:	914-698-8400		
E-Mail:	cburns@wfgc.org		

TREE COMPANY/CONTRACTOR INFORMATION:

Company Name:	To Be Determined		
Contact Person			
Address:			
City/State:		Zip Code:	
Office Phone:		Cell Phone:	
E-Mail:			

LANDSCAPE ARCHITECT/ARCHITECT/DESIGNER/ENGINEER:

Company Name:	Kellard Sessions Consulting		
Contact Person	Joseph M. Cermele, P.E., CFM		
Address:	500 Main Street		
City/State:	Armonk, NY	Zip Code:	10504
Office Phone:	914-273-2323	Cell Phone:	
E-Mail:	jcermele@kelses.com		



Town of Mamaroneck – Building Department

740 West Boston Post Road

Mamaroneck, NY 10543-3353

TEL: 914-381-7830 FAX: 914-381-8473

DESCRIPTION OF TREES TO BE REMOVED

Tree ID #	Species	Diameter of tree in inches*	Condition of Tree (Attach Arborist's Report and photos if available)	Reason for Removal (from list below)
1	Spruce	8"	Healthy	To Be Transplanted
2	Spruce	8"	Healthy	To Be Transplanted
3	Spruce	8"	Healthy	To Be Transplanted
4	Spruce	8"	Healthy	To Be Transplanted
5	Spruce	8"	Healthy	To Be Transplanted
6	Spruce	8"	Healthy	To Be Transplanted
7	Spruce	8"	Healthy	To Be Transplanted
8	Spruce	8"	Healthy	To Be Transplanted
9	Spruce	8"	Healthy	To Be Transplanted
10	Pin Oak	24"	Healthy	F
11				
12				
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20				

Mark location of trees on the survey using the Tree ID# from above. Attach additional sheets if necessary.

*Diameter of tree is measured at 4 feet above the ground.

REASON FOR REMOVAL (insert letter in last column of table):

- A. The presence of the tree is causing a hardship, endangering the public, endangering the occupants or the property of the owner.
- B. The tree is located within 10 feet of buildings or structures.
- C. The tree is substantially interfering with a permitted use of the property, and the removal of the tree is being performed in a selective manner.
- D. The property will be cut or filled in a manner that will be injurious or dangerous to the tree and a permit for changing the grade has been approved.
- E. The tree to be removed is dead or so substantially diseased that the tree constitutes a potential danger.
- F. Tree removal is required for improved media/spectator vantage and will be replaced with a 14" Pin Oak upon completion of the event and restoration of the site.



Town of Mamaroneck – Building Department

740 West Boston Post Road

Mamaroneck, NY 10543-3353

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Attach Property Survey here. Mark locations of trees on the survey using the corresponding number from the list on page 2.



Town of Mamaroneck – Building Department

740 West Boston Post Road
Mamaroneck, NY 10543-3353
TEL: 914-381-7830 FAX: 914-381-8473

NOTICE: It is the responsibility of the owner of the property listed above in the application to close out the permit. Passing of a final inspection does not complete the process. *ONLY* the issuance of a "LETTER OF COMPLETION" closes this permit. Failure to close out the permit may be reported on a title search when you seek to sell or mortgage your property.

Applicant's Signature *Tim Lloyd* Date: 9/10/19
Tim Lloyd

Property Owner's Signature *Colin Buchs* Date: 9/10/19
Colin Buchs

OFFICE USE ONLY

DIG SAFE NUMBER REQUIRED: YES NO

DIG SAFE NUMBER: _____

PERMIT FEE: _____ RECEIPT NUMBER: _____

APPROVED NUMBER OF TREES: _____

REQUIRED NUMBER OF REPLACEMENT TREES: _____

BOND REQUIRED: YES NO

BOND AMOUNT: _____ BOND RECEIPT NUMBER: _____

90% Refund Date: _____ 10% Refund Date: _____

Date Stamp

VIA HAND DELIVERED

September 10, 2019

Planning Board
Town of Mamaroneck
740 West Boston Post Road
Mamaroneck, New York 10543

Attn: Mr. Ralph Engel,
Chair

RE: 120th U.S. Open
U.S. Golf Association
Wetland Permit Standards
Winged Foot Golf Club
Town of Mamaroneck

Dear Chair Engel:

