



**TOWN OF MAMARONECK - VILLAGE OF LARCHMONT  
COASTAL ZONE MANAGEMENT COMMISSION**

**Monday, June 22, 2020  
ZOOM/LMCTV**

**Approval of Minutes**

1. Approval of Minutes - February 24, 2020

**Agenda Items**

1. In Memoriam - Howard McMichael who served on CZMC from 1986-2018
2. Acura of Westchester, 2155 Palmer Avenue - Site Plan and Special Use
3. 8 Hawthorne Road - Residential Site Plan
4. 16 Greystone Road - Residential Site Plan
5. 32 Colonial Ave - Residential Site Plan

**Old Business**

**New Business**

**Meeting Adjournment**

Any physically handicapped person needing special assistance in order to attend the meeting should call the Town Administrator's office at 381-7810.

DRAWING LIST	
ARCHITECTURAL DRAWINGS	
COVER SHEET	A.001
AREA MAP	A.002
PROPOSED SITE PLAN	A.003
LANDSCAPE AND LIGHTING PLAN	A.004
PROPOSED ELEVATION ALONG PALMER AVENUE	A.005

PREVIOUS SITE PLAN APPROVALS

- EARLIEST SITE PLAN APPROVAL DOCUMENTED WAS DATED OCTOBER 10TH 1985. SUBMITTED BY LAWRENCE GORDAN ARCHITECTS.
- SUBSEQUENT SITE PLAN APPROVAL WAS DATED AUGUST 14TH 2003. SUBMITTED BY LAWRENCE GORDAN ARCHITECTS.
- SUBSEQUENT SITE PLAN APPROVAL WAS DATED 2012.
- MOST RECENT SITE PLAN APPROVAL WAS DATED FEBRUARY 28TH 2015. SUBMITTED BY JOHN J. ANNUNZIATA P.E.

ACURA OF WESTCHESTER  
2155 PALMER AVENUE  
NEW ROCHELLE, NY, 10801

RENEW SPECIAL PERMIT USE

Proposed Hours of Operation:  
Monday thru Thursday: 9AM - 9PM  
Friday: 9AM - 7PM  
Saturday: 9AM - 6PM  
Sunday: 11:30AM - 5PM

ADDRESS: 2155 PALMER AVENUE  
NEW ROCHELLE, N.Y., 10801  
ZONE: B-R BLOCK: 1  
SECTION: 5 LOT: 1

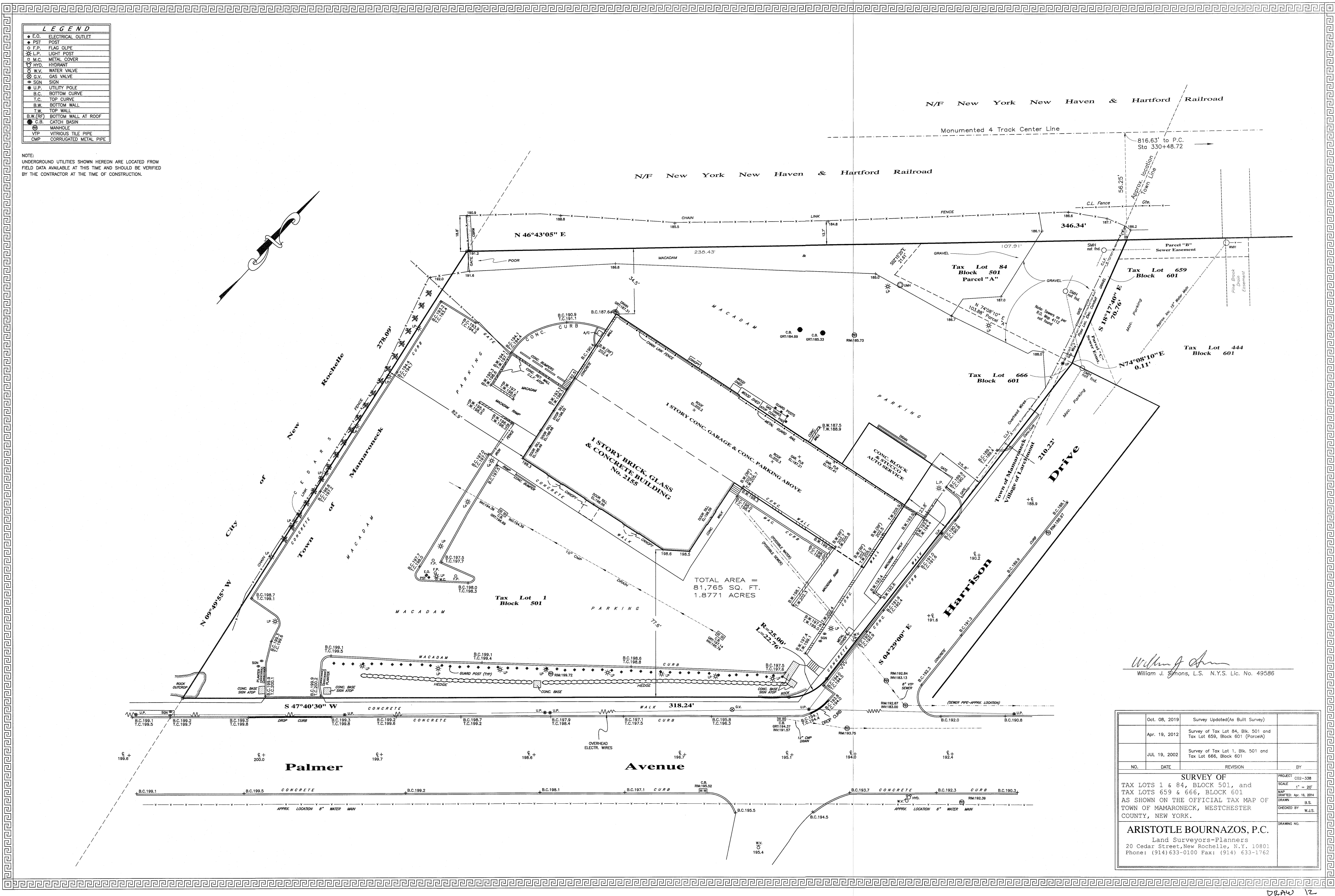
ZONING ANALYSIS

ZONING DATA	SCHEDULE OF REQUIREMENTS				
	BUILDING HEIGHT	MIN. LOT SIZE	WIDTH	BUILDING COVERAGE	FAR
ZONE: B-R	FEET	AREA (MIN.)	FEET	%	RATIO
REQUIRED	2 / 30'	-----	150'	25%	50%
EXISTING	2 / 23'	-----	318.24'	16%	13%
PROPOSED	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE
	MINIMUM YARD DIMENSIONS (FT.)				
	MINIMUM FRONT SETBACK (DEPTH)	SIDE YARD (WIDTH OF LESSER)	SIDE YARD (COMBINED)	MINIMUM REAR YARD (DEPTH)	
REQUIRED	-----	10.0' (RES. NEIGH.)	-----	20.0' (RES. NEIGH.)	
EXISTING	76.75'	20.2'	103.1'	34.5'	
PROPOSED	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	

AERIAL MAP



LOCATION



A  
A-001  
AS-BUILT SURVEY

Design Professional:  
JOHN J. ANNUNZIATA P.E.  
24 Chesley Rd.,  
White Plains, NY 10605  
P 914-949-0270  
jmvarch@gmail.com

PROJECT  
ACURA OF WESTCHESTER  
DEALERSHIP  
2155 PALMER AVENUE  
NEW ROCHELLE, NY, 10801  
SPECIAL PERMIT

NO.	ISSUE	DATE
1.	ISSUED FOR PLANNING	5/21/19
2.	REVISION	10/29/19
3.	REVISION	12/26/19
4.	REVISION	1/26/20
5.	REVISION	2/25/20
6.	REVISION	
7.	REVISION	
8.		
9.		
10.		
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SCALE: AS NOTED	DATE: 2/25/20	PROJECT NO.:
DRAWN BY: JV	CHECKED BY:	APPROVED BY:
DRAWING TITLE: COVER SHEET		

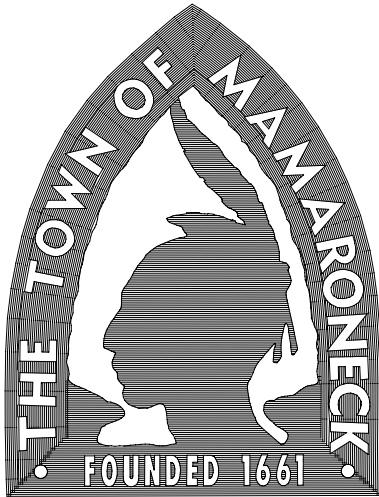
DRAWING NO:  
A.001



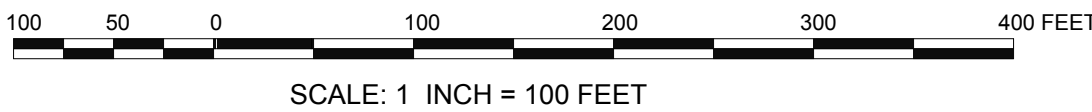
ACUR OF WESTCHESTER  
2155 PALMER AVENUE



PLANIMETRIC AND  
TOPOGRAPHIC MAP OF  
**THE TOWN OF MAMARONECK**  
NEW YORK

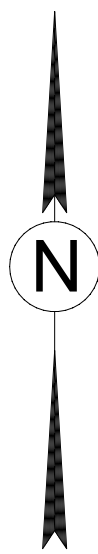


LEGEND		
ROAD CENTERLINE	WATER TREATMENT PLANT	WATER VALVE
COUNTY BOUNDARY LINE	RAILROAD	ANTENNAE
CITY LIMIT LINE	ABANDONED RAILROAD	MISC. OBJECT
EDGE OF PAVEMENT	CONCRETE DITCH	DROP INLET
PAVED PARKING	BUILDING RESIDENTIAL	CATCH BASIN
BACK OF CURB	BUILDING UIC	MANHOLE
UNPAVED ROAD	BUILDING COMMERCIAL	STORM SEWER MANHOLE
ROAD UIC	GREENHOUSE	SANITARY SEWER MANHOLE
PAVED PARKING	LOADING DOCK	FIRE HYDRANT
UNPAVED PARKING	SUBSTATION	U.S. ROAD SHIELD
TRAIL	RUINS	INTERSTATE SHIELD
DRIVEWAY	CANOPY	NC STATE ROAD
AIRPORT RUNWAY	MOBILE HOME	SWAMP
BRIDGE	TRANSFORMER BANK	SPOT ELEVATION
FOOTBRIDGE	PUBLIC POOL	SPOT DTM
BILLBOARD	GAS STORAGE TANK	W.E.
ELEVATED PLATFORM	WATER TANK	MONUMENT CONTROL
DRIVEWAY OPENING	CHEMICAL TANK	MONUMENT CONTROL
RETAINING WALL	SLO	HORIZONTAL CONTROL
WALL	TRANSMISSION TOWER	VERTICAL CONTROL
PARK	RADIO TOWER	HORIZ/VERT CONTROL
GOLF COURSE	PIPELINE	
CONCRETE PAD	STREAM CENTERLINE	
TENNIS COURT	RIVER	
BASKETBALL COURT	LAKESHORE	
BALLFIELD	RESERVOIR	
TRACK	INDUSTRIAL LAKE	
BLEACHERS	CONCRETE DAM	
FENCE	DOCKPIER	
GUARDRAIL	EARTHEN DAM	
LANDFILL	WETLAND OUTLINE	
CEMETERY	SPILLWAY	
JUNKYARD	CULVERT	
QUARRY	TREELINE	
AREA UIC	ORCHARD	
OUTCROP	INDEX CONTOUR	
TRANSMISSION LINE	INTERMEDIATE CONTOUR	
GAS STORAGE FACILITY	? INDEX	
SEWER TREATMENT PLANT	? INTERMEDIATE	
SEWER PUMP STATION		



MAPS PRODUCED BY  
**Westinghouse Landmark GIS**  
A DIVISION OF WESTINGHOUSE ELECTRONIC SYSTEMS GROUP

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PROSECUTED TO THE FULLEST EXTENT OF THE LAW.



	A10	B10
	A11	B11
	A12	B12

Design Professional:  
**JOHN J. ANNUNZIATA P.E.**  
24 Chesley Rd.,  
White Plains, NY 10605  
P 914-949-0270  
jmvarch@gmail.com

Civil Engineer:  
**Hudson Engineering**  
45 Knollwood Road  
Elmsford, NY 10523  
914-909-0420

Design Consultant:  
**Jonathan Villani & Assoc. Inc.**  
435 Sherman Avenue  
Hawthorne, N.Y., 10532  
914-575-1071/jmvarch@gmail.com

PROJECT  
**ACURA OF WESTCHESTER  
DEALERSHIP  
2155 PALMER AVENUE  
NEW ROCHELLE, NY, 10801  
SPECIAL PERMIT**

NO.	ISSUE	DATE
1.	ISSUED FOR PLANNING	5/21/19
2.	REVISION	10/29/19
3.	REVISION	12/26/19
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6.	REVISION	
7.	REVISION	
8.		
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SCALE: AS NOTED	DATE: 2/25/20	PROJECT NO.:
DRAWN BY: JV	CHECKED BY:	APPROVED BY:

DRAWING TITLE:  
**AREA MAP**

DRAWING NO.:  
**A.002**



PREVIOUS SITE PLAN APPROVALS

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- MOST RECENT SITE PLAN APPROVAL WAS DATED FEBRUARY 28TH 2015. SUBMITTED BY JOHN J. ANNUNZIATA P.E.

PARKING CRITERIA AS DICTATED BY THE PLANNING BOARD FOR EXISTING OFFICE, RETAIL, SERVICE AREA AND STORAGE USES. CRITERIA BASED ON SURVEY OF SITE AND INFORMATION ACQUIRED FROM ACURA.

**PARKING - ZONE B-R**  
**SECTION 240-78**  
**EMPLOYEE PARKING**  
EMPLOYEE HEAD COUNT BASED ON INFORMATION OBTAINED FROM ACURA OF WESTCHESTER: 48 ON SITE EMPLOYEES DURING ONE SHIFT FROM 7:30AM TO 4:00PM. THERE ARE 37 EMPLOYEES DURING THE NIGHT SHIFT FROM 4:00PM TO 9:00PM.

48 PARKING SPACES REQUIRED FOR EMPLOYEES AS REQUESTED BY THE PLANNING BOARD FOR THE TOWN OF MAMARONECK.

109 PARKING SPACES PROVIDED WITHOUT DISPLAY PARKING THAT EXISTS ALONG PALMER AVENUE

70 PARKING SPACES WILL REMAIN FOR SERVICE VEHICLES, CUSTOMERS AND NEW OR PRE-OWNED VEHICLES FOR PURCHASE.

Minimum Number of Accessible Parking Spaces. Required when 101 to 150 parking spaces are provided is 5.  
**PROVIDED: 5**

PARKING AREA TO BE USED FOR EMPLOYEES ONLY. MARKINGS ON PAVEMENT TO DELINEATE EMPLOYEE PARKING IN THIS AREA

TRAFFIC FLOW FROM CUSTOMERS WILL CONTINUE TO COME FROM HARRISON DRIVE AND PALMER AVENUE THROUGH THE SITE.

PAVEMENT MARKING TO BE USED IN LIEU OF SIGNS FOR CUSTOMER PARKING AREA AT FRONT OF BUILDING.

EXISTING FLAG POLES WILL NOT DISPLAY AN ACURA LOGO. EXISTING FLAGS WILL BE REPLACED WITH STATE AND COUNTY FLAGS AS STATED IN RESOLUTION ISSUED ON .....

Tax Lot 1  
Block 501  
**Parcel "A & B"**  
+/-86,316 SQ. FT.

**DISPLAY PARKING**

EXISTING ILLUMINATED ENTRANCE AND EXIT SIGNS ARE LARGER THEN PREVIOUSLY APPROVED AS PART OF THE APPROVED SITE PLAN AND RESOLUTIONS ISSUED IN 1985. ACURA OF WESTCHESTER HAS APPLIED FOR VARIANCES AND APPROVAL FROM ARCHITECTURAL REVIEW BOARD

TRANSPORT TRAILORS FOR CAR DELIVERIES SHALL NOT LOAD OR UNLOAD ON PALMER AVENUE. LOADING AND UNLOADING WILL TAKE PLACE AT AN ALTERNATIVE LOCATION.

TRANSPORT TRAILORS FOR CAR DELIVERIES SHALL NOT LOAD OR UNLOAD ON SITE. LOADING AND UNLOADING WILL TAKE PLACE AT AN ALTERNATIVE LOCATION.

NO EMPLOYEE PARKING PERMITTED ON OPPOSITE SIDE OF PALMER AVENUE IN FRONT OF SUBJECT PROPERTY.

DISPLAY PARKING IS 15'-0" AWAY FROM THE EXISTING PROPERTY LINE AT THE CLOSEST POINT ALONG PALMER AVENUE

SERVICE PARKING WILL BE USED FOR NEW VEHICLE AND PRE-OWNED VEHICLE STORAGE AS WELL AS PARKING FOR SERVICE VEHICLES. ACURA MAINTAINS TANDEM PARKING IN THIS AREA WITH THE USE OF VALET.

ADDITIONAL VEHICLE STORAGE AT ROOFTOP PARKING DECK. PARKING AREA NOT INCLUDED IN PARKING CRITERIA. APPROXIMATELY 22 SPACES

G.C. SHALL INSTALL "NO PARKING" STANDING SIGNS AT ALL HC ACCESS AISLE ADJACENT TO HC PARKING. HC PARKING ACCESS AISLE SHALL HAVE A MINIMUM WIDTH OF 8'-0"

G.C. SHALL INSTALL STANDING ADA SIGN TO IDENTIFY ADA PARKING SPACES TYP.

NEW HANDICAP RAMP TO BE FORMED AT FRONT WALKWAY TO ALLOW FOR ACCESSIBILITY SIDE ENTRY OF BUILDING

TRANSPORT TRAILORS FOR CAR DELIVERIES SHALL NOT LOAD OR UNLOAD ON HARRISON DRIVE. LOADING AND UNLOADING WILL TAKE PLACE AT AN ALTERNATIVE LOCATION.

ANY TEST DRIVES FOR NEW OR PRE-OWNED VEHICLES WILL NOT BE ALLOWED SOUTH OF PALMER AVENUE.

PARKING CRITERIA AS ILLUSTRATED IN THE LOCAL ZONING ORDINANCE FOR THE TOWN OF MAMARONECK. PARKING CRITERIA BASED ON USE AND SQUARE FOOTAGE.

**EXISTING PARKING - ZONE B-R**  
**SECTION 240-78**  
**OFFICE AREA:**  
1 PER 300 SF OF FLR. AREA: 1,054/300 = 3.5 OR 4  
1 PER 300 SF OF FLR. AREA: 1,921/300 = 6.4 OR 7

**RETAIL OR SERVICE BUSINESS**  
1 PER 200 SF OF FLR. AREA: 2,445/200 = 12.23 OR 13

**STORAGE:**  
1 PER 2,000 SF OF FLR. AREA: 4,904/2,000 = 2.45 OR 3

**SERVICE AREA:**  
1 PER EMPLOYEE: 5,513 SF WITH 15 SERVICE BAYS = 15 SPACES

4 + 7 + 13 + 15 + 3 = 42 SPACES  
**42 PARKING SPACES REQ.**  
**109 PARKING SPACES PROVIDED WITHOUT DISPLAY PARKING THAT EXISTS ALONG PALMER AVENUE**  
EXISTING PARKING LAYOUT COMPLIES WITH OFF-STREET PARKING REQUIREMENTS AS STATED IN SECTION 240-78

Minimum Number of Accessible Parking Spaces. Required when 101 to 150 parking spaces are provided is 5.  
**PROVIDED: 5**

Design Professional:  
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24 Chesley Rd.,  
White Plains, NY 10605  
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7.		
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SCALE: AS NOTED	DATE: 2/25/20	PROJECT NO.:
DRAWN BY: JV	CHECKED BY:	APPROVED BY:

DRAWING TITLE:  
**PROPOSED SITE  
PLAN**

DRAWING NO.:  
**A.003**




A  
A-003

PROPOSED SITE PLAN

SCALE: 1/16" = 1' - 0"

**AMENDED**



PLANT SCHEDULE TABLE				
	SYMBOL	QUANTITY	TREES	SIZE
			BOTANICAL NAME/ COMMON NAME	
	BS	37	BUXUS SINICA/ WINTER GEM	30"x30"
	WB	31	INKBERRY HOLLY	12"
	AZ	25	AZALEA	12"
	HY	25	HYDRANGEA	



INKBERRY HOLLY

EXISTING LIGHT POSTS TO REMAIN UNCHANGED THROUGHOUT THE SITE. LIGHTING LAYOUT TO BE APPROVED AS EXISTING.

CITY OF NEW ROCHELLE  
EXIST. CHAIN LINK CEDARS FENCE

N 09°49'55" W  
278.09'

Tax Lot 1  
Block 501  
Parcel "A & B"  
+/-86,316 SQ. FT.

PLANTER  
PANTHER

S 47°40'30" W  
318.24'

EXISTING LIGHT POSTS TO REMAIN UNCHANGED THROUGHOUT THE SITE. LIGHTING LAYOUT TO BE APPROVED AS EXISTING.

PALMER AVENUE

ANNUALS TO BE PLANTED IN LAWN AREAS ALONG PALMER AVENUE

APPRX. LOCATION 8" WATER MAIN

A  
A-004

PROPOSED LANDSCAPE AND LIGHTING PLAN  
SCALE: 1/16" = 1' - 0"

N/F NEW YORK NEW HAVEN & HARTFORD RAILROAD  
N 46°43'05" E  
346.34'

CHAIN LINK FENCE

346.34'

TOWN OF MAMARONECK  
VILLAGE OF LARCHMONT  
S 18°17'40" E  
20.26'

OVERHEAD ELECTR. WIRES

HARRISON DRIVE

S 04°29'00" E  
210.22'

HYDRANGEA



AZALEA



BUXUS SINICA VAR. INSULARIS/  
WINTER GEM BOXWOODS

Design Professional:  
JOHN J. ANNUNZIATA P.E.  
24 Chesley Rd.,  
White Plains, NY 10605  
P 914-949-0270  
jmvarch@gmail.com

PROJECT  
ACURA OF WESTCHESTER  
DEALERSHIP  
2155 PALMER AVENUE  
NEW ROCHELLE, NY, 10801  
SPECIAL PERMIT

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6.	REVISION	2/25/20
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8.		
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SCALE: AS NOTED  
DRAWN BY: JV

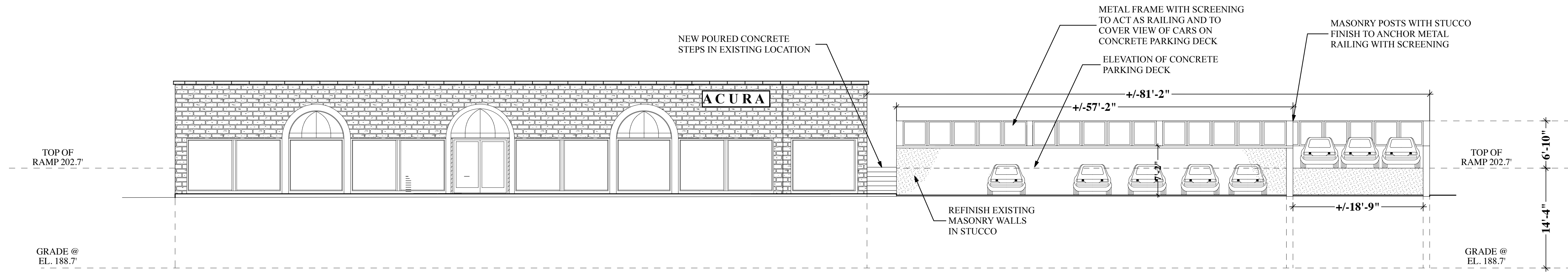
DATE: 2/25/20  
CHECKED BY:

PROJECT NO.:  
APPROVED BY:

DRAWING TITLE:  
PROPOSED LANDSCAPE  
AND LIGHTING PLAN

DRAWING NO.:  
A.004

Design Professional:  
JOHN J. ANNUNZIATA P.E.  
24 Chesley Rd.,  
White Plains, NY 10605  
P 914-949-0270  
jmvarch@gmail.com




A  
A-005

## PROPOSED FRONT ELEVATIONS ALONG PALMER AVENUE

SCALE: 1/8" = 1' - 0"

PROJECT  
ACURA OF WESTCHESTER  
DEALERSHIP  
2155 PALMER AVENUE  
NEW ROCHELLE, NY, 10801  
SPECIAL PERMIT

NO.	ISSUE	DATE
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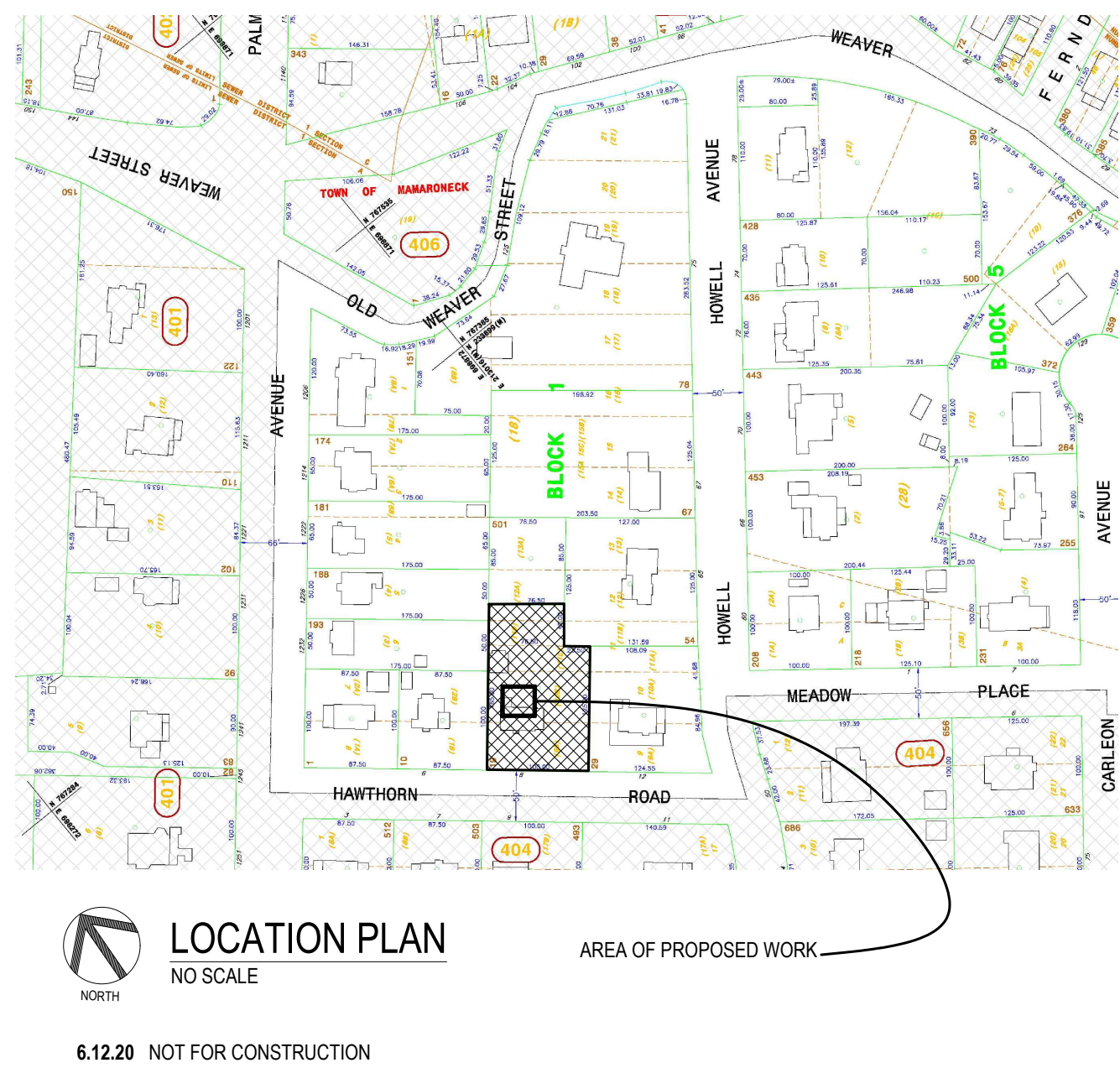


SCALE: AS NOTED  
DATE: 2/25/20  
PROJECT NO.:  
DRAWN BY: JV  
CHECKED BY:  
APPROVED BY:  
DRAWING TITLE:  
PROPOSED ELEVATION  
DRAWING NO:  
A.005



THE KEATING RESIDENCE

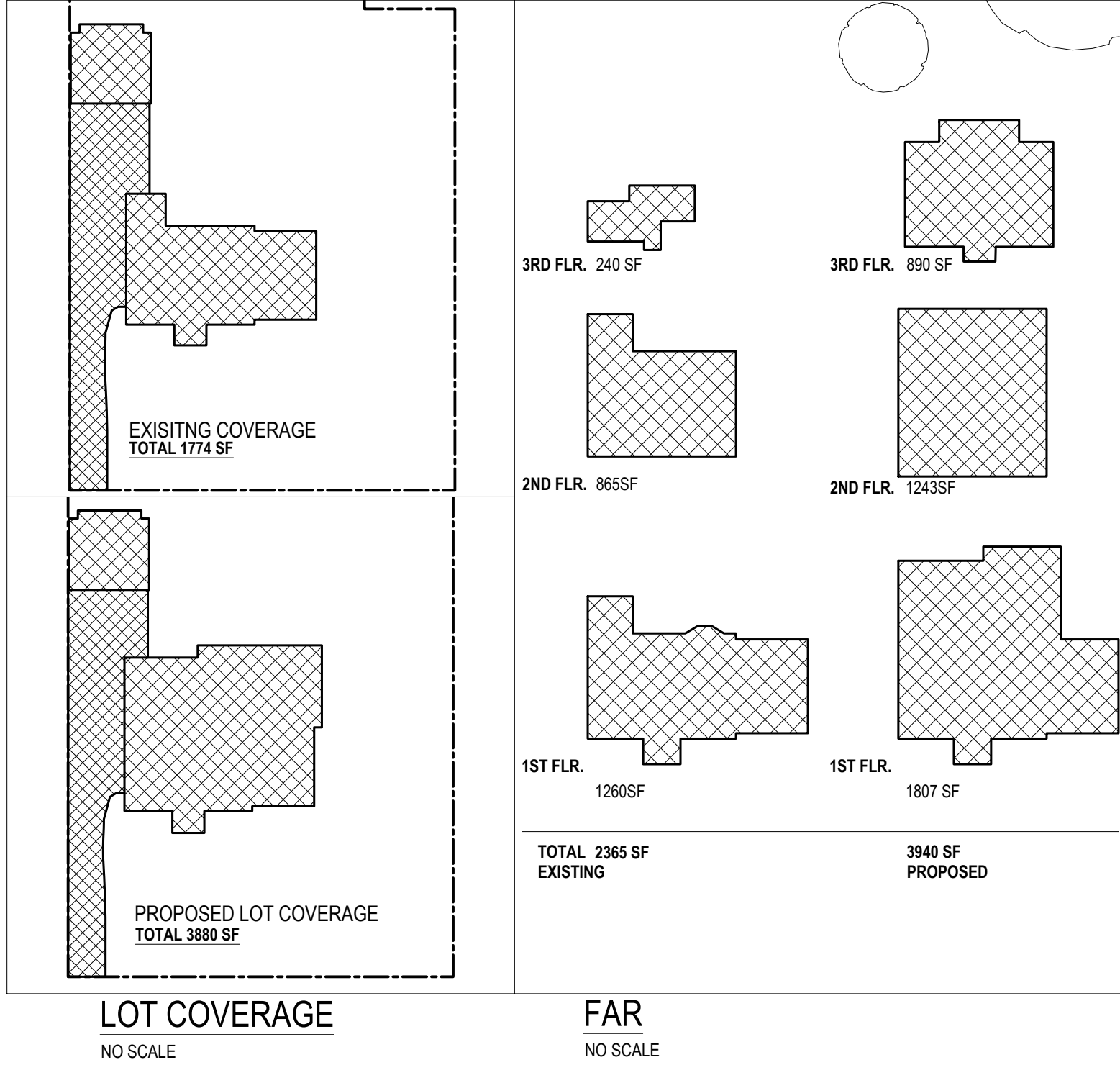
8 HAWTHORNE ROAD LARCHMONT NEW YORK



RESIDENTIAL SITE PLAN CHECKLIST

STATUS/REFERENCE	ITEMS
PENDING (after PEER/CZM review)	<p>This <b>signed and dated</b> checklist is to be submitted with <b>all</b> of the required documents, with boxes checked as to all documents which are submitted with it.</p> <p>THE APPLICANT HAS SUBMITTED THE FOLLOWING<sup>1</sup>:</p> <div><input type="checkbox"/> 1. An application, application fee, engineering and/or inspection fee in amounts set forth in the fee schedule approved by the Town Board</div> <div><input checked="" type="checkbox"/> 2. The name, address, email address and telephone number of the applicant and of the property owner, if different</div> <div><input checked="" type="checkbox"/> 3. A copy of the deed of ownership and, if the applicant is not the record owner, a notarized statement from the owner authorizing the applicant to proceed on behalf of the owner</div> <div>NA<div><input type="checkbox"/> 4. A list showing any Town officer, employee or board member with an interest in this application</div></div> <div><input checked="" type="checkbox"/> 5. A summarized list of all other permits and/or applications which have been or must be made by the applicant in order to proceed with this application</div> <div><input checked="" type="checkbox"/> 6. Copies of all previously issued site plan approvals, special permits, variances, covenants and/or restrictions affecting the subject property, to be obtained by the applicant from a Town and County record search</div>
PENDING (TOM)	<div><input type="checkbox"/> 7. Letters or permits from other agencies having jurisdiction containing comments on the proposed site plan</div>
NA	<div><input type="checkbox"/> 8. If the site plan indicates that the total proposed action will not be constructed at the same time, a supplementary plan indicating what portions of the proposed action will be constructed in the future</div>
PENDING (TOM)	<div><input type="checkbox"/> 9. A list of all property owners within a three-hundred-foot radius of the perimeter of the parcel, along with their mailing addresses</div>
PENDING (TOM)	<div><input type="checkbox"/> 10. Certification from the Town of Mamaronock Building Inspector or Director of Building Code Enforcement that the proposed site plan meets all of the requirements of Chapter 240 (Zoning) of the Town Code or, if not, the variances and/or special permits that are required</div>
A-1	<div><input checked="" type="checkbox"/> 11. A residential site plan prepared in consultation with the Town Building Department staff and consultants as described in Section 178-7 of the Residential Site Plan Regulations, showing (among other things) the arrangement, layout, grading, landscaping and design of the proposal. The site plan shall be a detailed development plan prepared by a NYS licensed architect or a NYS licensed professional engineer, under professional seal, drawn upon a certified survey of the parcel prepared by a licensed surveyor. (See also Sections 178-3 and 178-8, respectively, for the definition of "site plan" and for additional required contents of the application). The site plan shall include at least the following information:</div>
A-1	<div><input checked="" type="checkbox"/> (i) all existing improvements and streets, and the location of any zoning district lines</div>
A-1	<div><input checked="" type="checkbox"/> (ii) the length, width, height, location and area of the footprint of the existing buildings and structures on the parcel that are designated for demolition or removal or have already been demolished or removed</div>
A-1	<div><input checked="" type="checkbox"/> (iii) the length, width, height, location, design and area of the footprint of the existing buildings and structures on the parcel that are not designated for demolition or removal</div>
A-1	<div><input checked="" type="checkbox"/> (iv) the length, width, location and area of the footprint of the existing improved surfaces on the parcel</div>
A-1	<div><input checked="" type="checkbox"/> (v) the length, width, height, location, design and area of the footprint of the buildings and structures proposed for the parcel</div>
A-1, C-1 & C2	<div><input checked="" type="checkbox"/> (vi) the location of all existing and proposed parking areas, driveways, terraces, patios, walkways and other impervious areas</div>
NA	<div><input type="checkbox"/> (vii) any proposed division of any building into units for separate occupancy</div>
A-1, A-21	<div><input checked="" type="checkbox"/> (viii) the topography and distances between existing buildings, other structures and other improved surfaces that presently exist on the parcel and on all adjacent properties and properties across the street</div>
A-1, A-21	<div><input checked="" type="checkbox"/> (ix) the topography and distances between the buildings, other structures and other improved surfaces on the parcel and on all adjacent properties and properties across the street that are to exist after all construction and regrading is complete</div>
A-1, A-21	<div><input checked="" type="checkbox"/> (x) a topographical map showing (a) both the existing topography and the proposed final grade elevations at intervals of two feet or less, and the existing grade on properties that abut the parcel for a distance of ten feet from each of the parcel's lot lines, and (b) detailed information on the methods proposed to be used to retain, stabilize and/or refurbish regraded areas</div>
NA	<div><input type="checkbox"/> (xi) the location of all existing watercourses, intermittent streams, wetland areas, rock outcrops, wooded areas and other significant existing features that lie within the perimeter of the site plan</div>
A-1, C-1	<div><input checked="" type="checkbox"/> (xii) the location and description of all existing and proposed site improvements, including, but not limited to, water pipes, gas lines, electric lines, drainage pipes, drains, culverts, ditches, bridges and other drainage works, retaining walls and medians, dividers, fences, utilities, septic systems, lighting, generators, central air conditioning equipment, solar systems, and mechanical equipment for swimming pools<sup>2</sup></div>
C-1	<div><input checked="" type="checkbox"/> (xiii) the location of all existing and proposed easements (see Item #6)</div>
A-20	<div><input checked="" type="checkbox"/> (xiv) identification and location of all trees exceeding six (6) inches in diameter at a height four (4) feet above the ground to be removed (including the necessity for doing so) or protected during construction (with a detail of tree protection measures), including any applicable arborist reports, to fully comply with Town Code Chapter 207</div>
A-20	<div><input checked="" type="checkbox"/> (xv) a complete landscaping plan showing the species, size and location of all landscaping and buffer areas and proposed replacement trees and bushes</div>
C-1, C-2 + NARRATIVE	<div><input checked="" type="checkbox"/> (xvi) all required engineering calculations, analysis and design, to fully comply with Town Code Chapter 95</div>
NA	<div><input type="checkbox"/> (xvii) Identification of means of rock removal (i.e. blasting or mechanical), if any, and an engineering analysis and estimates of quantities for rock removal, to fully comply with Town Code Chapter 106</div>
NA	<div><input type="checkbox"/> (xviii) location of any wetlands disturbances and restoration details, to fully comply with Town Code Chapter 114</div>
8.5" x 11" (separate doc.)	<div><input checked="" type="checkbox"/> (xix) the location(s) where materials and equipment, including portable sanitary facilities, will be kept</div> <div><input checked="" type="checkbox"/> (xx) a separate area map and photo realistic rendering(s) of (a) the parcel, (b) the properties that abut the parcel, (c) the properties immediately across the street from the parcel and (d) the streets that the parcel abuts. (See also Section 178-3 for the definition of "map")</div>
<div><div>The undersigned applicant(s) hereby certifies/certify that all documents checked above are submitted herewith and are accurate and complete.</div><div><div>RICK YESTADT AIA</div><div>Print Name of Applicant</div></div><div><div></div><div>Signature</div></div><div><div></div><div>Date</div></div></div>	





ZONING CLASSIFICATION - TOWN OF MAMARONECK				
R - 15 ONE FAMILY RESIDENCE DISTRICT				
	REQMNTS	EXISTING	PROPOSED	VARIANCE
MIN. LOT AREA	15,000 SF	15,560 SF	NO CHANGE	NO
MIN. LOT WIDTH	100'	100'	NO CHANGE	NO
MIN. LOT DEPTH	100'	165'	NO CHANGE	NO
MIN. FRONT YARD	40'	STEPS - 33.3' VESTIBULE - 37.3'	STEPS - 33.3' PORCH COL. - 34.25'	YES
MIN. SIDE YARD EACH	10'	14.5'	HOUSE - 14.5' STAIRPLTFRM - 11.1'	NO
MIN. OF TWO SIDE YARDS (total)	(10' + 30') 30'	(14.5' + 36.1') 50.6	(11.1' + 36.1') 47.2	NO
MIN. REAR YARD	25'	DECK - 80.75' HOUSE - 88.0'	DECK - 67.5' HOUSE - 77.5'	NO
MAX. HEIGHT (MID PT.)	2 1/2 STY OR 35'	29'	29.66'	NO
LOT COVERAGE	35.0% 5,250 SF	38.3% 5,774 SF	38.3% 3,880 SF	NO
MAX FAR	35.0% 5110 SF	35.0% 5115 SF	3940 SF	NO
AVERAGE GRADE			ELEV. 94.54'	

**BASEMENT**  
THAT PORTION OF A BUILDING WHOLLY OR PARTLY UNDERGROUND AND EXTENDING NO MORE THAN FIVE (5') FEET ABOVE THE FINISHED GRADE.

**STORY**  
That portion of a building included between the surface of any floor and the surface of the floor next above it or, if there be no floor above it, then the space between the floor and the ceiling next above it. A basement shall be counted as a "story" if the ceiling is more than five feet above the level from which the height of the building is measured or if it is used for business purposes or for dwelling purposes by other than a janitor or watchman and his family.

**STORY, HALF**  
A story with at least two opposite exterior sides meeting a sloping roof not more than two feet above the floor of such story.