On behalf of our client, U.S. Golf Association, we are requesting Planning Board Site Plan and Wetland Permit Approval for activities proposed on site and within locally regulated wetland/watercourses and their associated 100 foot buffer. The USGA, in concert with Winged Foot Golf Club, is proposing various permanent and temporary improvements in preparation for and performance of the 120th U.S. Open Tournament to take place on June 2020. As illustrated on the "U.S. Open Championship Operational Plan", dated last revised September 10, 2019, the proposed scope of work includes a permanent improvement to widen an existing on-site stream crossing from 8 feet to 12 feet; and temporary improvements: (1) construction of an entry loop road, (2) construction of internal access roads, (3) construction of vendor/media staging areas and (4) erection of event tents and support facilities, bleachers and grandstands. All temporary improvements will be removed upon completion of the U.S. Open and the areas fully restored to existing conditions.

The total wetland/watercourse and wetland buffer area within the project area is ±393,302 sf (±9.03 acre). The only activities proposed within this area is widening of the existing stream crossing (requiring ±250 square feet of disturbance) and installation of a portion of the composite matting surface proposed at Hole No. 3 on the East Course. It is noted that the composite matting is simply laid on existing grade with no earthwork required. It is important to note that the only regulated wetland area is, in fact, limited to the drainage channel and ponds. There are no expanded wetland areas associated with the stream and ponds or elsewhere within the project

CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE | SITE & ENVIRONMENTAL PLANNING

limits. It is also important to note that while the proposed activities to the wetland area (stream channel) are regulated by Section 114-5 of the Town Wetlands and Watercourses Law, that Section 114-6 provides the ability to classify disturbances to the wetland buffer as exempt activities due to the relative disturbance area (less than 10% of the buffer).

In response to Section 114-7, Subsection D of the Wetlands and Watercourse Law of the Town Code, we offer the following in support of your determination to grant a wetland permit for the activities described above:

1. Reports from other Commissions and Agencies

We last appeared before your Board on August 14, 2019, at which time, we were referred to the Coastal Zone Management Commission (CZMC) for placement on its September 23, 2019 meeting agenda. The plan will be presented and we anticipate that the CZMC will find that the project is consistent with the policies of the LWRP. Written confirmation of its consistency determination will be provided upon receipt. There are no additional Land Use Board approvals required. A Public Hearing by the Planning Board is scheduled for September 25, 2019.

2. Environmental Impact of the Project/Alternatives to the Proposed Action/Impact Upon Wetland Function

Widening of the existing stream crossing will require minimal disturbance to the stream channel. No realignment of the stream is proposed. All activities will be performed with appropriate/approved erosion and sediment control practices as detailed on the plan and in accordance with New York State Standards and Specifications for Erosion and Sediment Control.

The temporary staging area at Hole No. 3 East will be constructed of a composite matting system laid on existing grade. No alteration or disturbance to the existing grades or land cover is required. Upon completion, the mats are lifted out of place and the turf restored.

Considerable planning and coordination of various activities and support systems associated with the Open have been evaluated by the USGA and Winged Foot Golf Club to minimize impact to the course and resultant wetland/buffer areas. There is no feasible alternative.

3. Availability of Preferable Alternate Locations on the Subject Parcel

A reasonable alternative location for the project does not exist. The location of the stream and the historic location of the golf holes are fixed. The proposed improvements (permanent and temporary) are limited to the immediate area of the facilities required for the U.S. Open to minimize disturbances to other areas of the golf course.

Mr. Ralph Engel
September 10, 2019
Page 3

4. Availability of Further Technical Improvements or Safeguards for the Action

The stream crossing will improve accessibility. Temporary improvements within the buffer are pervious and will not result in adverse impacts from stormwater. Due to the existing grades in the affected area and the intent to maintain the historic layout of the course, no further technical improvements, other than those proposed, are practical.

5. Further Avoidance of Reduction of Wetland or Watercourse's Natural Capacity to Support Biological Life, Prevent Flooding and Control Sedimentation, Facilitate Drainage and Provide Recreation and Open Space

The purpose of the proposed project is to widen an existing stream crossing while maintaining the historic layout and flow of the existing stream.

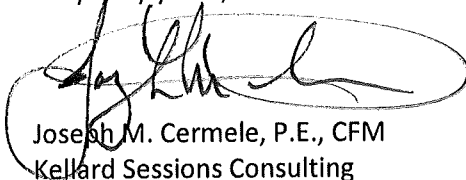
6. Extent of Public or Private Benefit Derived from the Project

Please refer to 2, 4 and 5, above.

The public/private benefit resulting from the project includes maintaining existing stream flow conditions while improving access. The U.S. Open will bring a historic and time-honored event to the Town.

Please do not hesitate to contact me if you have any questions.

Very truly yours,



Joseph M. Cermele, P.E., CFM
Kellard Sessions Consulting

JMC/pg

cc: Tim Lloyd, USGA
Colin Burns, Winged Foot Golf Club General Manager
Robert Wasp, P.E.
Elizabeth Paul, CZMC

Wetlands & Watercourses Checklist - 7/26/18

TOWN OF MAMARONECK PLANNING BOARD
WETLANDS AND WATERCOURSES PERMIT CHECKLIST

851 Fenimore Road, SBL 3-47-1..1&2

Print property address, tax block & lot

THE PURPOSE OF THIS CHECKLIST IS TO PROVIDE GUIDANCE FOR APPLICANTS AND STAFF. FOR COMPLETE AND UP-TO-DATE CODE REQUIREMENTS, REFER TO **CHAPTER 114** OF THE TOWN CODE OF THE TOWN OF MAMARONECK.

APPLICANT IS RESPONSIBLE FOR COORDINATING WITH BUILDING DEPARTMENT STAFF TO ENSURE THAT ALL DOCUMENTS AND INFORMATION REQUIRED BY CHAPTER 114 ARE TIMELY SUBMITTED. SUBMISSIONS MUST BE RECEIVED AT LEAST FORTY-FIVE (45) DAYS BEFORE THE APPLICABLE PLANNING BOARD MEETING TO OBTAIN THE BOARD'S INITIAL CONSIDERATION OF THE APPLICATION.

NO DOCUMENTS FROM APPLICANT WILL BE CONSIDERED BY THE PLANNING BOARD IF SUBMITTED LESS THAN FOURTEEN (14) DAYS PRIOR TO THE APPLICABLE PLANNING BOARD MEETING. ANY INCOMPLETE OR LATE SUBMISSION WILL NOT BE PRESENTED TO THE PLANNING BOARD.

This signed and dated checklist is to be submitted with all of the required documents, with boxes checked as to all documents which are submitted with it.

THE APPLICANT HAS SUBMITTED THE FOLLOWING¹

- ☒ 1. An application, application fee, engineering, and inspection fee in amounts set forth in the fee schedule approved by the Town Board
- ☒ 2. The name, address, email address and telephone number of the applicant and of the property owner, if different
- ☒ 3. A copy of the deed of ownership and if the applicant is not the owner, a notarized statement from the owner authorizing the applicant to proceed on behalf of the owner
A copy of the deed is on file with the Town.
- ☒ 4. The applicant has identified on the application any Town officer, employee or board member with an interest in this application
- ☒ 5. A list and copies of all other permits and/or applications which have been or must be made by the applicant in order to proceed this application
See attached response supplement.

¹ If any of the items in this checklist are not submitted herewith, please provide an explanation.

Wetlands & Watercourses Checklist - 7/26/18

- ☒ 6. Copies of any previously issued site plan approvals, special permits, variances, covenants and/or restrictions affecting the subject property, resulting from a Town and County record search The list of prior approvals, etc. is extensive and on file with the Town; none of which will affect this project.
- ☒ 7. A completed and signed environmental assessment form, unless it is a Type 2 Action under the State Environmental Quality Review Act as determined by the Town Environmental Planner
- ☒ 8. A map showing property and adjacent properties, including all improvements and streets, within a radius of 500 feet from the perimeter of the site, at a scale of not more than 50 feet to the inch, including all relevant deed restrictions or covenants Due to the size of the property, the required drawing scale could not be accommodated.
- ☒ 9. An area map at a scale of one inch equals 400 feet, on the same drawing, showing all streets and all property (with all improvements thereon) within 1,000 feet of the boundaries of the applicant's property. All property held by the applicant, in whole or in part, individually or in any manner, in the area is to be identified
- ☒ 10. A list of all property owners within a one-hundred-foot radius of the perimeter of the subject property, along with their mailing addresses The required property owner listing has been obtained from the Building Department.
- ☒ 11. A survey conducted within one year of this application, certified by a licensed surveyor, showing existing structures and features such as wetlands and watercourses, driveways, parking lots, walkways, etc., as well as the location of any easements or rights of way The nature of this project does not require a detailed survey. As such, Westchester County aerial imagery and GIS data was used.
- ☒ 12. A statement of the proposed work and purpose thereof
See attached response supplement.
- ☒ 13. A statement that the property owner and applicant will indemnify and hold the Town or its representatives harmless against any damage or injury in connection with the activities for which a permit is being sought Acknowledged.
- ☒ 14. Complete plans certified by a licensed engineer, architect, land surveyor or landscape architect, drawn to a scale no less detailed than one inch equals 20 feet showing the following: See attached response supplement for No. 14 A-M.
- ☒ A. The location and quantification of all wetlands/watercourse and wetland/watercourse buffer areas
- ☒ B. A description of the existing vegetative cover of the regulated area, including dominant species