**FLOOR AREA RATIO - 1 OR 2 FAMILY DWELLING**  
THE RATIO OF THE AGGREGATE FLOOR AREA OF ALL OF THE BUILDINGS ON A LOT TO THE AREA OF THE LOT ON WHICH THE BUILDINGS ARE LOCATED. NOTWITHSTANDING THE PRECEDING SENTENCE THE FOLLOWING SHALL BE EXCLUDED FROM THE CALCULATION OF FLOOR AREA:

(1) THE AGGREGATE FLOOR AREA OF ANY BASEMENT AREA, REGARDLESS OF ITS USE; AND

(2) THE AGGREGATE FLOOR AREA OF THE PORTION OF A FLOOR LYING UNDER A ROOF WHERE THE DISTANCE BETWEEN THAT PORTION OF THE FLOOR AND THE CEILING ABOVE IT IS FIVE FEET OR LESS

**HEIGHT OF BUILDING OR STRUCTURE**  
THE VERTICAL DISTANCE TO THE LEVEL OF THE HIGHEST POINT OF THE ROOF'S SURFACE. IF THE ROOF IS FLAT OR INCLINES NOT MORE THAN ONE INCH VERTICAL TO ONE FOOT HORIZONTAL, OR TO THE MEAN POINT BETWEEN THE EAVES AND THE HIGHEST POINT OF THE ROOF, IF OF ANY OTHER TYPE, OR TO THE HIGHEST POINT OF THE STRUCTURE, IF IT HAS NO ROOF, MEASURED AS FOLLOWS:

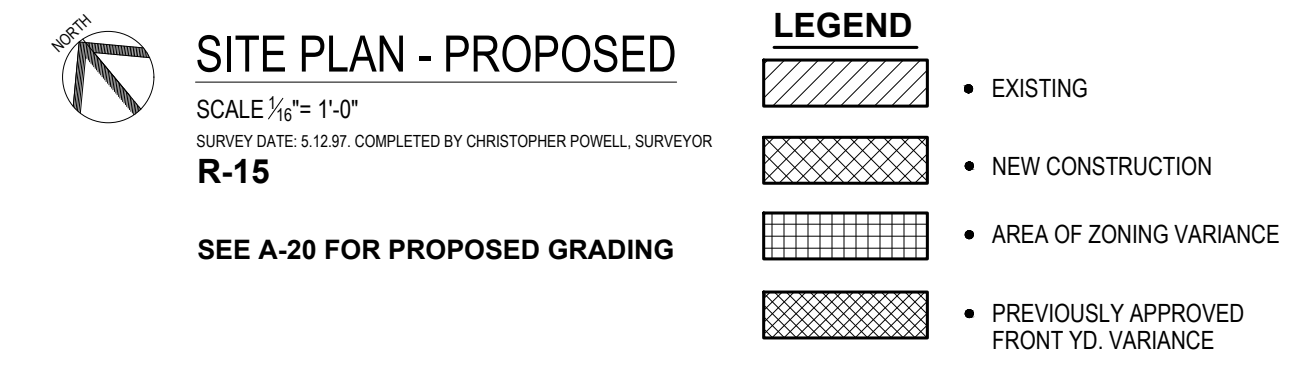
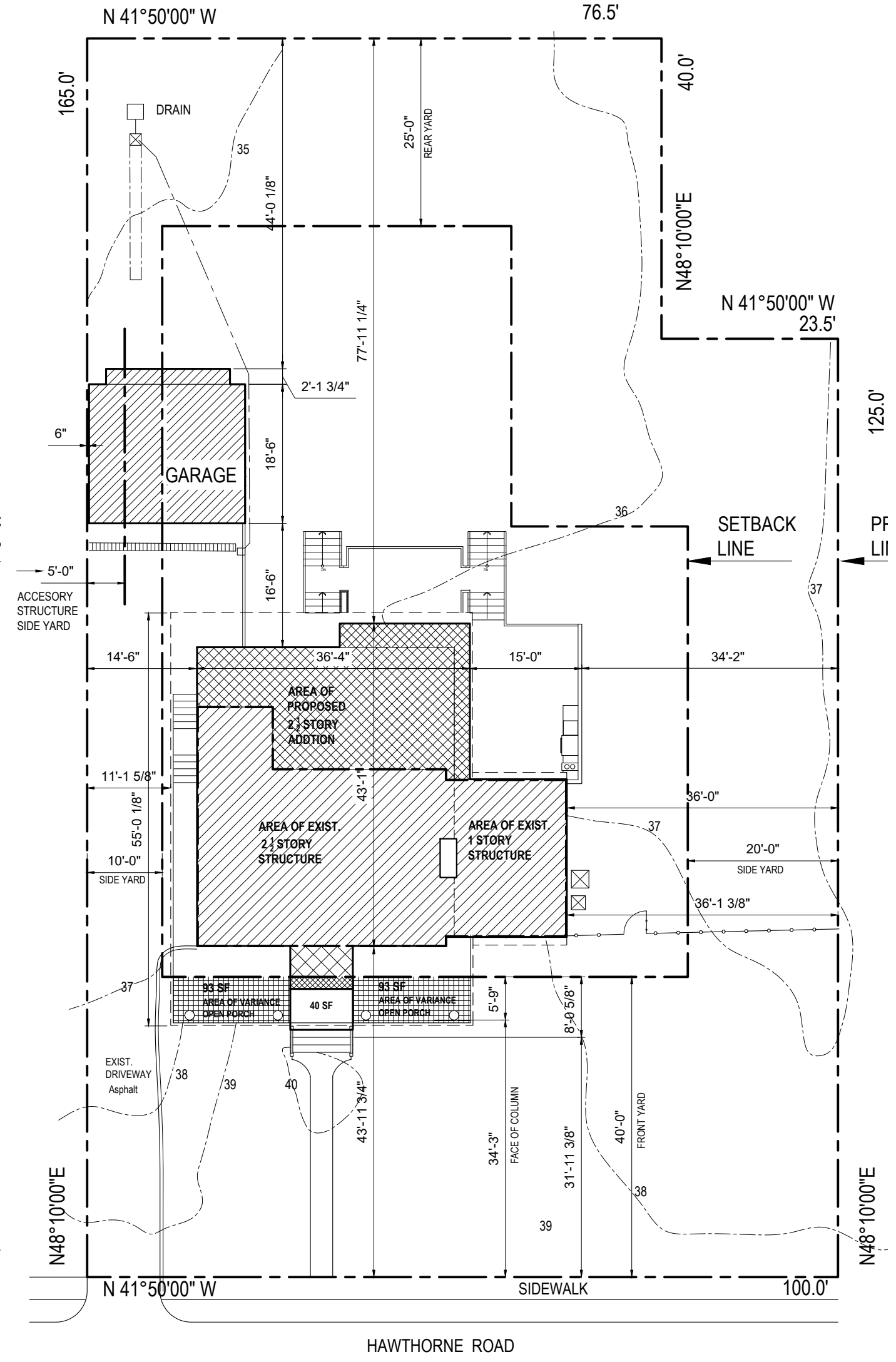
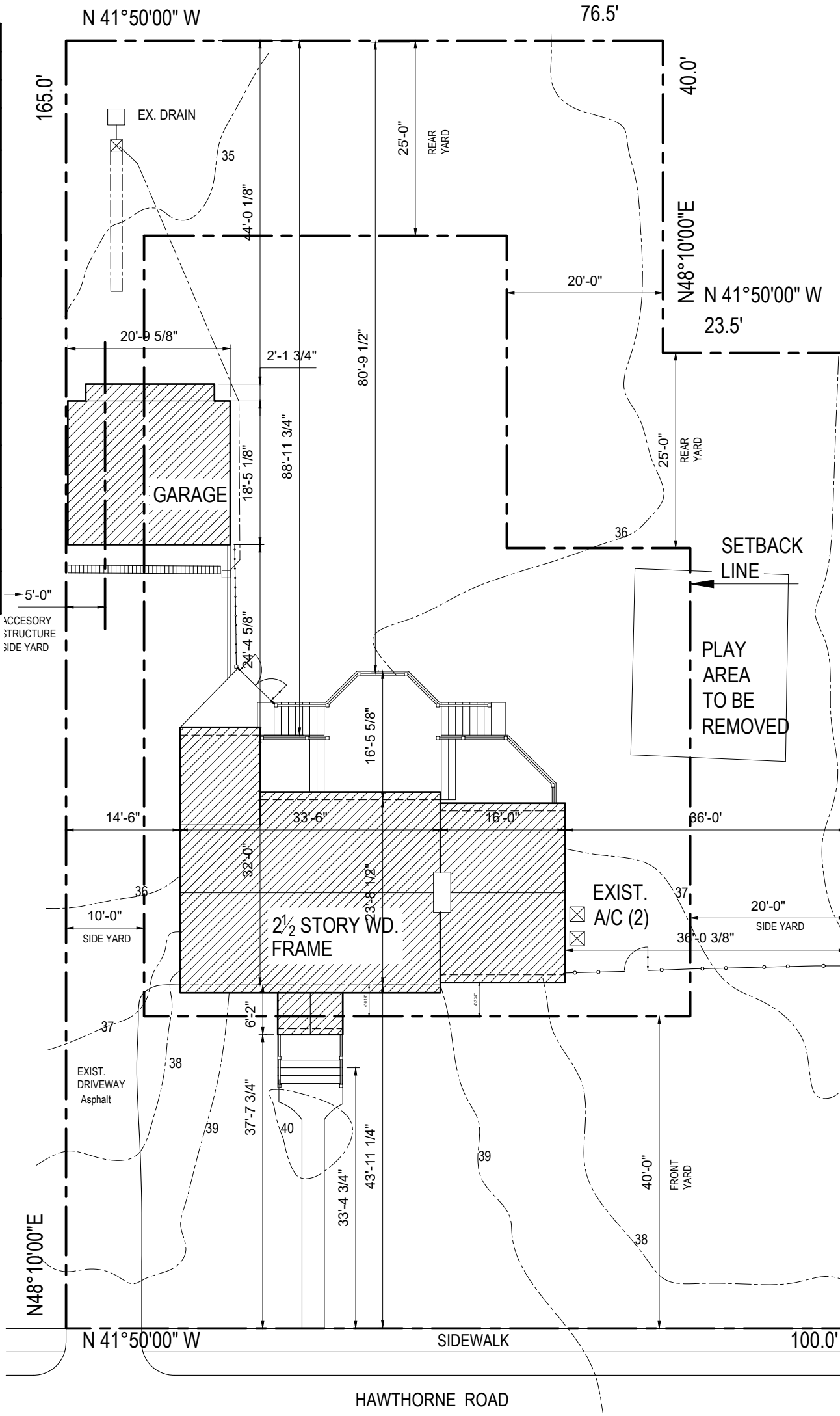
A. IF THE BUILDING ADJOINS THE FRONT PROPERTY LINE OR IS NOT MORE THAN 10 FEET DISTANT THEREFROM: MEASURED AT THE CENTER OF THE FRONT WALL OF THE BUILDING FROM THE ESTABLISHED GRADE OF THE CURB, OR, IF NO GRADE HAS BEEN OFFICIALLY ESTABLISHED, MEASURED FROM THE ELEVATION OF THE EXISTING CURB, OR, IF NO GRADE HAS BEEN OFFICIALLY ESTABLISHED AND NO CURB EXISTS, MEASURED FROM THE AVERAGE LEVEL OF THE FINISHED GROUND SURFACE ACROSS THE FRONT OF THE BUILDING.

B. IF THE BUILDING IS MORE THAN 10 FEET FROM THE FRONT PROPERTY LINE: MEASURED FROM THE AVERAGE LEVEL OF THE FINISHED GRADE ADJACENT TO THE EXTERIOR WALLS OF THE BUILDING, WHERE THE FINISHED GROUND SURFACE IS MADE BY FILLING THE LEVEL OF SUCH FINISHED GRADE, FOR THE PURPOSE OF THIS DEFINITION, SHALL NOT BE DEEMED TO BE MORE THAN THREE FEET ABOVE THE ESTABLISHED GRADE OF THE CURB.

**COVERAGE**  
THAT PERCENTAGE OF THE LOT AREA COVERED BY THE **BUILDING AREA**.

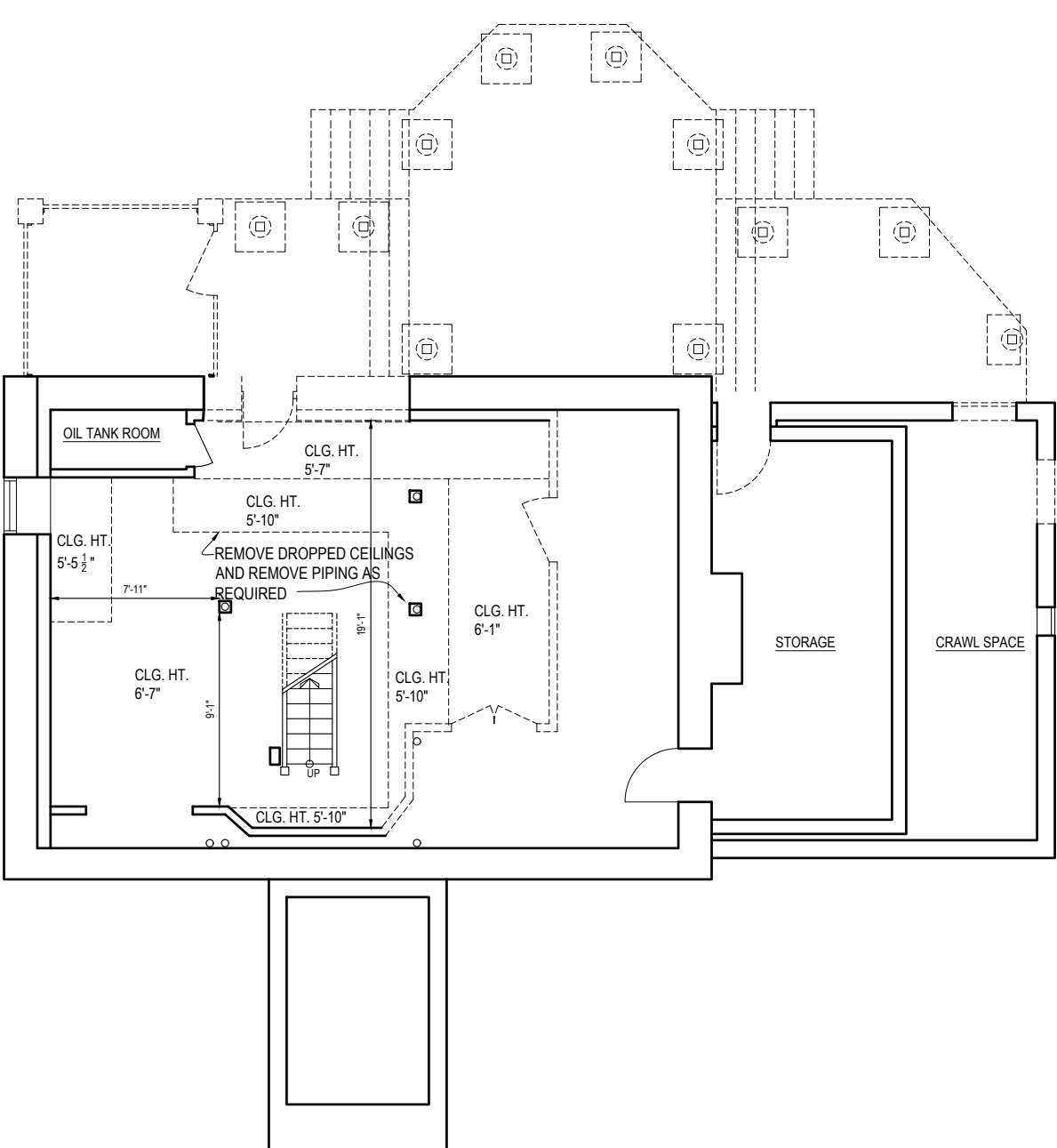
**AREA, BUILDING**  
THE TOTAL OF AREAS TAKEN ON A HORIZONTAL PLANE AT THE MAIN GRADE LEVEL OF PRINCIPAL BUILDINGS AND ALL ACCESSORY BUILDINGS, **EXCLUSIVE OF UNCOVERED PORCHES, PARAPETS, STEPS AND TERRACES**.

**240-S1 PROJECTING ARCHITECTURAL FEATURES**  
A-CORNICES, EAVES, CHIMNEYS, BAY WINDOWS, WINDOWILLS, BELT COURSES AND OTHER ARCHITECTURAL FEATURES MAY PROJECT NOT MORE THAN TWO FEET INTO ANY REQUIRED YARD. THE SUM OF ANY BAY WINDOW PROJECTIONS ON ANY WALL SHALL NOT EXCEED 1/4 THE LENGTH OF SUCH WALL, AND NO SUCH PROJECTING BAY WINDOW SHALL HAVE A TOTAL LENGTH OF MORE THAN 10 FEET NOR BE MORE THAN ONE STORY IN HEIGHT. PROVIDED THEIR TOTAL AREA DOES NOT EXCEED 40 SQUARE FEET, STEPS AND THEIR PLATFORMS ARE PERMITTED TO PROJECT INTO ANY REQUIRED SIDE OR REAR YARD A DISTANCE OF NOT MORE THAN FIVE FEET AND INTO A REQUIRED FRONT YARD A DISTANCE OF NO MORE THAN EIGHT FEET.

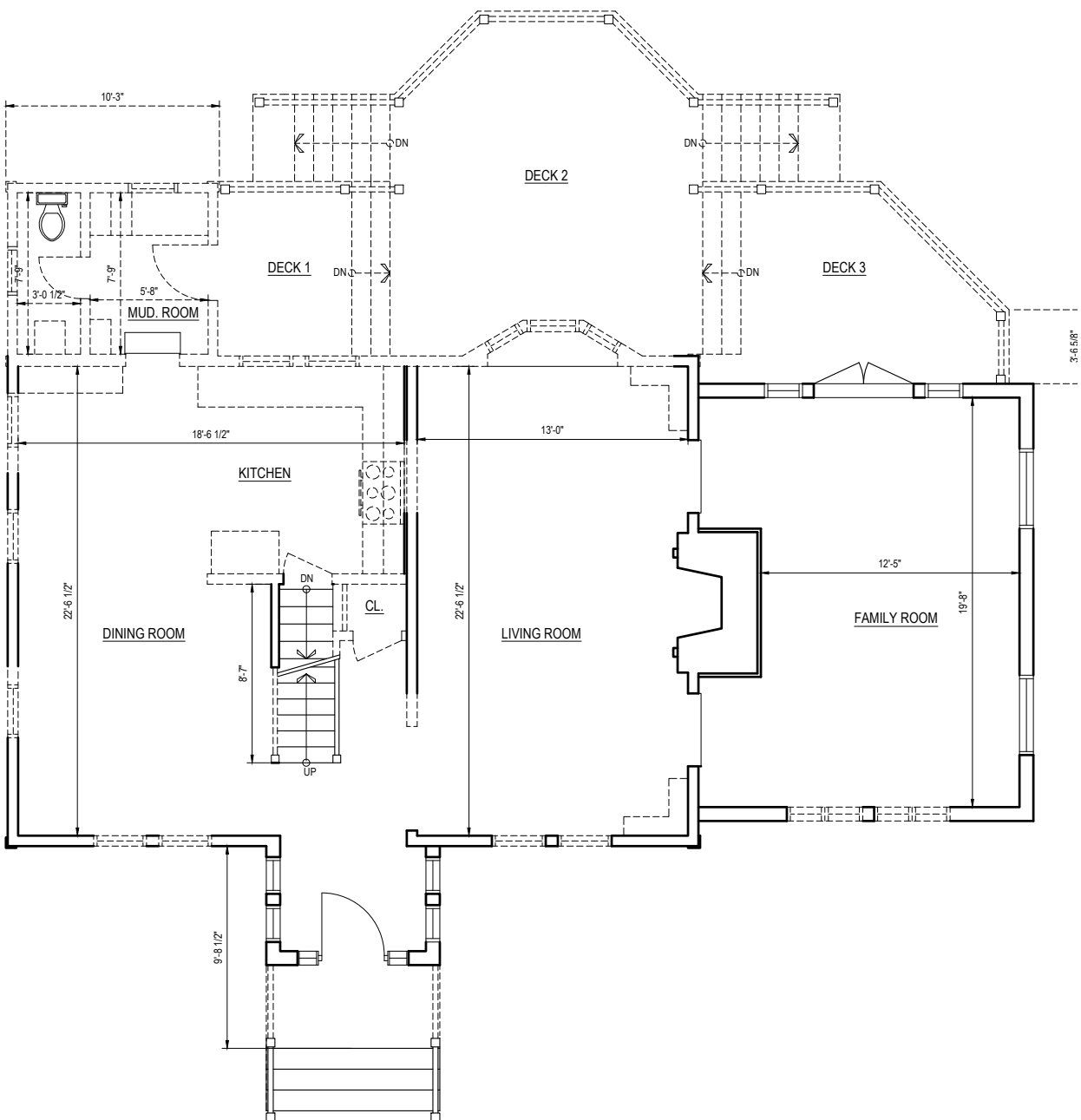


- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine zone.
- f. Basement Wall Insulation is not required in warm-humid locations.
- g. Or insulation sufficient to fill the framing cavity. R-19 is minimum.
- h. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. The second R-value applies when more than half the insulation is on the interior of the wall.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall. .
- (5.23.18)

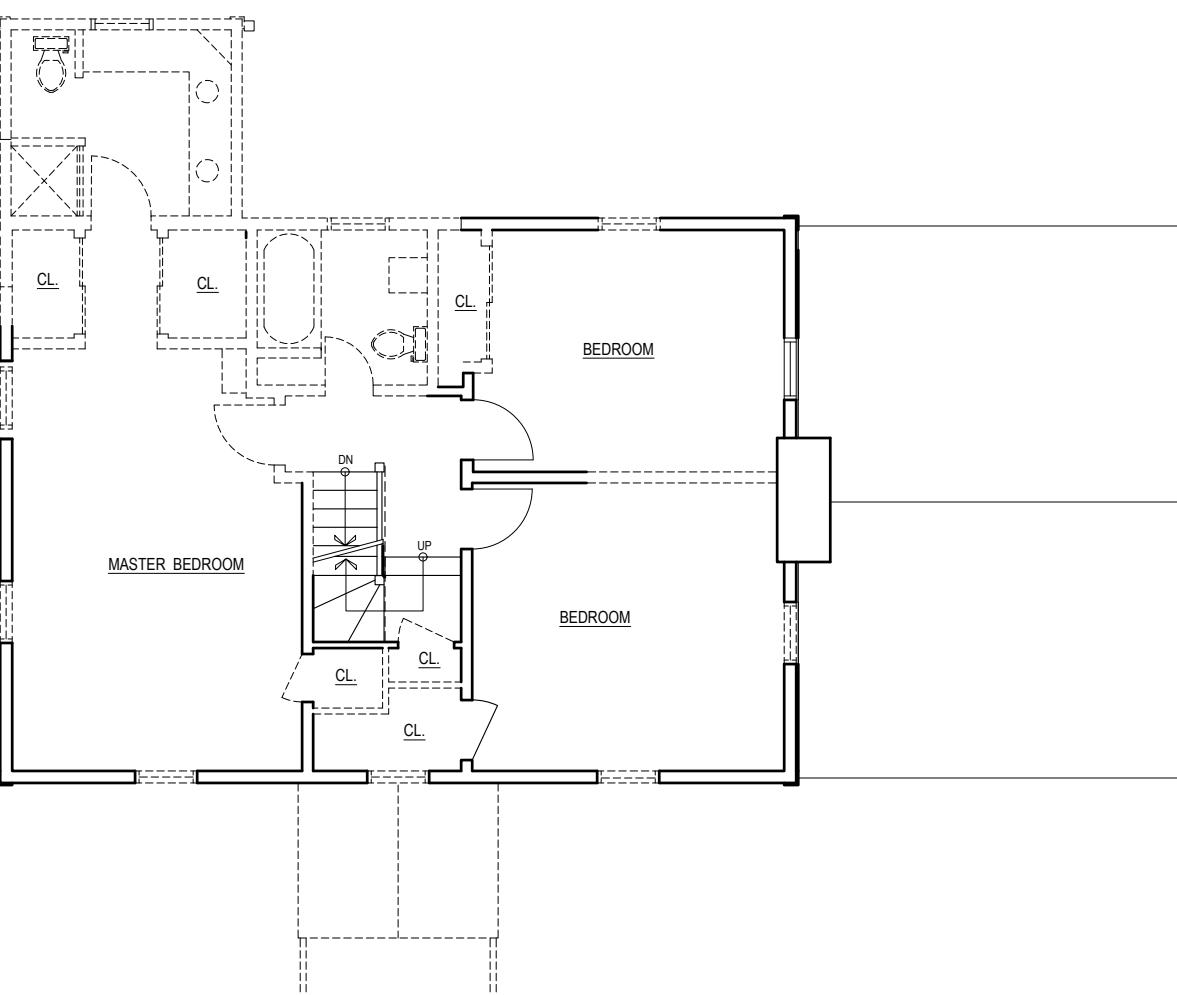
INTERNATIONAL ENERGY CONSERVATION CODE - RESIDENTIAL ENERGY EFFICIENCY										
CATEGORY	CLIMATE ZONE	FENESTRATION U-FACTOR <sup>a,b</sup>	SKYLIGHT U-FACTOR <sup>a,b</sup>	GLAZED FENESTRATION SHGC <sup>a,b,c</sup>	CEILING R-VALUE <sup>e</sup>	WOOD FRAME WALL R-VALUE <sup>e</sup>	MASS WALL R-VALUE <sup>e,1</sup>	FLOOR R-VALUE <sup>e</sup>	BASEMENT WALL R-VALUE <sup>e,c</sup>	SLAB R-VALUE <sup>e</sup> & DEPTH <sup>f</sup>
REQUIREMENTS	4	0.35	0.55	0.4	49	20 OR 13+5 <sup>h</sup>	18/13	19 <sup>g</sup>	10/13	10, 2 ft
SPECIFIED	-	0.28	N/A	0.32	49	20+5 OR 13+10	N/A	N/A	N/A	N/A



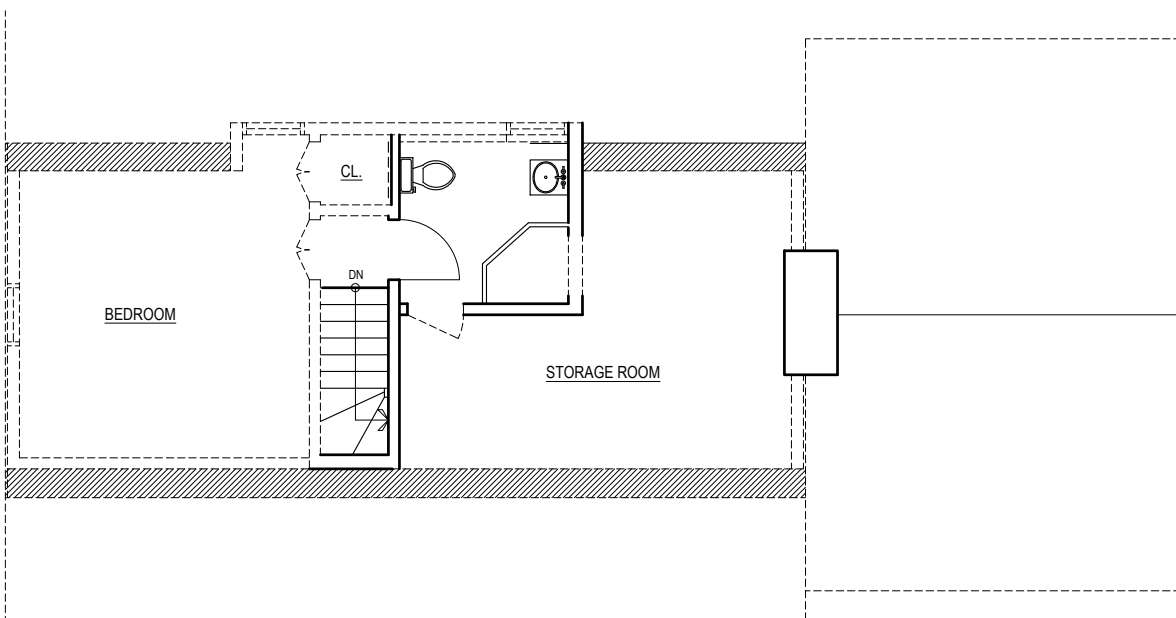
EXISTING/DEMO BASEMENT PLAN  
SCALE 1/8" = 1'-0"



EXISTING/DEMO 1ST FLOOR PLAN  
SCALE 1/8" = 1'-0"



EXISTING/DEMO 2ND FLOOR PLAN  
SCALE 1/8" = 1'-0"



EXISTING/DEMO ATTIC PLAN  
SCALE 1/8" = 1'-0"

## RESIDENTIAL RENOVATION AND ADDITION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

YESTADT  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT, NY 10538  
T 914 834 1641  
F 914 834 1836

### DRAWING LIST:

- A-1 EXISTING & PROPOSED SITE PLANS & ZONING CHART
- A-2 EXISTING PLANS, SECTIONS & ELEVATIONS
- A-3 PROPOSED BASEMENT -PLAN & RC PLAN
- A-4 PROPOSED 1ST FLOOR PLAN & RC PLAN
- A-5 PROPOSED 2ND FLOOR PLAN & RC PLAN
- A-6 PROPOSED 3RD FLOOR PLAN & RC PLAN
- A-7 PROPOSED ROOF PLAN
- A-8 PROPOSED ELEVATIONS
- A-9 PROPOSED ELEVATIONS
- A-10 PROPOSED BUILDING SECTION
- A-11 PROPOSED BUILDING SECTION & DETAIL
- A-12 PROPOSED BUILDING SECTION
- A-13 WALL SECTIONS & DETAILS
- A-14 INTERIOR ELEVATIONS
- A-15 SIDING DETAILS
- A-16 AIR SEALING DETAILS
- A-17 SPECIFICATIONS & SCHEDULES
- A-18 SPECIFICATIONS - STEEL & GARAGE ELEV.
- A-19 AVERAGE GRADE
- A-20 PLANTING PLANS & TREE PROTECTION
- A-21 STREET ELEVATIONS & PROXIMITY PLAN

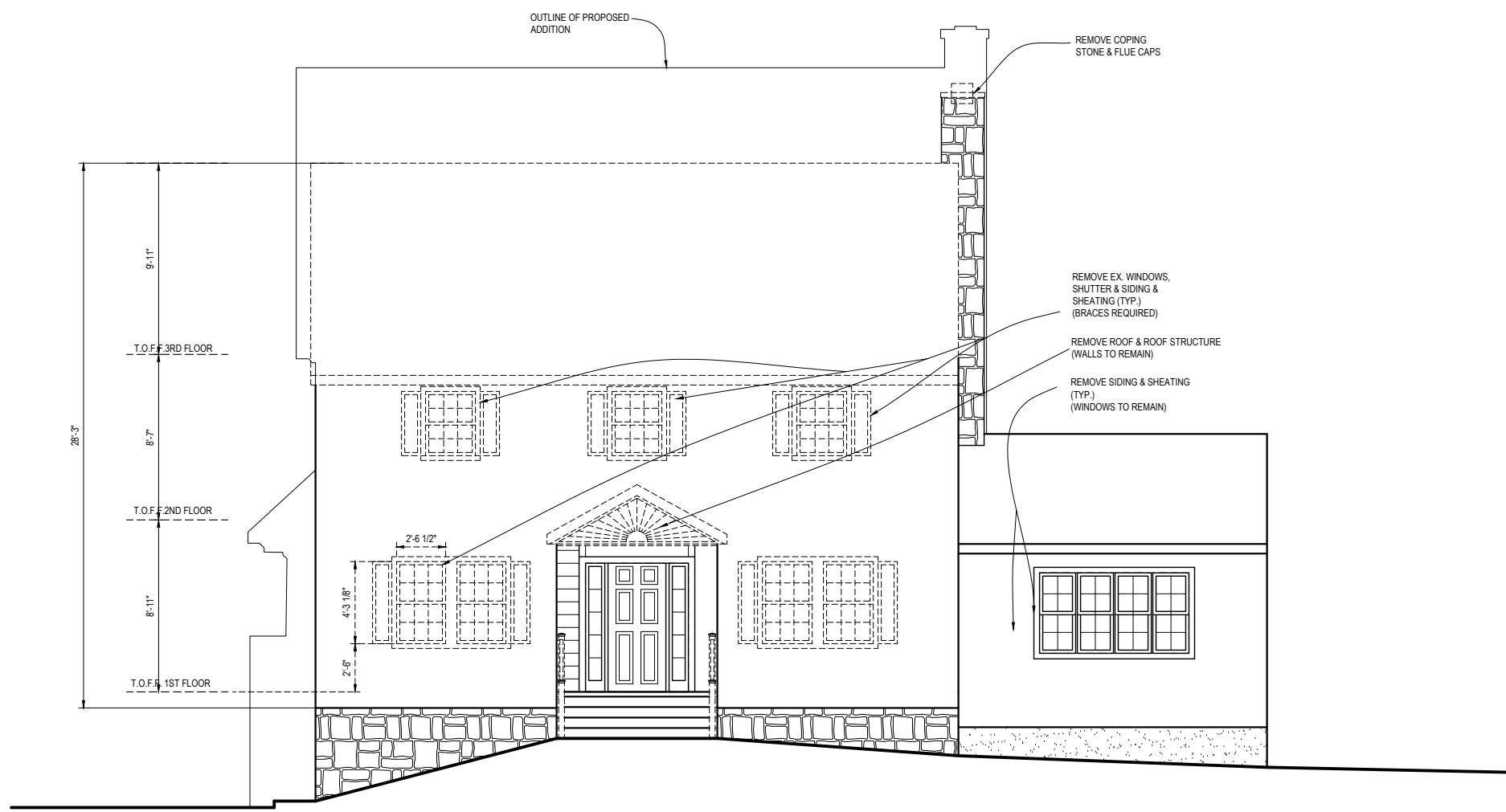
FOR REVIEW

### EXISTING & PROPOSED SITE PLANS/ZNG. CHART

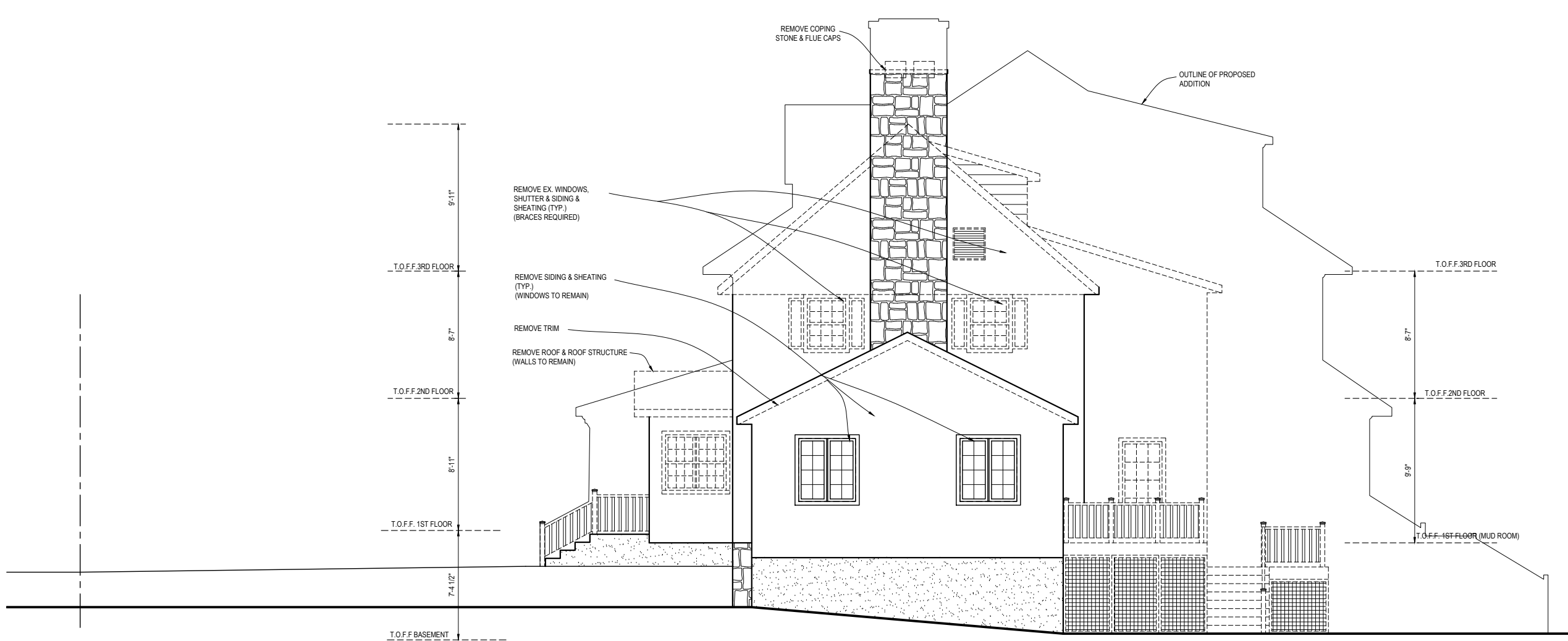
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DATE 6.12.20  
SCALE AS NOTED  
DRAWN BY RY/KB  
PEER MTGS + CZM PROGRESS CNSTRCTN DRAWINGS

A-1

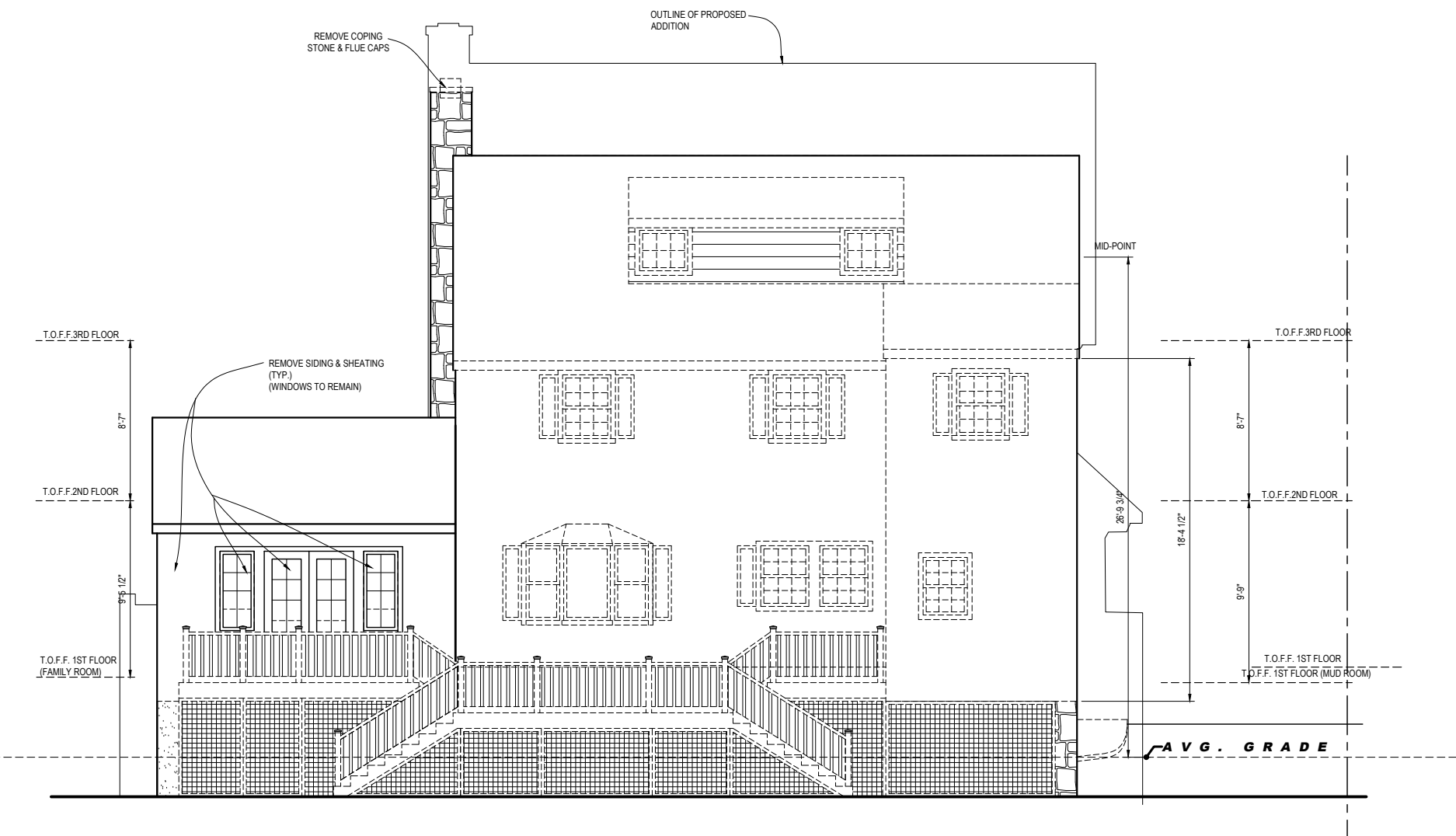




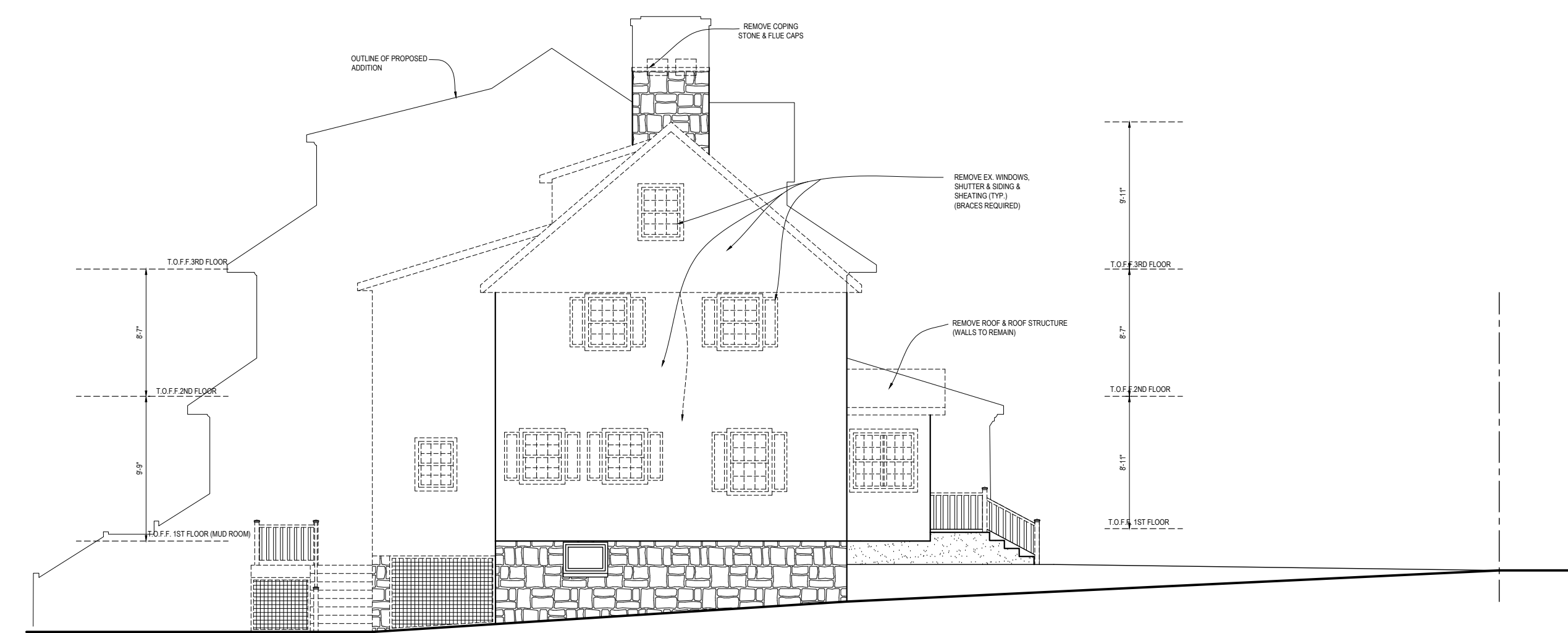
EXISTING /DEMO FRONT ELEVATION  
SCALE 1/8" = 1'-0"