Wetlands & Watercourses Checklist - 7/26/18

☒ C. A landscape plan showing the sizes and species of all existing and proposed trees, grasses, aquatic plants and shrubs

☒ D. A description of the on-site soil types including the location of percolation tests and deep test pits, identifying the depths to ground water and/or bedrock

☒ E. The location of the construction area or area proposed to be disturbed, and its relation to property lines, roads, buildings and watercourses within 250 feet of the proposed activity

☒ F. The exact locations, specifications and amount of all proposed draining, fill, grading, dredging and vegetation removal or displacement, and the procedures to be used to do the work

☒ G. The location of any well(s) and depth(s) thereof, and any disposal system within 100 feet of the area(s) to be disturbed

☒ H. The existing and proposed contours at two-foot intervals in the proposed disturbed area and to a distance of 50 feet beyond; and elevations of the site and adjacent lands within 200 feet of the proposed activity

☒ I. Details of any temporary or permanent drainage system proposed both for the conduct of work, and after completion thereof, including locations at any point discharges, artificial inlets, or other human-made conveyances which would discharge into the wetland or wetland buffer, and measures proposed to control erosion, both during and after work

☒ J. Where creation of a lake or pond is proposed, details of the construction of any dams, embankments, outlets or other water-control devices, and analysis of the wetland hydrologic system, including seasonal water fluctuation, inflow/outflow calculations and subsurface soil, geology and groundwater conditions

☒ K. Where creation of a detention basin is proposed, with or without excavation, details of the construction of any dams, berms, embankments, outlets or other water-control devices, and an analysis of the wetland hydrologic system, including seasonal water fluctuation, inflow/outflow calculations and subsurface soil, geology and groundwater conditions

☒ L. Details of erosion and sediment control practices, including a diagram showing what and where erosion and sediment control practices will be implemented and a schedule for their installation and maintenance and any other information as specified in

Wetlands & Watercourses Checklist - 7/26/18

Chapter 95 of the Town Code (Erosion and Sediment Control)

☒ M. Functional analysis of the wetlands and/or wetland buffer to be affected showing existing wetlands formation and impacts to those functions from the proposed activity including a written narrative addressing the factors to be considered as identified in Section 114.7.D(1)-(6) of the Town Code

TWELVE (12) COMPLETE APPLICATION PACKAGES AND ONE (1) COMPLETE ELECTRONIC COPY ARE REQUIRED TO BE SUBMITTED TO THE TOWN BUILDING DEPARTMENT WITH DOCUMENTATION ASSEMBLED IN NUMERICAL ORDER CONSISTENT WITH THIS CHECKLIST.

The undersigned applicant(s) hereby certifies/certify that all documents checked above are submitted herewith and are accurate and complete.

Tim Lloyd
United States Golf Association

Print Name of Applicant


Signature

September 10, 2019

Date

Print Name of Applicant

Signature

Date

TOWN OF MAMARONECK PLANNING BOARD
WETLANDS AND WATERCOURSES PERMIT CHECKLIST

RESPONSE SUPPLEMENT

FOR:
120TH U.S. OPEN CHAMPIONSHIP (2020)

CONDUCTED BY:
UNITED STATES GOLF ASSOCIATION
AT
WINGED FOOT GOLF CLUB
MAMARONECK, NY

The following provides supplemental responses to each of the requirements outlined in the Wetlands and Watercourses Permit Checklist:

5. A list and copies of all other permits and/or applications which have been or must be made by the applicant in order to proceed this application.
 - a. Required applications and permits required by the Town and submitted for anticipated approval of this plan include:
 - i. Site Plan Checklist
 - ii. Wetlands and Watercourses Permit Checklist
 - iii. CZMC Coastal Assessment Form
 - iv. Wetland Permit Standards
 - v. Full Environmental Assessment Form
 - vi. Surface Water and Erosion Control Permit / Stormwater Pollution Prevention Permit
 - vii. Application for Building Permit
 - viii. Tree Permit
 - b. Outside agency approvals anticipated for the Open include:
 - i. Westchester County Health Department for temporary potable water and sanitary facilities – pending.
12. A statement of the proposed work and purpose thereof.
 - a. The purpose of this project is to provide temporary and permanent improvements as needed to support the Open as illustrated on plans titled, 120th U.S. Open Championship Operational Plan, United States Golf Association, dated last revised September 10, 2019, prepared by Kellard Sessions Consulting and as described further in the Site Plan and

Operational Summary and supporting documents prepared by the USGA. The proposed scope of work includes a permanent improvement to widen an existing on-site stream crossing from 8 feet to 12 feet; and various temporary improvements: (1) construction of an entry loop road, (2) construction of internal access roads, (3) construction of vendor/media staging areas and (4) erection of event tents and support facilities, bleachers and grandstands. All temporary improvements will be removed upon completion of the U.S. Open and the areas fully restored to existing conditions.

14. Complete plans certified by a licensed engineer, architect, land surveyor or landscape architect, drawn to a scale no less detailed than one inch equals 20 feet showing the following:
 - a. The location and quantification of all wetlands/watercourse and wetland/watercourse buffer areas.
 - i. As illustrated on the improvement plans, the site includes two on-site ponds (commonly referred to as the Upper and Lower Pond). Both are locally regulated wetlands/waterbodies. The Lower Pond is also a Class C waterbody, regulated by the NYSDEC. No disturbances to the bed or banks of either pond is proposed for the Open. As such, no NYSDEC Wetland or Protection of Waters Permits are required. Any disturbances within the 100 foot wetland buffer/adjacent area are temporary in nature and involve installation of temporary staging areas, at-grade composite matting road systems or temporary tents and bleachers erected on platforms and scaffolding systems. No disturbances to existing grade are proposed.
 - ii. A locally regulated on-site watercourse traverses the northern portion of the property. As shown, any disturbances within the 100 foot wetland buffer are temporary in nature and involve installation of temporary at-grade staging areas constructed of composite matting systems or temporary tents and bleachers erected on platforms and scaffolding systems required for the Open. No disturbances to existing grade are proposed.
 - iii. Total wetland buffer area on site is ± 9 acres. Disturbances proposed within the buffer are less than 1% of this area.
 - iv. As illustrated on the improvement plans, an existing stream crossing at the 15-East hole (located at the northern portion of the site) is proposed to be widened from approximately 8 feet to 12 feet. The widening is proposed as a permanent improvement and will require removal of one of the existing stone headwalls, extension of the existing reinforced concrete pipes, construction of a new stone headwall to match existing and backfill and restoration of the existing paved cart path. The Committee will note that a similar widening was recently approved and constructed as part of the West Course Restoration project. Disturbances of ± 250 square feet will be required and erosion control measures will be implemented to protect the existing water course and surrounding area as shown and detailed on the plan.

- b. A description of the existing vegetative cover of the regulated area, including dominant species.
 - i. All wetland buffer areas are comprised of manicured lawn areas of the golf course and various wooded areas, all of which are proposed to remain.
- c. A landscape plan showing the sizes and species of all existing and proposed trees, grasses, aquatic plants and shrubs.
 - i. There is no disturbance proposed to the vegetation of any wetland or wetland buffer area as part of this project except for the minimal disturbance at the proposed stream crossing. As illustrated on the improvement plans, there are only two areas that require tree removal/replanting for the Open:
 - 1. A grouping of nine (9) spruce trees, approximately 15 feet tall, located at the entrance of the temporary 24 foot wide access road from Old White Plains Road, are to be removed and transplanted. They are proposed to be planted on-site, along the east side of the 4 East fairway, south of the Upper Pond to further screen the Turf Care Facility currently under construction. The Board may recall that these trees were planted as part of the restoration activities from the 2006 U.S. Open. Upon removal and restoration of the area of the temporary road, similar trees (approximately 8 feet tall at planting) of the same quantity will be planted in this area.
 - 2. One tree (24" Pin Oak) at the 8th hole is proposed to be removed. After the event, a 14" Pin Oak is proposed to be planted in the same general location.
- d. A description of the on-site soil types including the location of percolation tests and deep test pits, identifying the depths to ground water and/or bedrock.
 - i. Because no permanent structures or stormwater facilities are required for this project, an analysis of on-site soils and evaluation of soil characteristics for percolation, depth to groundwater and/or rock was not conducted or determined necessary by this office.
- e. The location of the construction area or area proposed to be disturbed, and its relation to property lines, roads, buildings and watercourses within 250 feet of the proposed activity.
 - i. See plans titled, U.S. Open Championship Operational Plan, United States Golf Association, dated last revised September 10, 2019, prepared by Kellard Sessions Consulting.
- f. The exact locations, specifications and amount of all proposed draining, fill, grading, dredging and vegetation removal or displacement, and the procedures to be used to do the work.