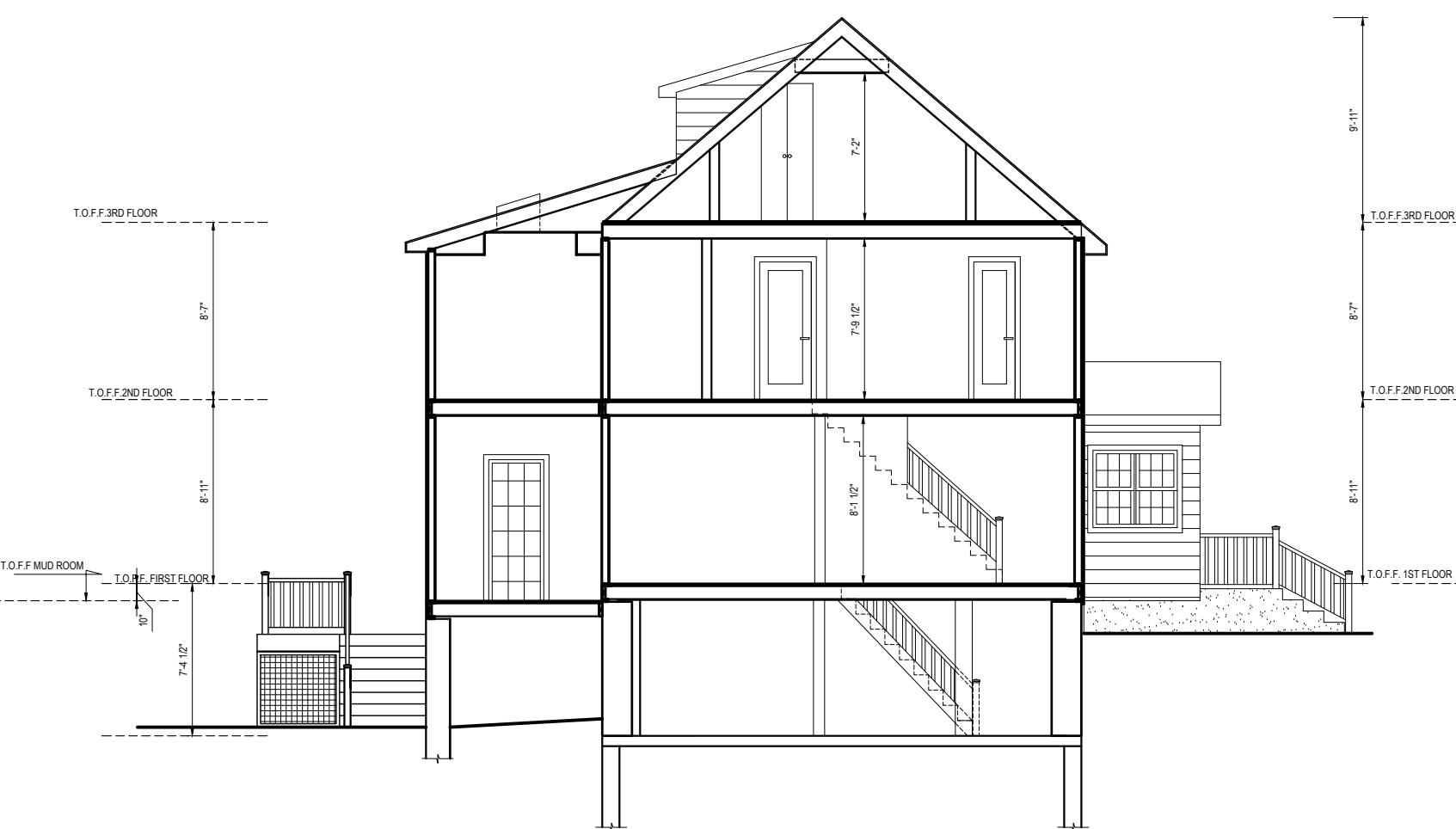
EXISTING/DEMO RIGHT ELEVATION  
SCALE 1/8" = 1'-0"



EXISTING/DEMO REAR ELEVATION  
SCALE 1/8" = 1'-0"



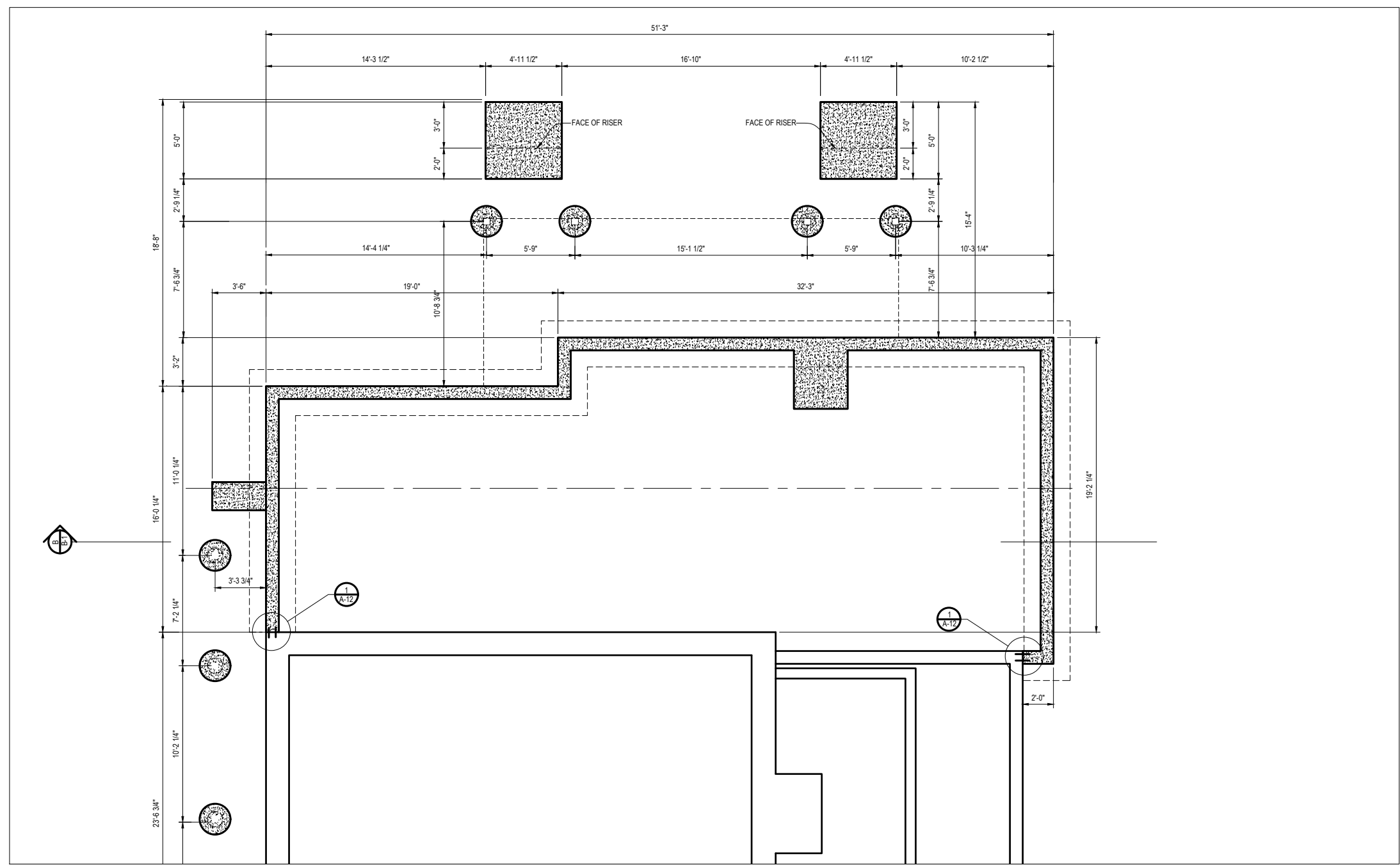
EXISTING/DEMO LEFT ELEVATION  
SCALE 1/8" = 1'-0"



EXISTING SECTION  
SCALE 1/8" = 1'-0"



EXISTING SECTION  
SCALE 1/8" = 1'-0"



PROPOSED FOUNDATION PLAN  
SCALE 1/8" = 1'-0"

RESIDENTIAL RENOVATION  
AND ADDITION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

YESTADT  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
T 914 834 1641  
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ABBREVIATIONS

BRG	BEARING
CLG	CEILING
CLD	CLOSET
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CTR	COUNTER
CMU	CONCRETE MASONRY UNIT
DF	DRINKING FOUNTAIN
DP	DEEP
DR	CLOTHES DRYER
DW	DISHWASHER
EXIST	EXISTING
FBO	FURNISHED BY OWNER
FBOCI	FBO/CONTRACTOR INSTALLED
FDTN	FOUNDATION
FLR	FLOOR
FF	FINISHED FLOOR
FTG	FOOTING
GALV	GALVANIZED
ONB	GYPSUM WALL BOARD
HORIZ	HORIZONTAL
JST	JOISTS
LAV	LAVATORY
LDRY	LAUNDRY
LN	LINEN CLOSET
MANUF	MANUFACTURER
MIN	MINIMUM
MR	MOISTURE-RESISTANT
MTR	METER
NIC	NOT IN CONTRACT
OC	ON CENTER
PL	PLATE
PR	POWDER ROOM
PT	PRESSURE TREATED
PTRY	PANTRY
REF	REFRIGERATOR
REIN	REINFORCEMENT
REQD	REQUIRED
RFTS	RAFTERS
RO	ROUGH OPENING
STD	STANDARD
STL	STEEL
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
VWB	VINYL WALL BASE
WA	CLOTHES WASHER
WC	WATER CLOSET
WD	WOOD
W/	WITH

NO.	DATE	REVISION
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EXISTING ELEV./SECTION  
PART FOUNDATION PLAN

JOB NO. 1936 DRAWING NO.  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

A-2  
PRELIM. DRAWINGS

**THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY**

**Y E S T A D T**  
**ARCHITECTURE + DESIGN**  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
T 914 834 1641  
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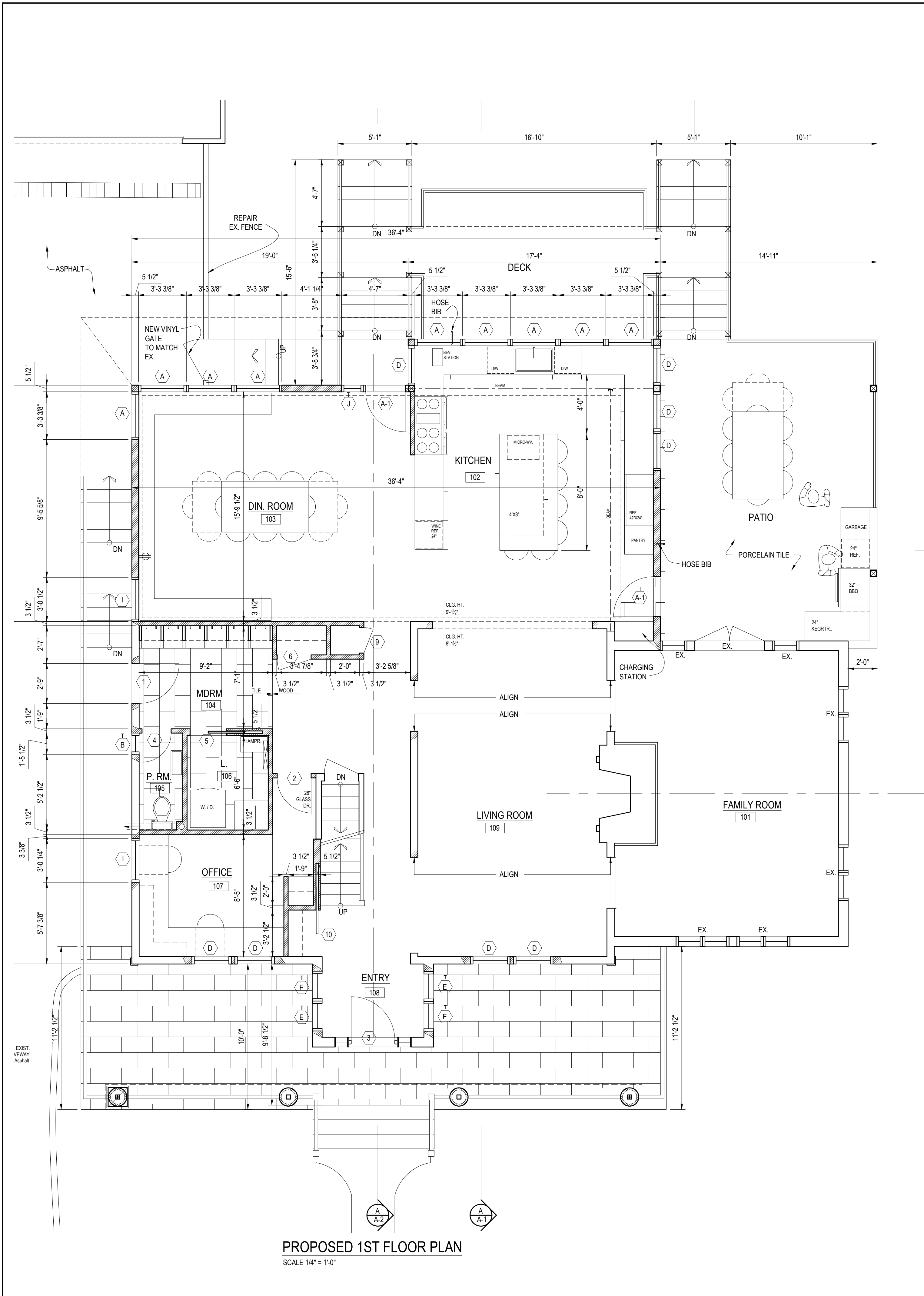
NO.	DATE	REVISION
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## PROPOSED BASEMENT PLAN & REFLECTED CEILING PLAN

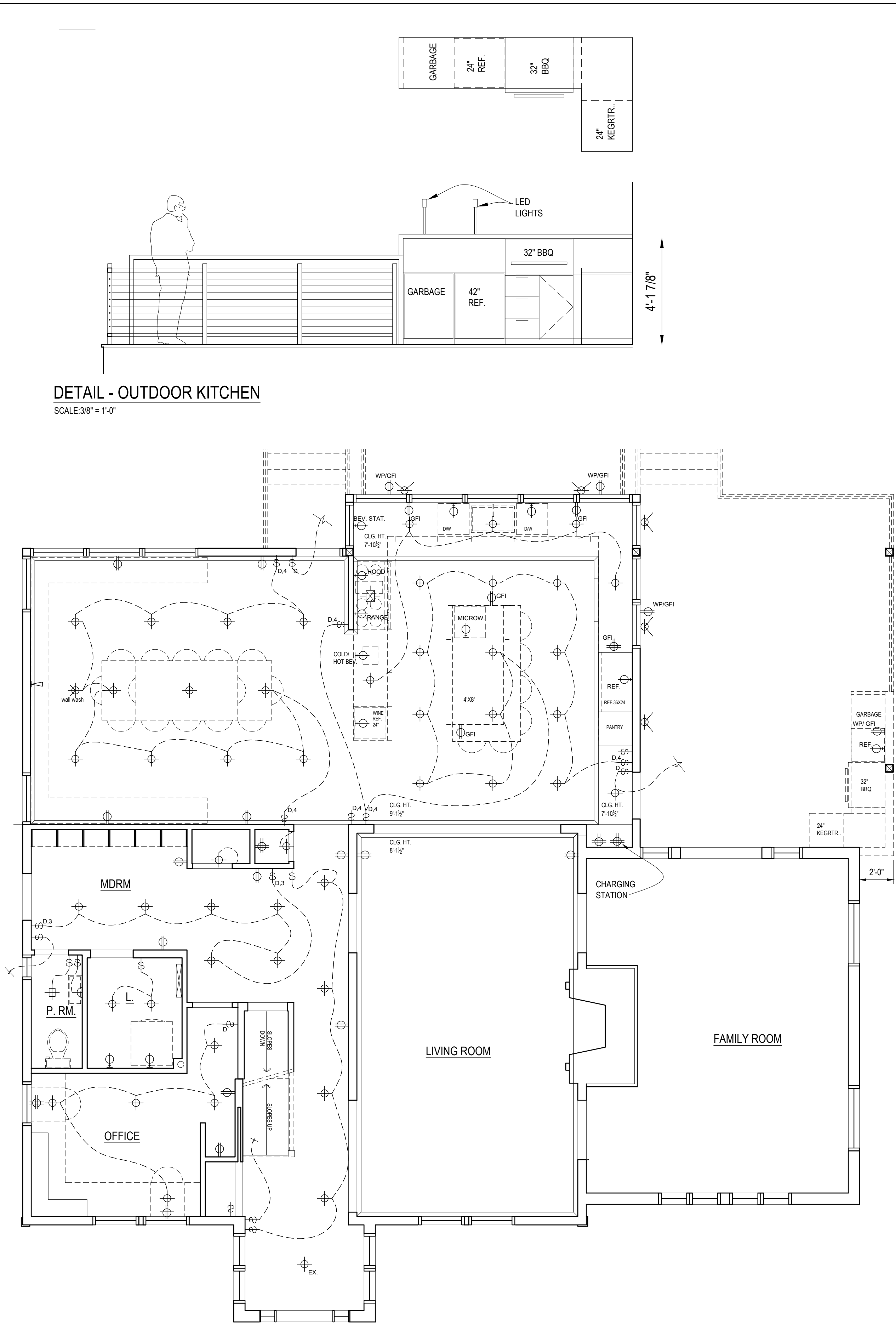
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DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

# A-3





PROPOSED 1ST FLOOR PLAN  
SCALE 1/4" = 1'-0"



PROPOSED 1ST FLOOR REFLECTED CEILING PLAN  
SCALE 1/4" = 1'-0"

RESIDENTIAL RENOVATION  
AND ADDITION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

YESTADT  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT, NY 10538  
T 914 834 1641  
F 914 834 1836

ELECTRICAL SYMBOLS	
H-1	SINGLE POLE SWITCH
H-2	SINGLE POLE SWITCH WITH DIMMER
H-3	THREE WAY SWITCH WITH DIMMER
H-4	FOUR WAY SWITCH WITH DIMMER
H-5	DUPLEX RECEPTACLE OUTLET
H-6	GROUND FAULT CIRCUIT INTERRUPTER OUTLET
H-7	2000GFI GFCI STEEL PLUGMOLD* MULTIOUTLET SYSTEM (by Legrand) CONTINUOUS
H-8	APPLIANCE OUTLET
H-9	TELEVISION OUTLET
H-10	SMOKE DETECTOR HARD WIRE
H-11	CARBON MONOXIDE DETECTOR HARD WIRE
H-12	A - CEILING MOUNTED PENDANT (FBO/CI)
H-13	B - 4.5" HALO DOWN LIGHT / LED LAMP NON INSULATED
H-14	B' - 4.5" HALO DOWN LIGHT / LED LAMP INSULATED
H-15	B'' - 4.5" HALO DOWN LIGHT / LED LAMP INSULATED - SLOPED CLG.
H-16	C - HALO DOWN LIGHT / LED LAMP WET LOCATION
H-17	D - WALL SCONCE (FBO/CI)
H-18	E - CLOSET LIGHT FIXTURE
H-19	H - STEP LIGHT
H-20	EXHAUST FAN PANASONIC WHISPER CEILING
H-21	KITCHEN EXHAUST HOOD
H-22	UNDERCOUNTER FLUORESCENT LIGHTING
H-23	4'-0" WHITE LED FLUSH MOUNT LIGHT-LITHONIA LIGHTING

NO.	DATE	REVISION
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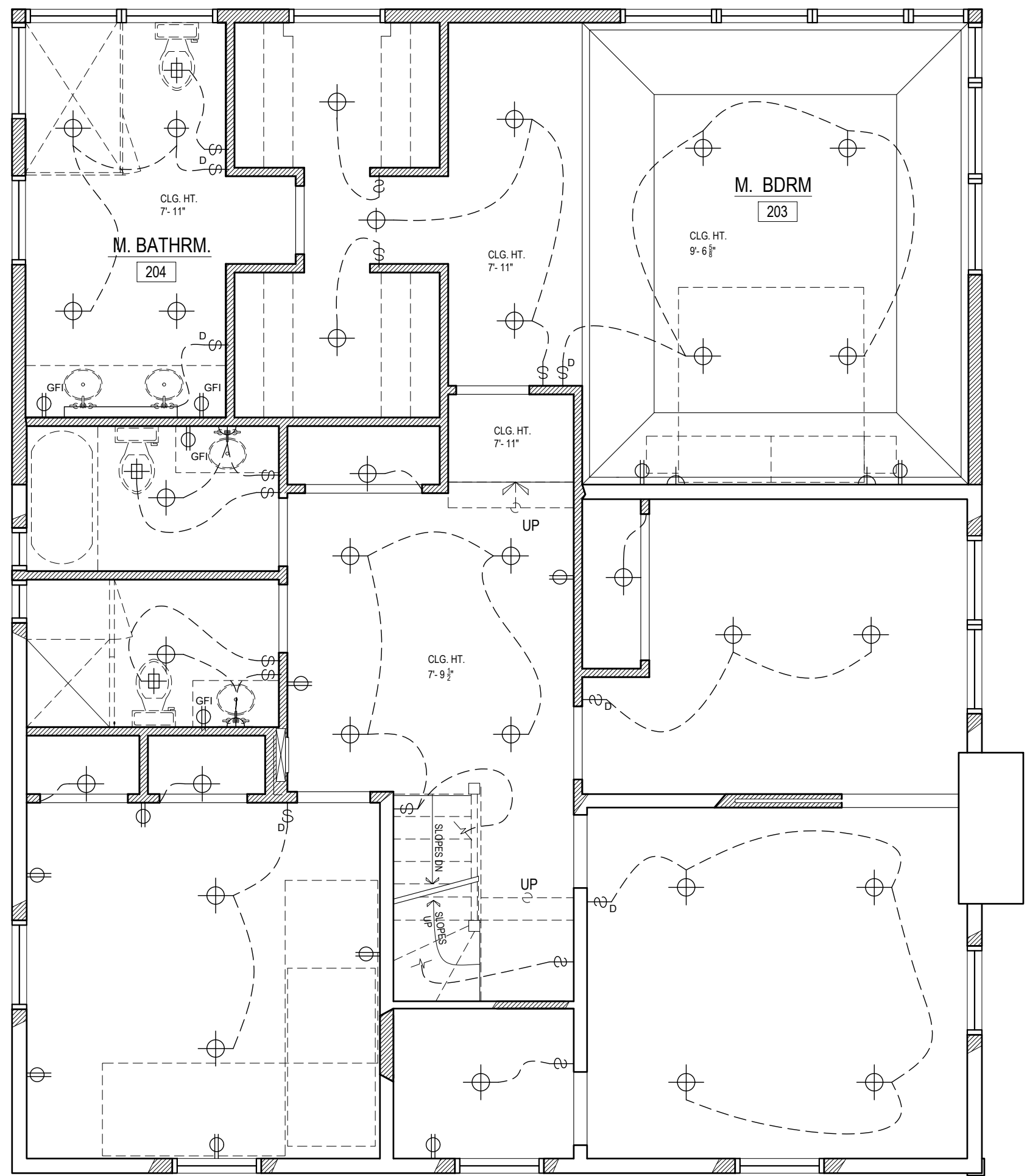
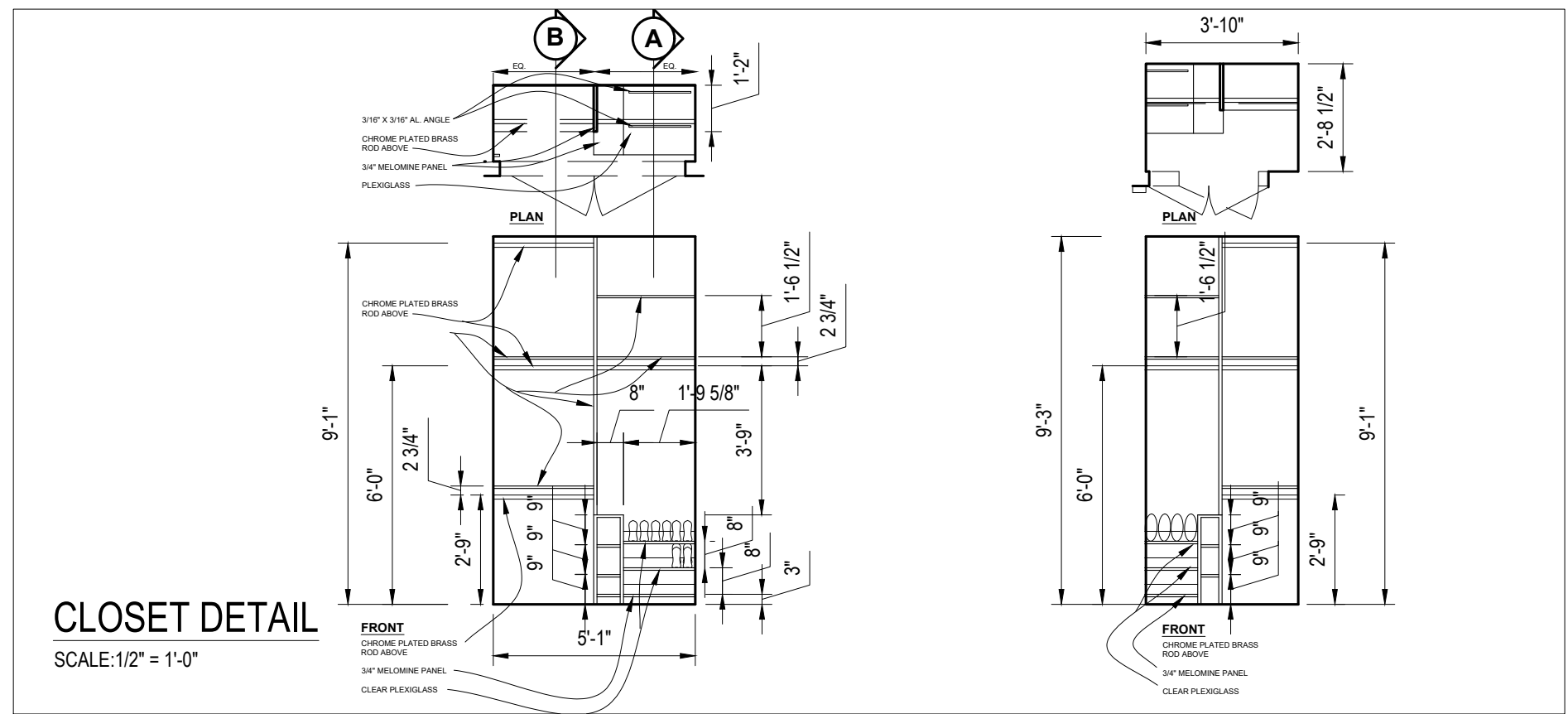
PROPOSED  
FIRST FLOOR PLAN  
& REFLECTED CEILING PLAN

JOB NO. 1936 DRAWING NO.  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

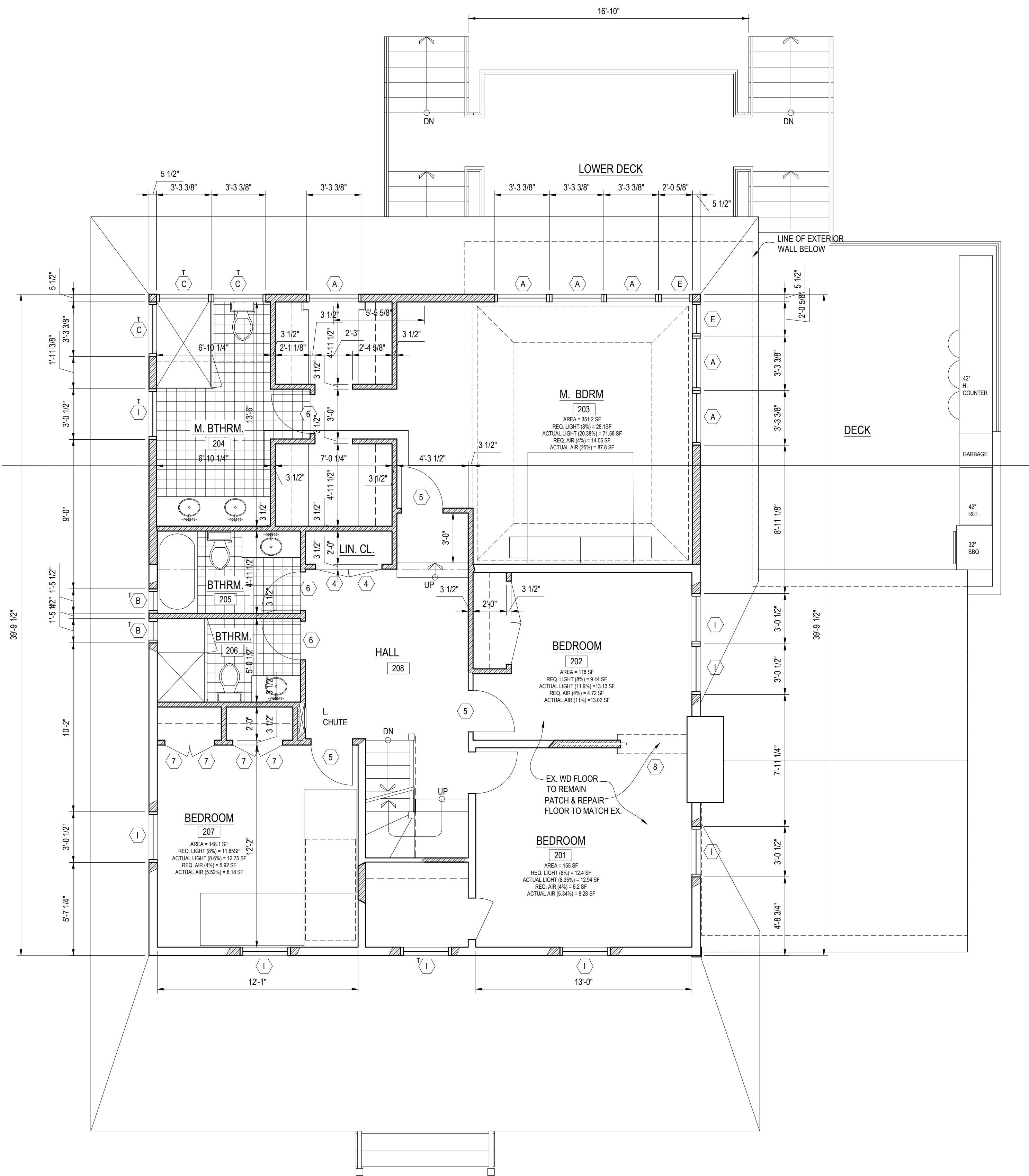
A-4  
PRELIM. DRAWINGS

**THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY**

**Y E S T A D T**  
**ARCHITECTURE + DESIGN**  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
T 914 834 1641  
F 914 834 1836



## PROPOSED 2ND FLOOR REFLECTED CEILING PLAN



# PROPOSED 2ND FLOOR PLAN

SCALE 1/4" = 1'-0"

NO.	DATE	REVISION
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**PROPOSED  
2ND FLOOR PLAN  
& REFLECTED CEILING PLAN**

JOB NO. 1936 DRAWING NO. A-5  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

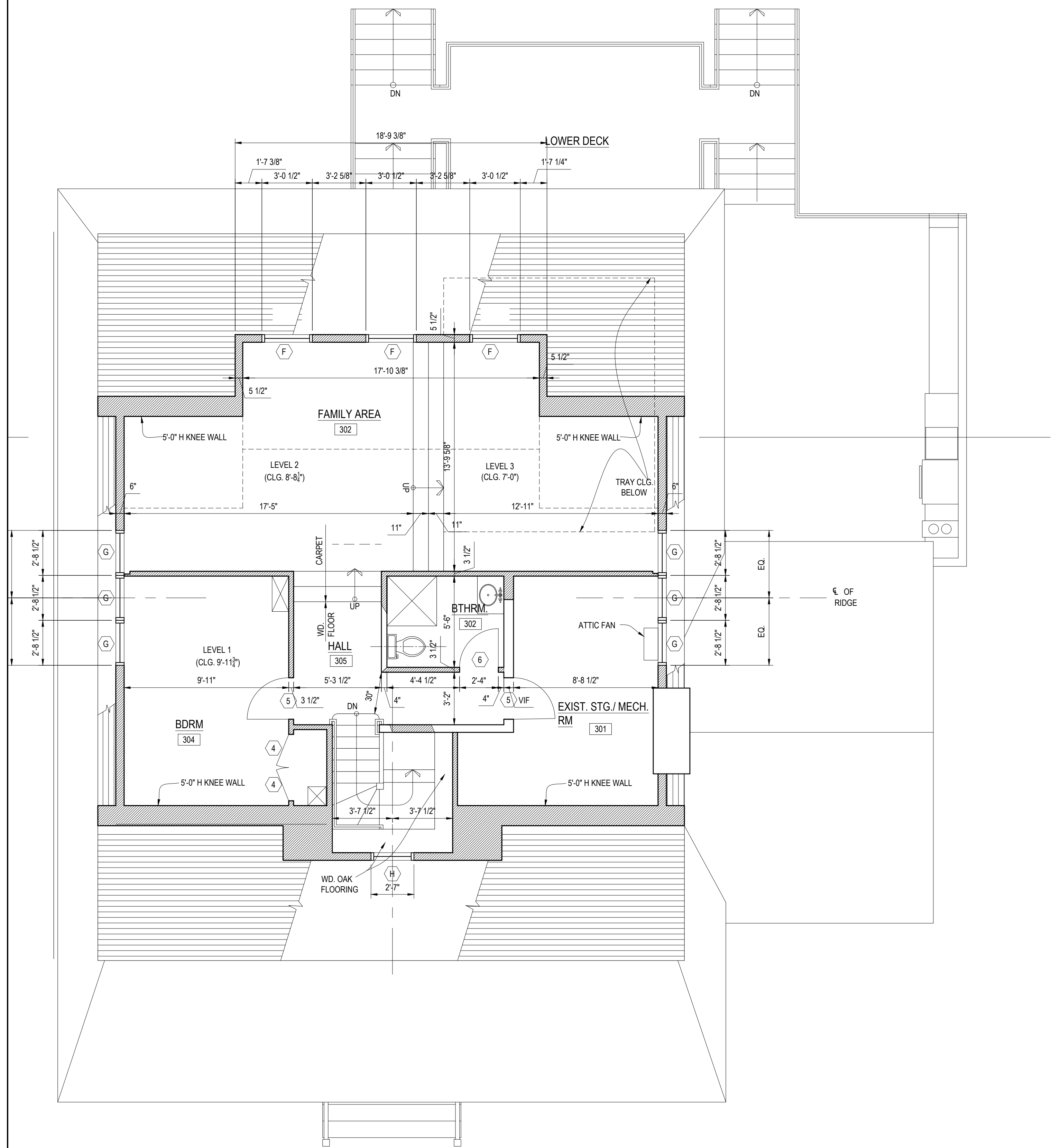
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RESIDENTIAL RENOVATION  
AND ADDITION

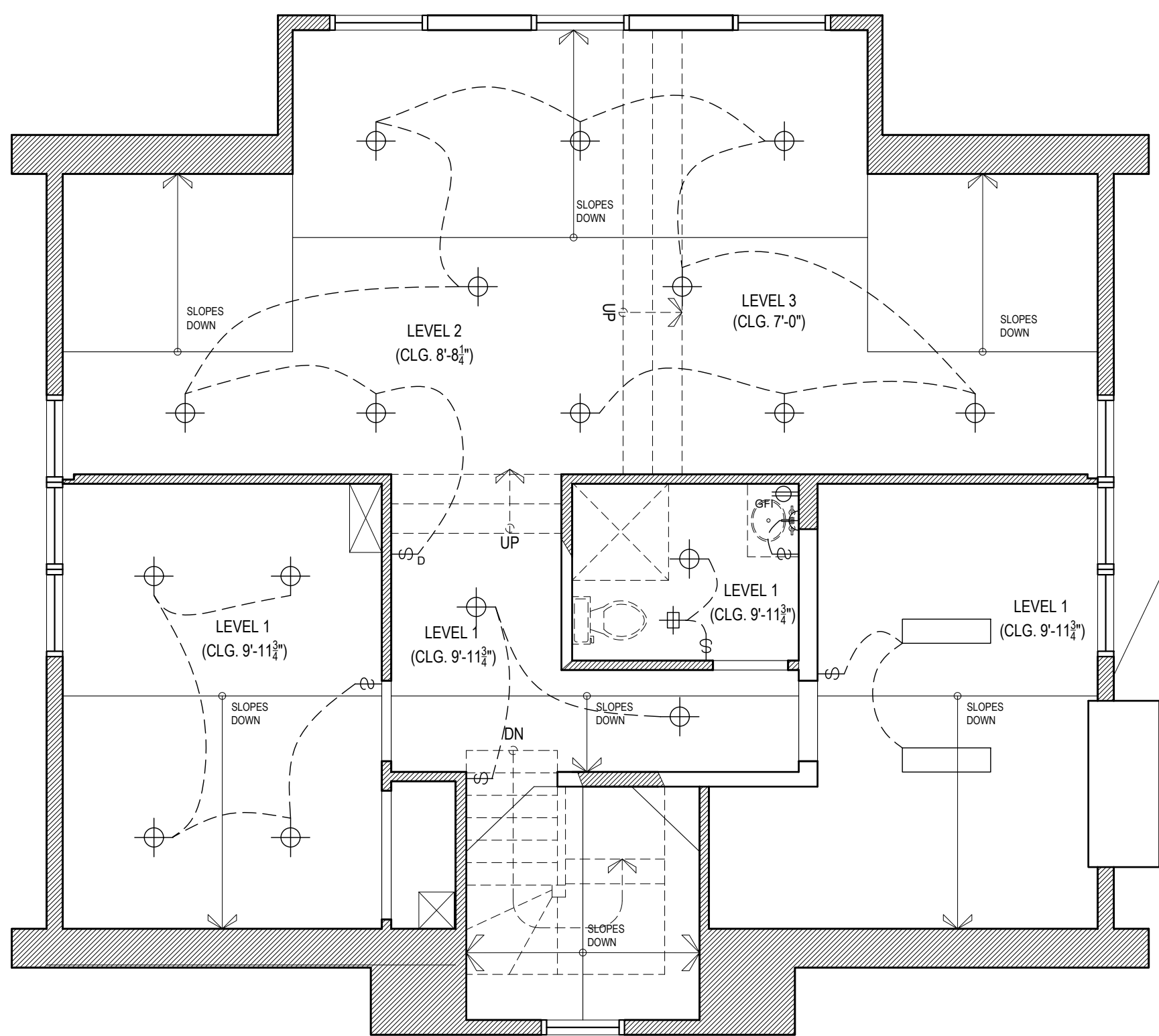
THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

Y E S T A D T  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
T 914 834 1641  
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PROPOSED ATTIC FLOOR PLAN  
SCALE 1/4" = 1'-0"

PROPOSED THIRD FLOOR PLAN - ALTERNATE  
SCALE 1/4" = 1'-0"



PROPOSED ATTIC FLOOR REFLECTED CEILING PLAN  
SCALE 1/4" = 1'-0"

NO.	DATE	REVISION
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PROPOSED  
THIRD FLOOR PLAN  
& REFLECTED CEILING PLAN

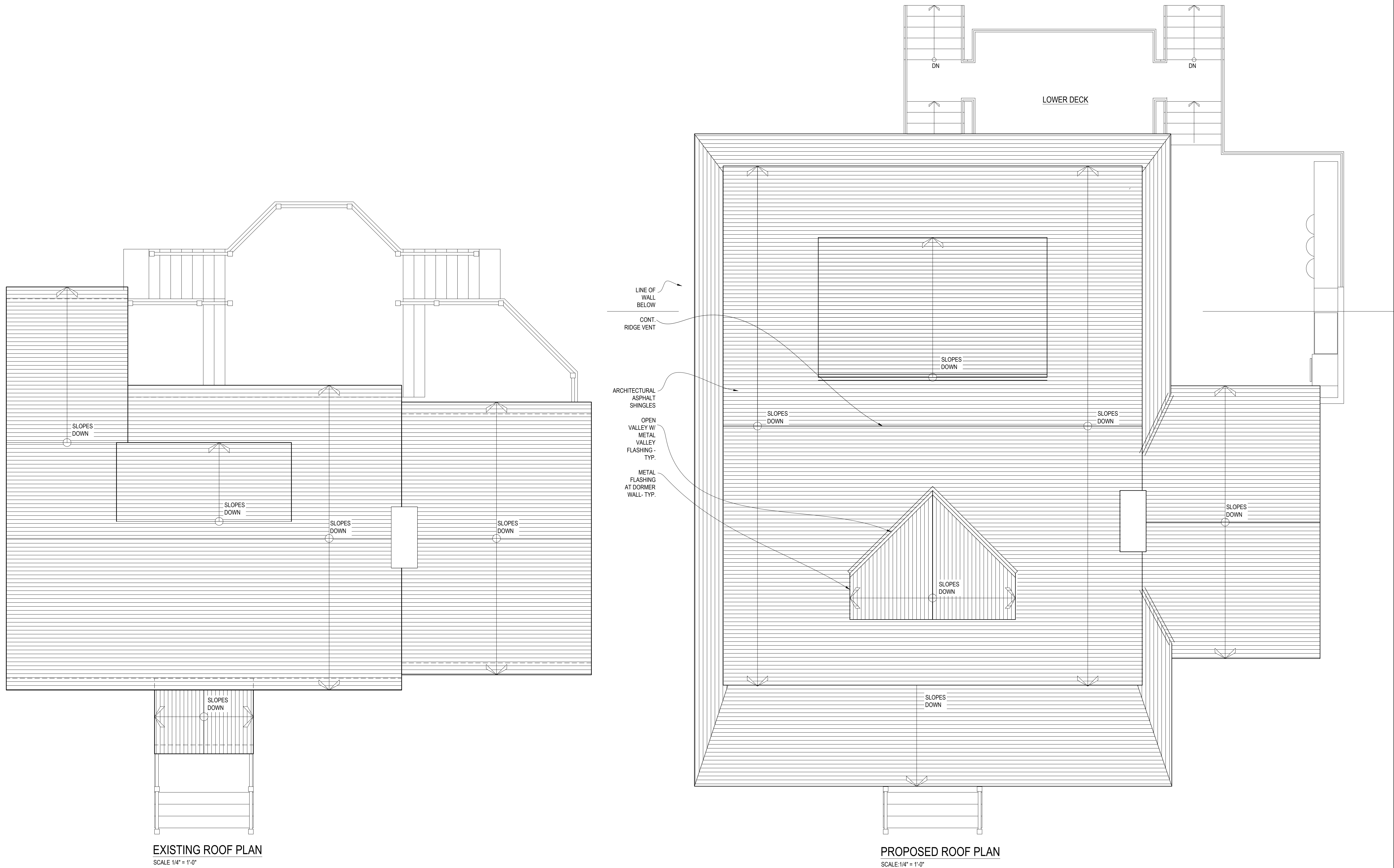
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DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