- i. No dredging or filling of any wetlands, watercourses or adjacent areas is proposed by this project. As illustrated on the improvement plans, an existing stream crossing at the 15-East hole (located at the northern portion of the site) is proposed to be widened from approximately 8 feet to 12 feet. The widening is proposed as a permanent improvement and will require removal of one of the existing stone headwalls, extension of the existing reinforced concrete pipes, construction of a new stone headwall to match existing and backfill and restoration of the existing paved cart path. The Board will note that a similar widening was recently approved and constructed as part of the West Course Restoration project. Disturbances of ± 250 square feet will be required and erosion control measures will be implemented to protect the existing water course and surrounding area as shown and detailed on the plan.
- g. The location of any well(s) and depth(s) thereof, and any disposal system within 100 feet of the area(s) to be disturbed.
 - i. There are no proposed temporary improvements that will affect the operation of any existing on-site irrigation wells. There are no on-site septic disposal areas.
- h. The existing and proposed contours at two-foot intervals in the proposed disturbed area and to a distance of 50 feet beyond; and elevations of the site and adjacent lands within 200 feet of the proposed activity.
 - i. The nature of this project does not require a detailed survey. As such, Westchester County aerial imagery and GIS data was used.
- i. Details of any temporary or permanent drainage system proposed both for the conduct of work, and after completion thereof, including locations at any point discharges, artificial inlets, or other human-made conveyances which would discharge into the wetland or wetland buffer, and measures proposed to control erosion, both during and after work.
 - i. No temporary or permanent drainage facilities are required or proposed for this project. All existing facilities will be maintained as operated as they do under current conditions.
- j. Where creation of a lake or pond is proposed, details of the construction of any dams, embankments, outlets or other water-control devices, and analysis of the wetland hydrologic system, including seasonal water fluctuation, inflow/outflow calculations and subsurface soil, geology and groundwater conditions.
 - i. No waterbodies/watercourses are proposed to be constructed.
- k. Where creation of a detention basin is proposed, with or without excavation, details of the construction of any dams, berms, embankments, outlets or other water-control devices,

and an analysis of the wetland hydrologic system, including seasonal water fluctuation, inflow/outflow calculations and subsurface soil, geology and groundwater conditions.

- i. No detention basins are proposed to be constructed.
- l. Details of erosion and sediment control practices, including a diagram showing what and where erosion and sediment control practices will be implemented and a schedule for their installation and maintenance and any other information as specified in Chapter 95 of the Town Code (Erosion and Sediment Control).
 - i. The U.S. Open Site Improvement Plans illustrate and detail temporary measures for erosion and sediment control.
- m. Functional analysis of the wetlands and/or wetland buffer to be affected showing existing wetlands formation and impacts to those functions from the proposed activity including a written narrative addressing the factors to be considered as identified in Section 114.7.D(1)-(6) of the Town Code.
 - i. Reference is made to the Wetland Permit Standards analysis submitted as part of this application.