A-6  
PRELIM. DRAWINGS

RESIDENTIAL RENOVATION  
AND ADDITION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

Y E S T A D T  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
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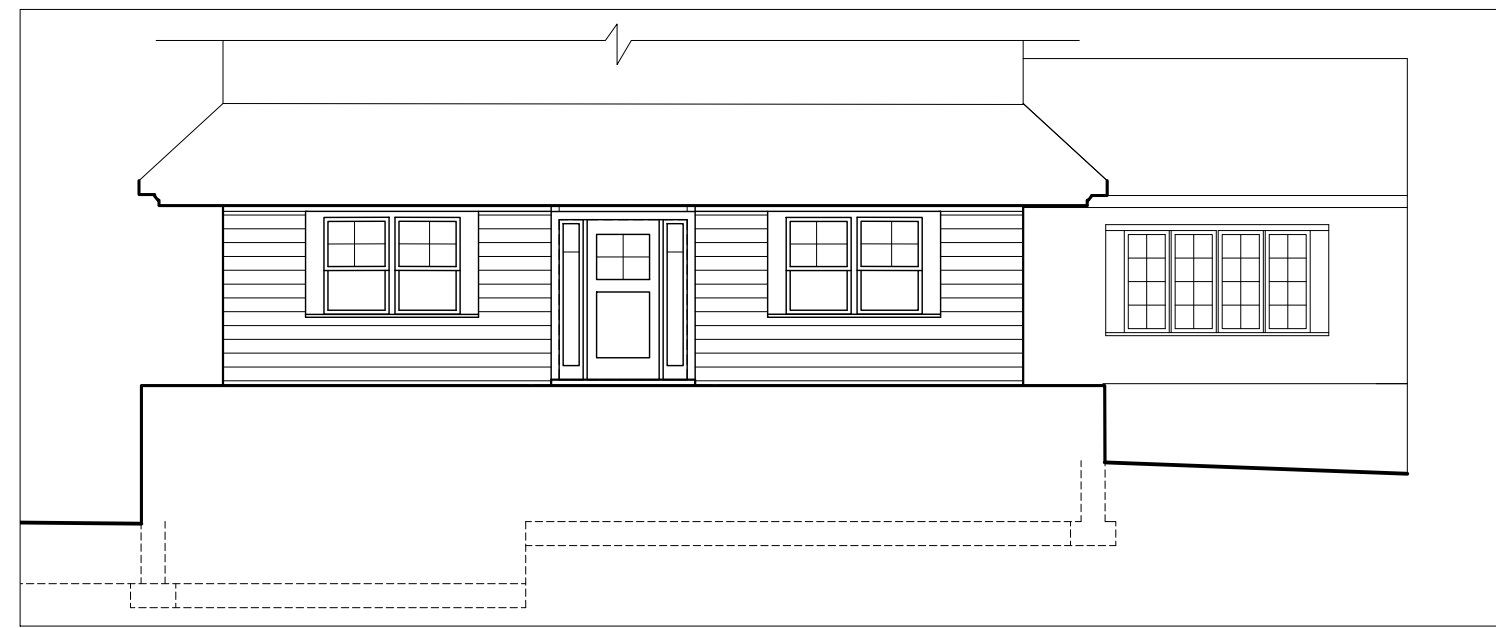


EXISTING & PROPOSED  
ROOF PLAN

JOB NO. 1936 DRAWING NO.  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

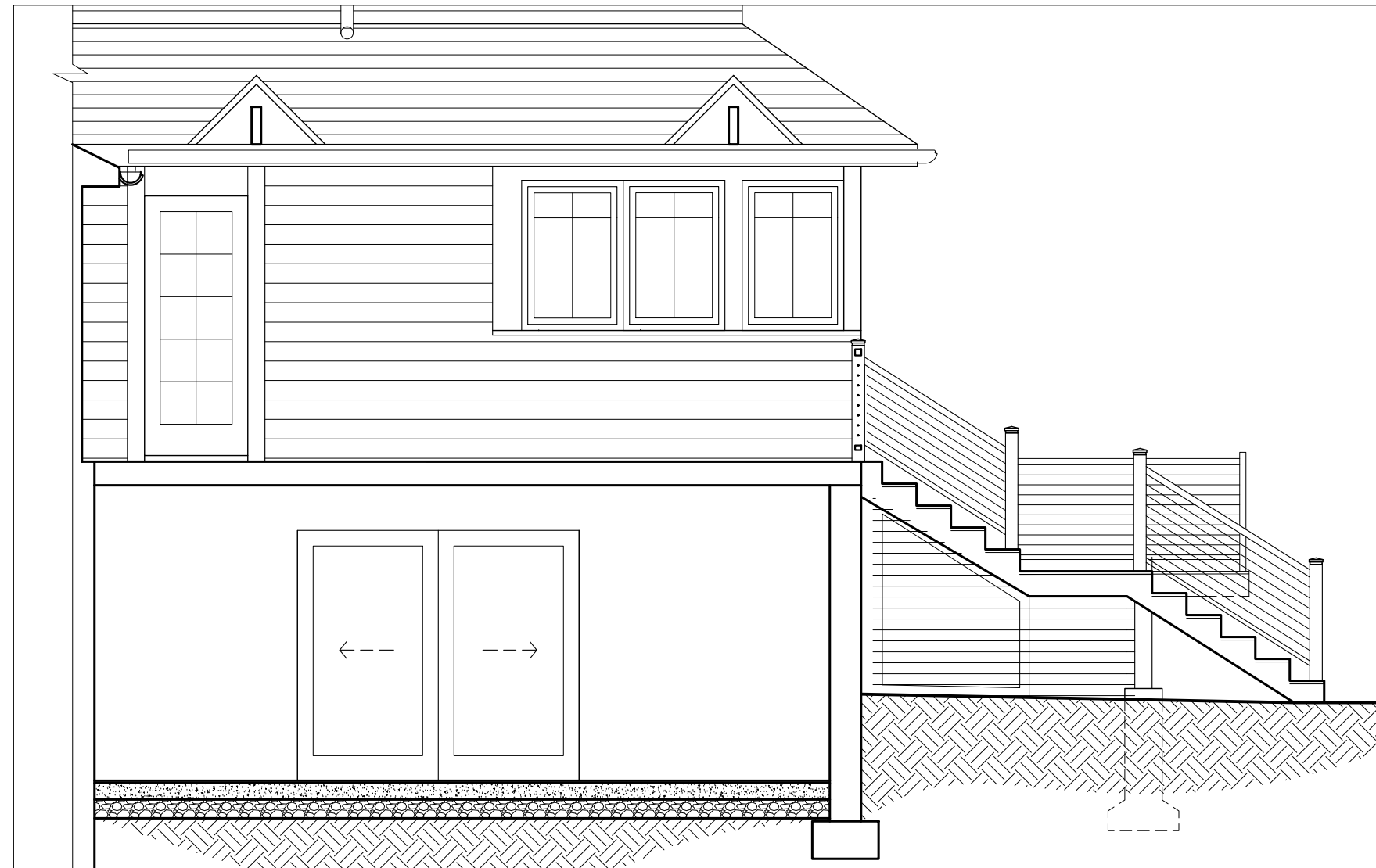
A-7  
PRELIM. DRAWINGS





PARTIAL FRONT ELEVATION

SCALE: 1/8" = 1'-0"



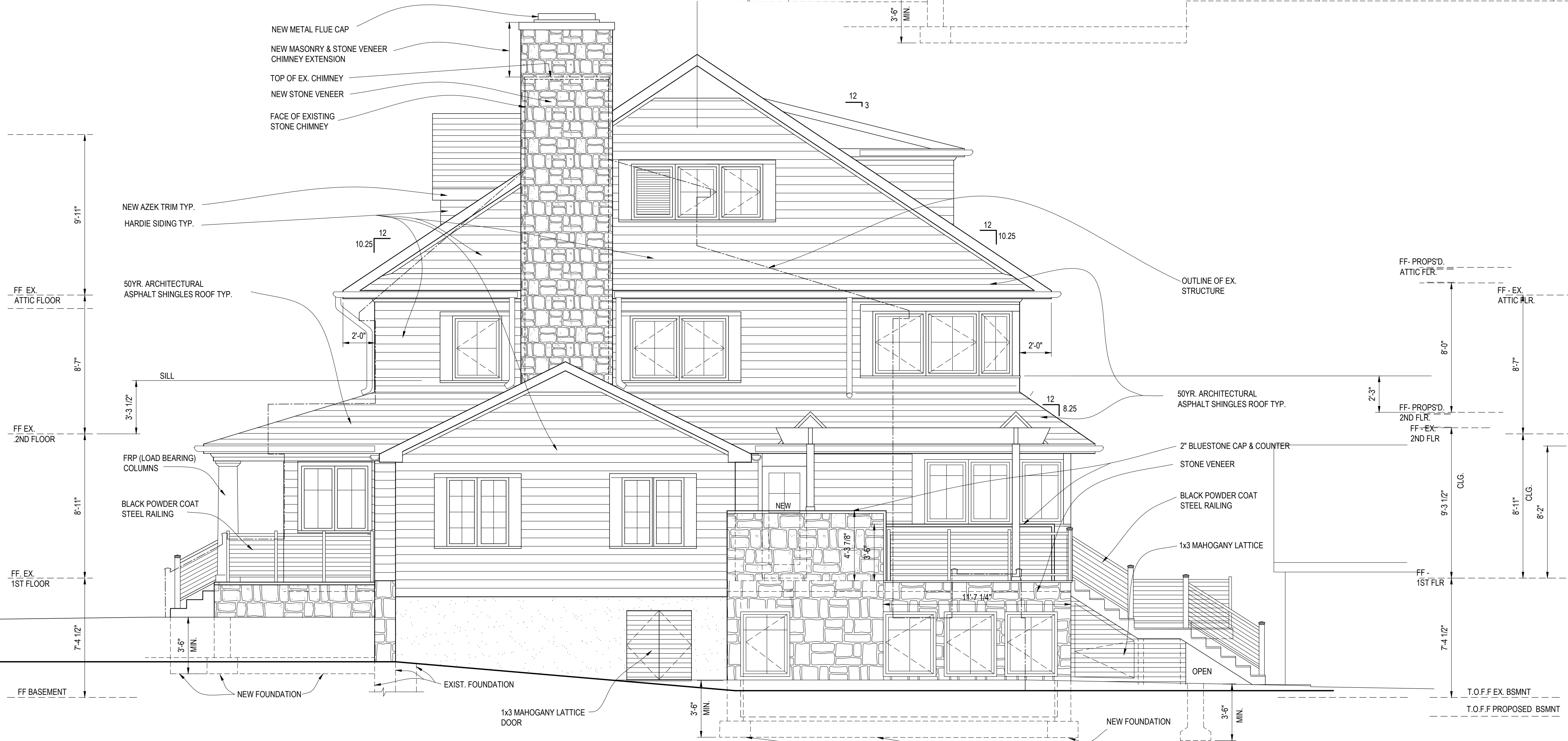
PARTIAL FRONT ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

RESIDENTIAL RENOVATION  
AND ADDITION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

**YESTADT**  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
T 914 834 1641  
F 914 834 1836

NO.	DATE	REVISION
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PROPOSED  
ELEVATIONS

JOB NO.	1936	DRAWING NO.
DATE	00.00.00	
SCALE	AS NOTED	
DRAWN BY	RY/KB	

**A-8**  
PRELIM. DRAWINGS

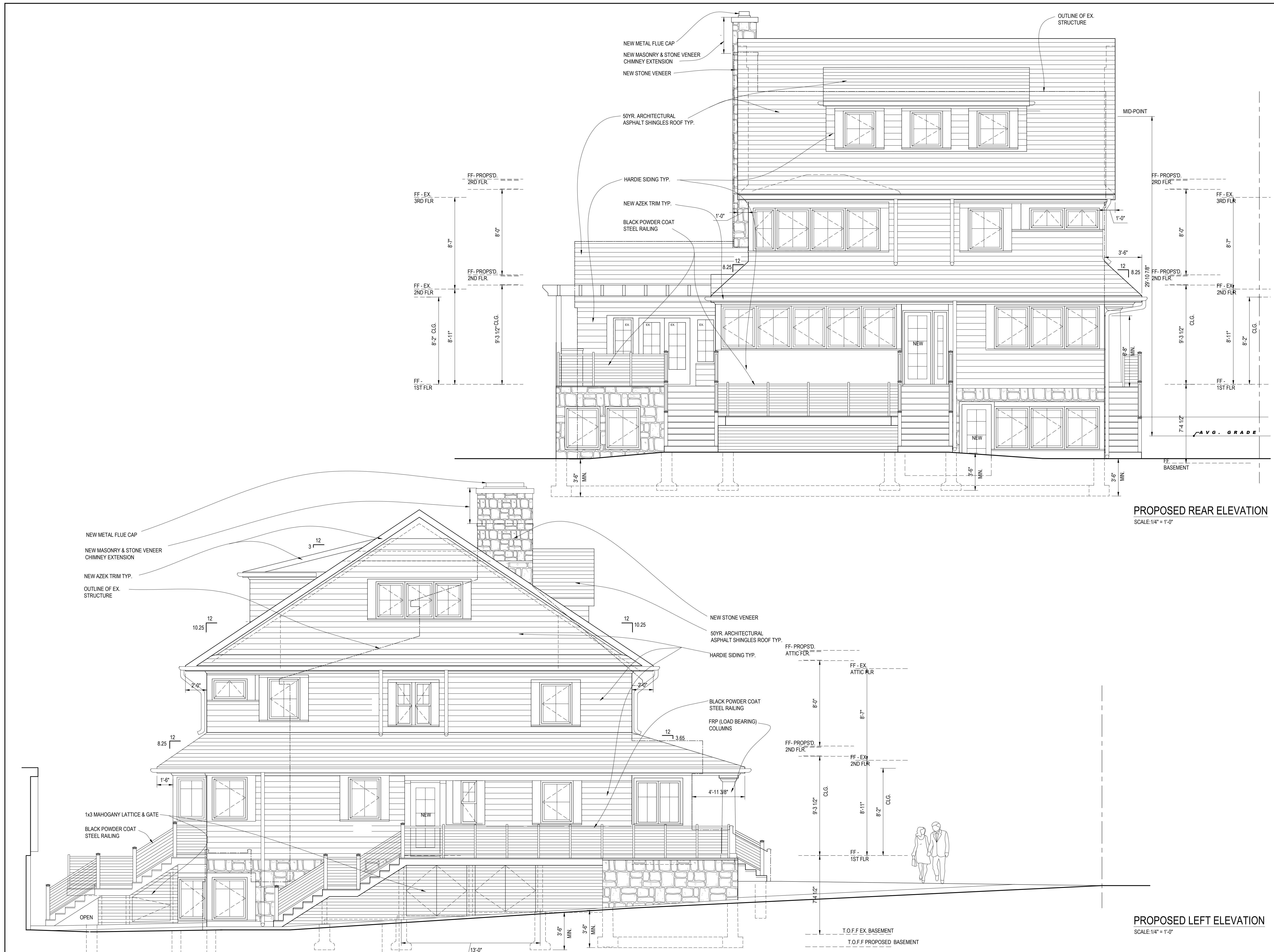
**RESIDENTIAL RENOVATION  
AND ADDITION**

**THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY**

**Y E S T A D T**  
**ARCHITECTURE + DESIGN**  
 17 NORTH CHATSWORTH AVENUE  
 LARCHMONT NY 10538  
 T 914 834 1641  
 F 914 834 1836

NO.	DATE	REVISION
<p style="text-align: center;"><b>PROPOSED ELEVATIONS</b></p>		
<hr/>		
JOB NO.	1936	DRAWING NO.
DATE	00.00.00	
SCALE	AS NOTED	
DRAWN BY	RY/KB	
<p style="text-align: right;"><b>A-9</b></p> <p style="text-align: right;">PRELIM. DRAWINGS</p>		

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**RESIDENTIAL RENOVATION  
AND ADDITION**

**THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY**

**Y E S T A D T**  
**ARCHITECTURE + DESIGN**  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
T 914 834 1641  
F 914 834 1836

ARCHITECTURE + DESIGN |

17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538

LARCHMONT	NT	10338
T	914 834 1641	

F 914 834 1836

SCALE: 1/4" = 1'-0"

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## PROPOSED SECTIONS

JOB NO. 1936 DRAWING NO.  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB  
**A-10**  
PRELIM. DRAWINGS

PRELIM. DRAWINGS



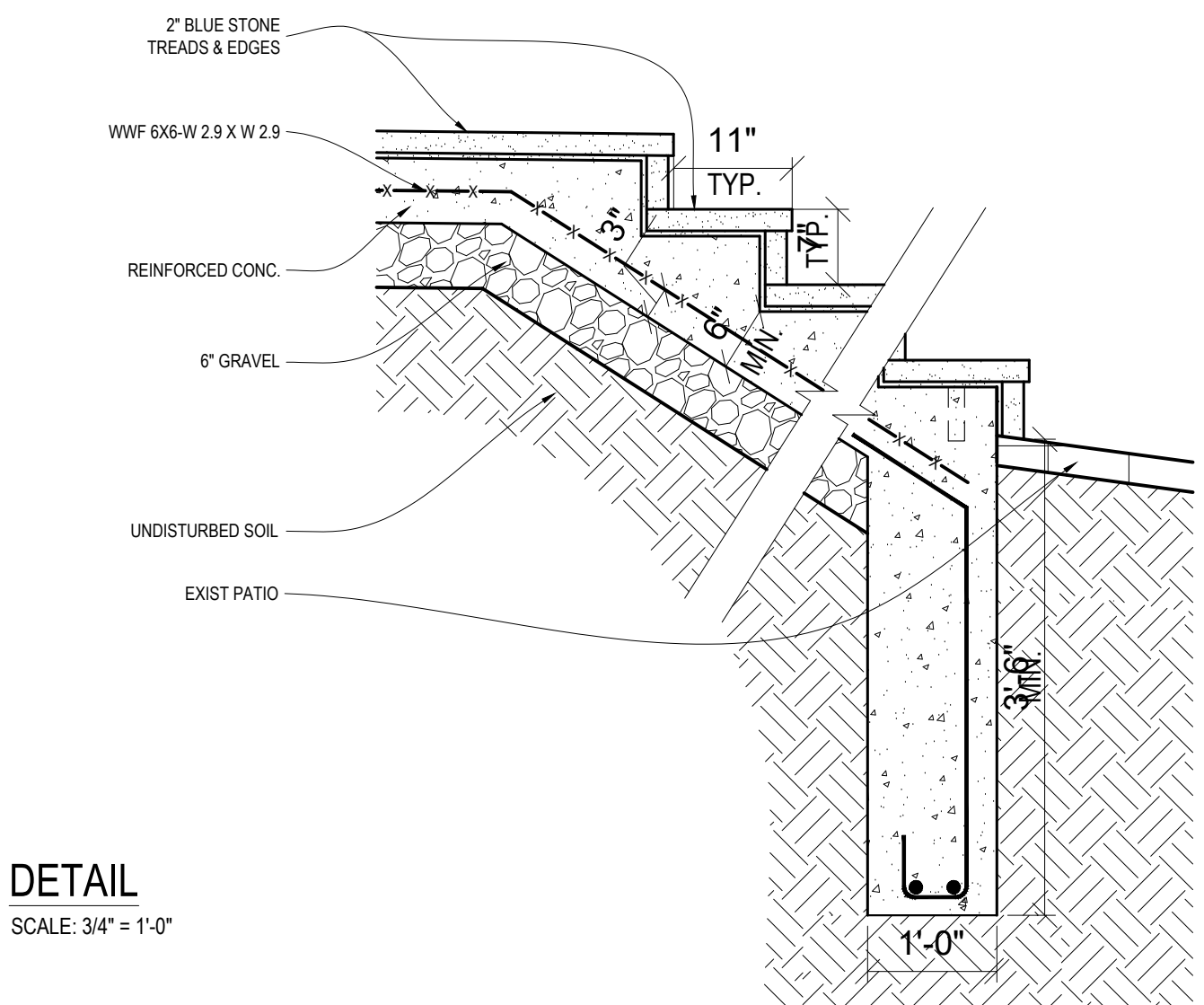
RESIDENTIAL RENOVATION  
AND ADDITION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

YESTADT  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
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T 914 834 1641  
F 914 834 1836



PROPOSED SECTION -2  
SCALE: 1/4" = 1'-0"



DETAIL  
SCALE: 3/4" = 1'-0"

NO.	DATE	REVISION
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PROPOSED  
SECTION & DETAIL