P:\Usg200\KSC Correspondence\2019-09-10_USGA_Wetlands Checklist.docx

**NYS DEPARTMENT OF STATE
DIVISION OF COASTAL RESOURCES**

MEMORANDUM

To: Anthony Ruggiero, City Administrator, City of Beacon
Pauline DiSanto, Water Advisory Committee Chairperson, Village of Croton-on-Hudson
Ed Manley, Building Inspector, Village of Dobbs Ferry
Lisa Mance, Secretary, Waterfront Advisory Committee, Town of Esopus
Judith Curcio, Clerk, Village of Haverstraw
Suzanne Cahill, Planning Director, City of Kingston
David Barton, Building Department Director, Town of Lloyd
Elizabeth Paul, Coastal Zone Management Commission, Town of Mamaroneck/Village of Larchmont
Greg Cutler, Harbor & Coastal Zone Management Commission, Village of Mamaroneck
Elaina Diaz, Administrative Assistant, Planning Board, City of Newburgh
James Politi, Village Administrator, Village Board, Village of Nyack
Tracey Corbitt, Director of Planning and Development, Village of Ossining
Jean Friedman, Director of Planning, City of Peekskill
Nathan Mitchell, Chair of Waterfront Resiliency Commission, Village of Piermont
Regina Glennon, Office Assistant, Waterfront Commission, Village of Port Chester
Felicia Salvatore, Town Clerk, Town of Poughkeepsie
Mike Welti, Director of Planning, Planning Board, Town of Poughkeepsie
Robert McKeon, Town Supervisor, Town of Red Hook
Bob Donaldson, Conservation Advisory Board, Town of Rhinebeck
Nicholas Everett, Planning Commission Chair, City of Rye
Lisa Mayone, Village Clerk, Village of Saugerties
Anthony Giaccio, Village Administrator, Village of Sleepy Hollow
Joan Skinner, Town Clerk, Town of Stony Point
Robin Bruno, Village Clerk, Village of Tivoli

From: New York State DOS, Coastal Consistency Unit

Date: September 3, 2019

Re: Federal Aid Notification-Multiple Municipalities, Biennial Long Lines, Biennial Special Markings. The projects propose to apply epoxy and preformed pavement markings on state highways throughout Columbia, Dutchess, Orange, Putnam, Rockland, Ulster, and Westchester Counties. All work will be completely within the existing paved roadway surfaces.

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Enclosed is a copy of the application for the above-referenced project for your information and preliminary review. Please contact Rebecca Ferres, the DOS reviewer assigned to this project, at (518) 473-2470 or rebecca.ferres@dos.ny.gov to discuss applicable LWRP policies and concerns, and any additional information which may be necessary to assist you in reviewing this project. Any comments you may have will assist the Department in reaching a decision as to the consistency of the proposed action with your approved LWRP. We would appreciate hearing from you on this proposed project within 30 days. If we do not hear from you by that date, we will presume that you have no objections to the proposed project.



**Department
of State**



Department of Transportation

ANDREW M. CUOMO
Governor

MARIE THERESE DOMINGUEZ
Commissioner

LANCE MacMILLAN, P.E.
Regional Director

August 29, 2019

Matthew Maraglio
Supervisor, Consistency Review Unit
Division of Coastal Resources
New York State Department of State
99 Washington Avenue, Suite 1010
Albany, NY 12231-0001

**RE: PIN 8813.88 BIENNIAL LONG LINES
PIN 8813.90 BIENNIAL SPECIAL MARKINGS
MULTIPLE MUNICIPALITIES
COLUMBIA DUTCHESS, ORANGE, PUTNAM
ROCKLAND, ULSTER, AND WESTCHESTER
COUNTIES**

Dear Mr. Maraglio:

The New York State Department of Transportation (NYSDOT) is progressing two federally-funded projects located within the designated New York State Coastal Zone Management Area and numerous Local Waterfront Revitalization Program areas. This letter serves as Federal Aid Notification.

The projects propose to apply epoxy and preformed pavement markings on state highways throughout Columbia, Dutchess, Orange, Putnam, Rockland, Ulster, and Westchester Counties. All work will be completely within the existing paved roadway surfaces. The project will comply with the policies of the Coastal Zone Management Area program and Local Waterfront Revitalization Program areas.

The projects are NEPA Class II action and qualify as Type II actions in accordance with the Department's implementing regulations of SEQR (17 NYCRR Part 15).

NYSDOT respectfully requests the Department of State indicate if the projects meet the general consistency concurrence criteria.

If you have any questions, please contact me at Kathleen.Wolfanger@dot.ny.gov or (845) 431-2317.

Sincerely,

A handwritten signature in black ink that reads "KWolfanger".

Kathleen Wolfanger
Regional Environmental Contact

ecc: J. El-Turk, Area Construction Supervisor, NYSDOT Region 8