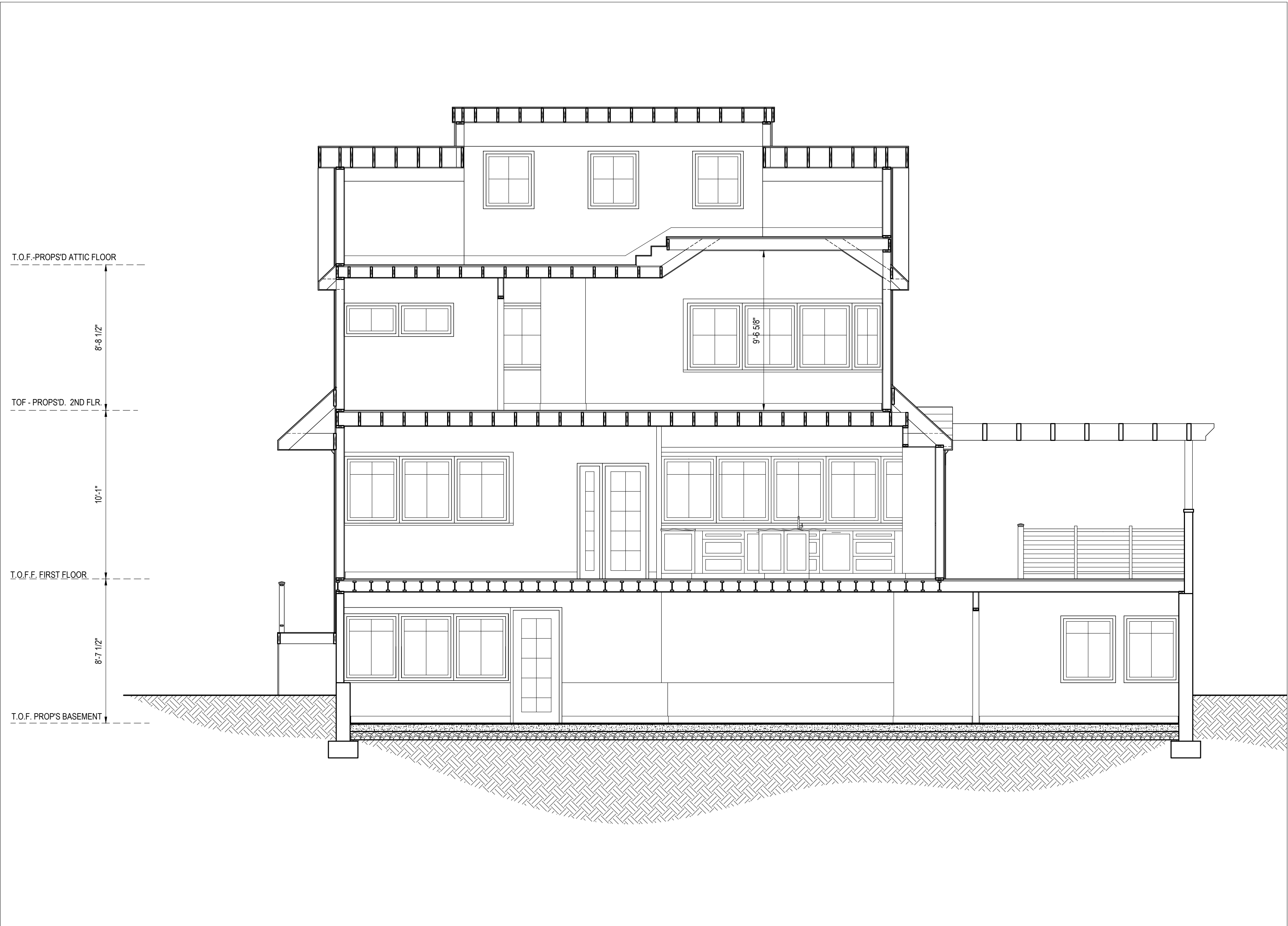
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DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

A-11  
PRELIM. DRAWINGS

RESIDENTIAL RENOVATION  
AND ADDITION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

Y E S T A D T  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
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T 914 834 1641  
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PROPOSED SECTION 3  
SCALE: 1/4" = 1'-0"

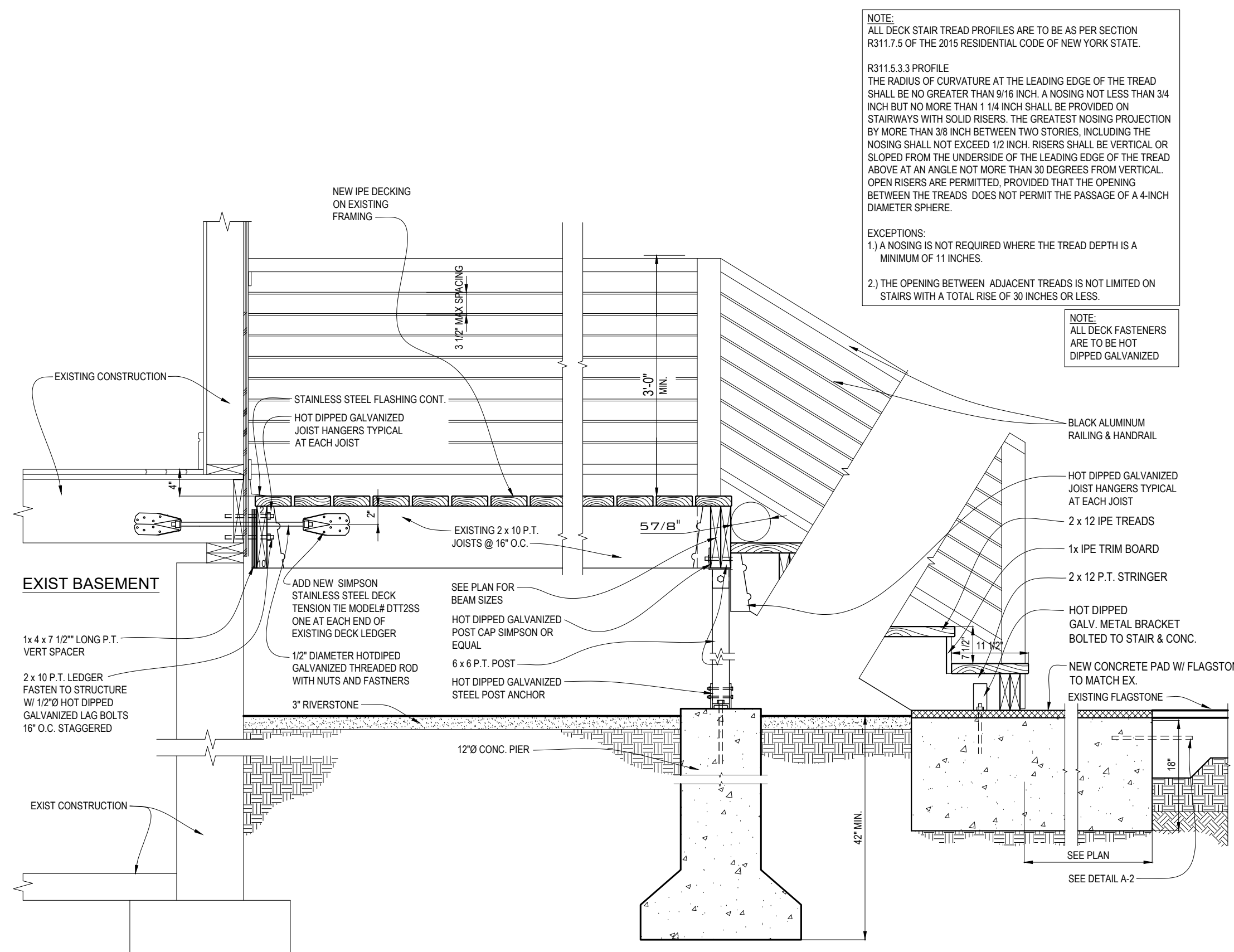
NO.	DATE	REVISION
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PROPOSED  
SECTIONS

JOB NO. 1936 DRAWING NO.  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

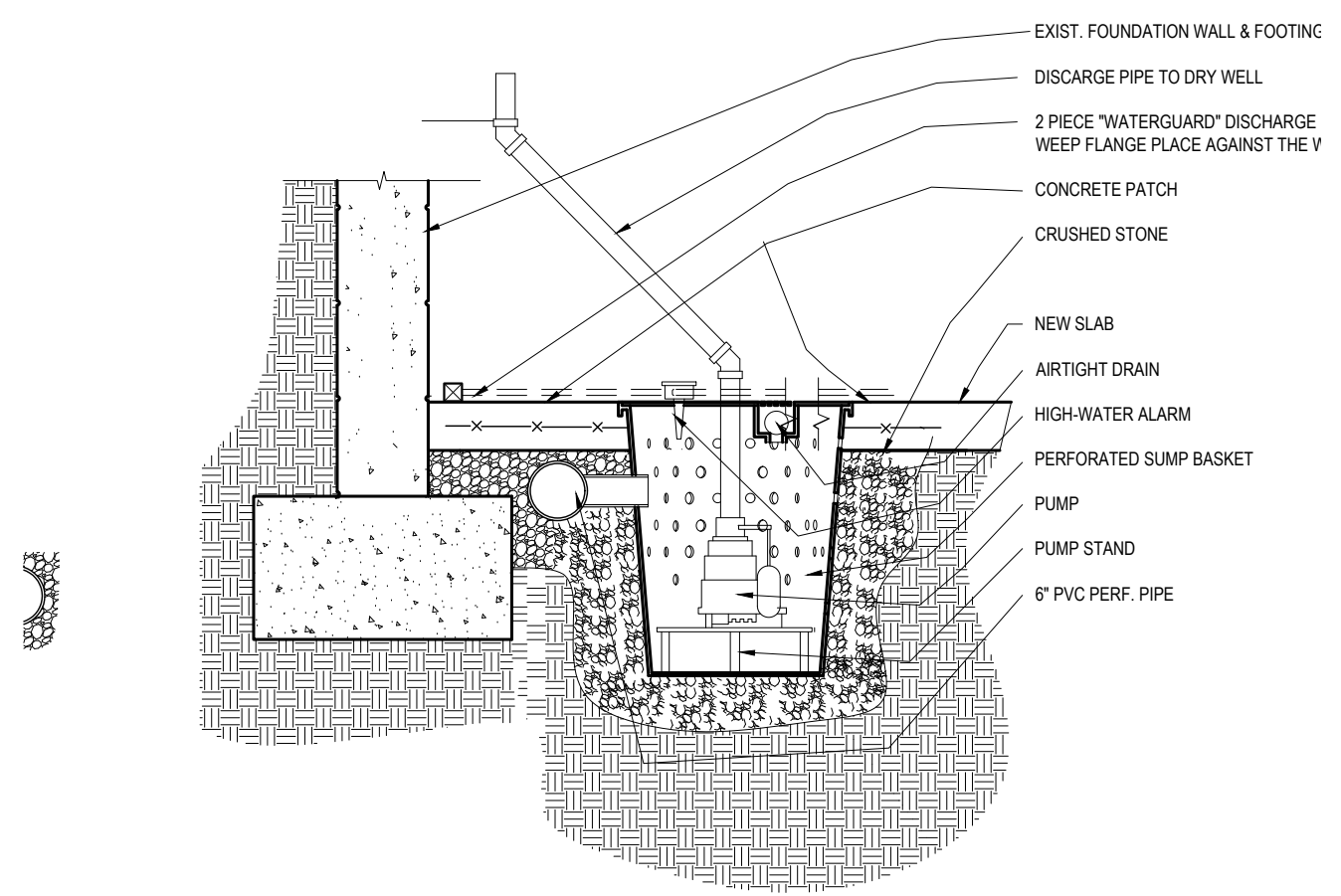
A-12  
PRELIM. DRAWINGS





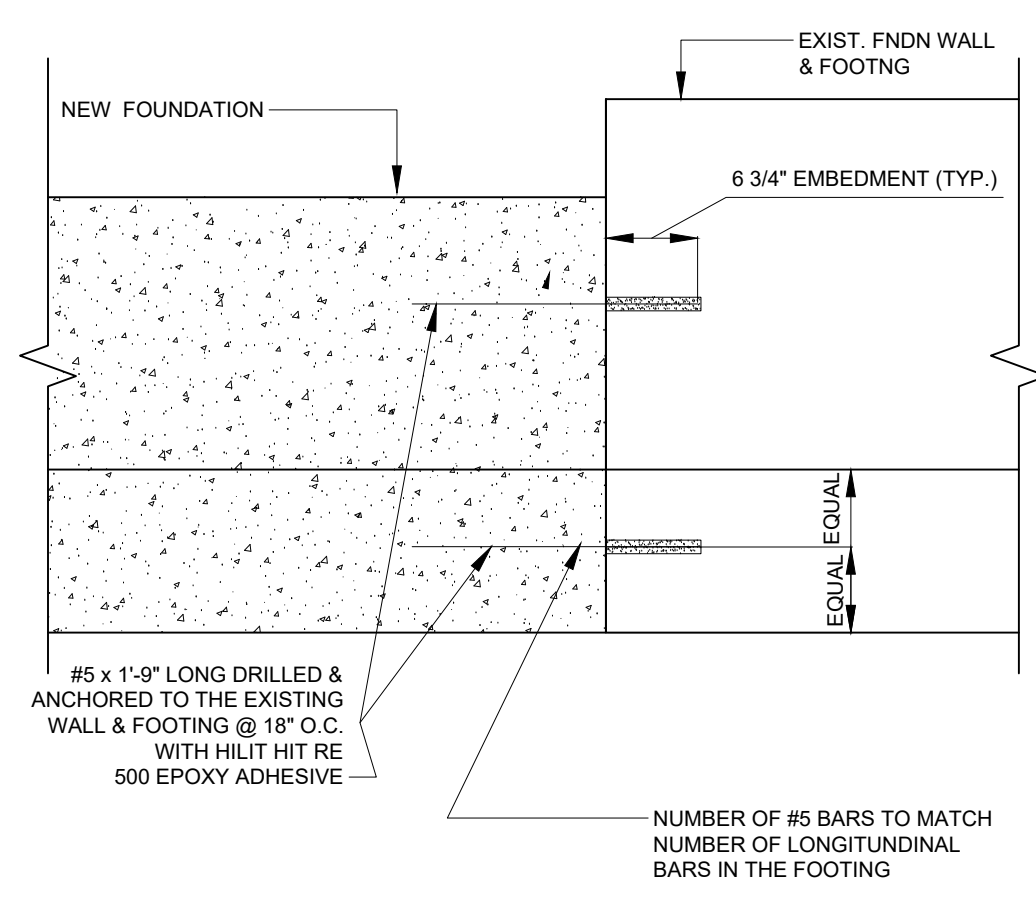
DETAIL - DECK

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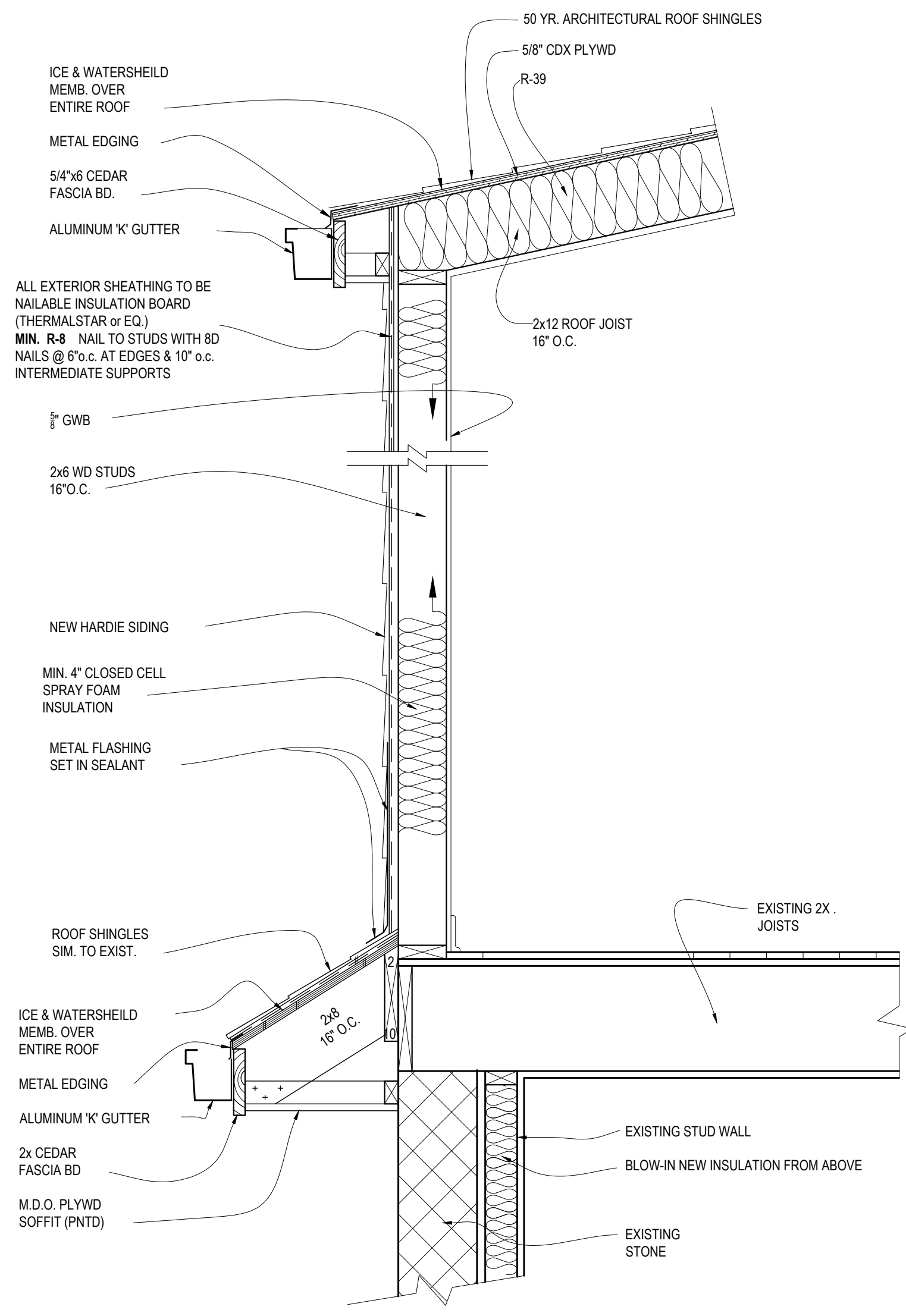
SECTION AT FOUNDATION AT SUMP PUMP

SCALE: 1" = 1'-0"



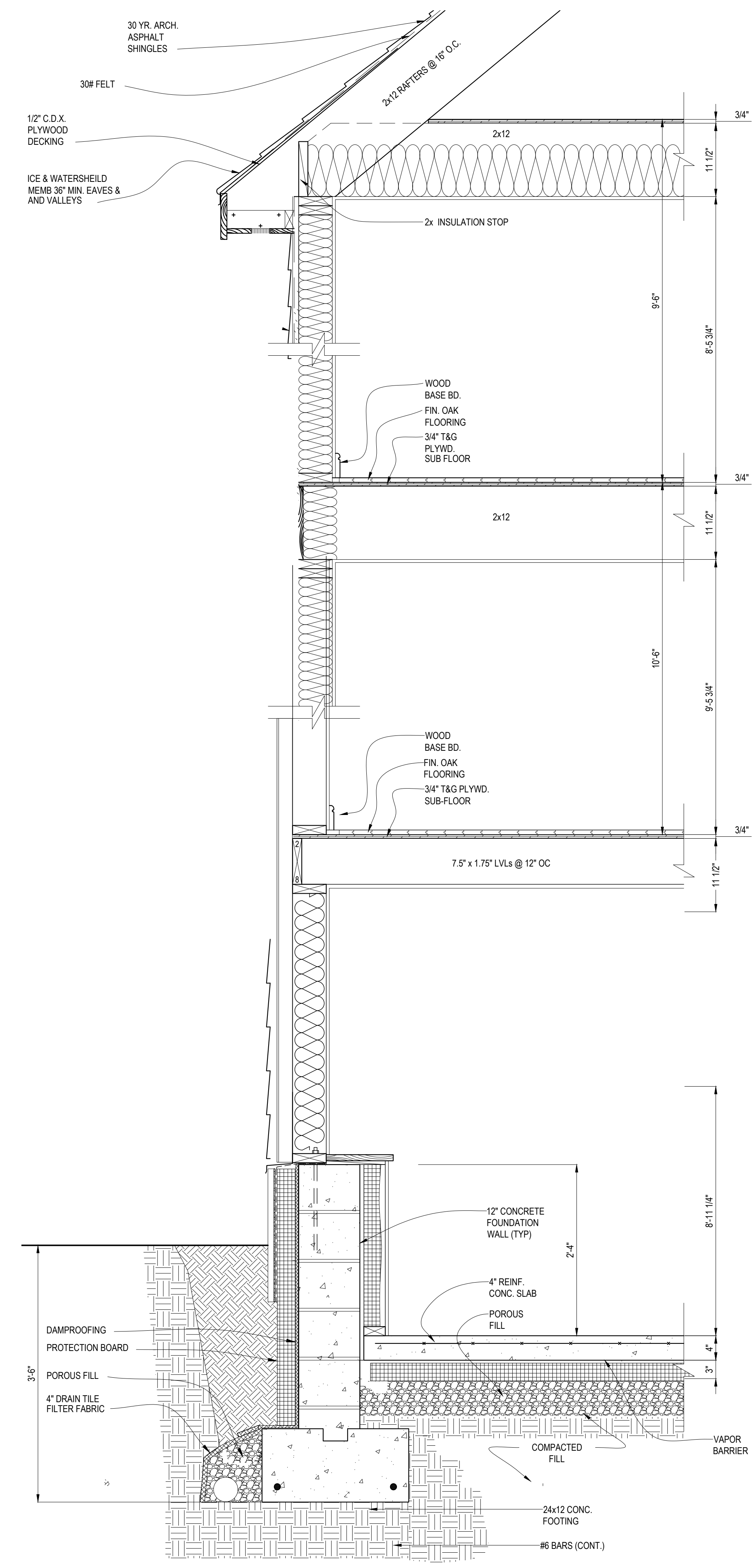
DETAIL - PIN TO EXIST. FOUNDATION

NO SCALE



TYPICAL WALL SECTION

SCALE: 1" = 1'-0"



TYPICAL WALL SECTION

SCALE: 1" = 1'-0"

RESIDENTIAL RENOVATION  
AND ADDITION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

YESTADT  
ARCHITECTURE + DESIGN  
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LARCHMONT NY 10538  
T 914 834 1641  
F 914 834 1836

FOR REVIEW

WALL SECTIONS &  
DETAILS

JOB NO. 1936  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

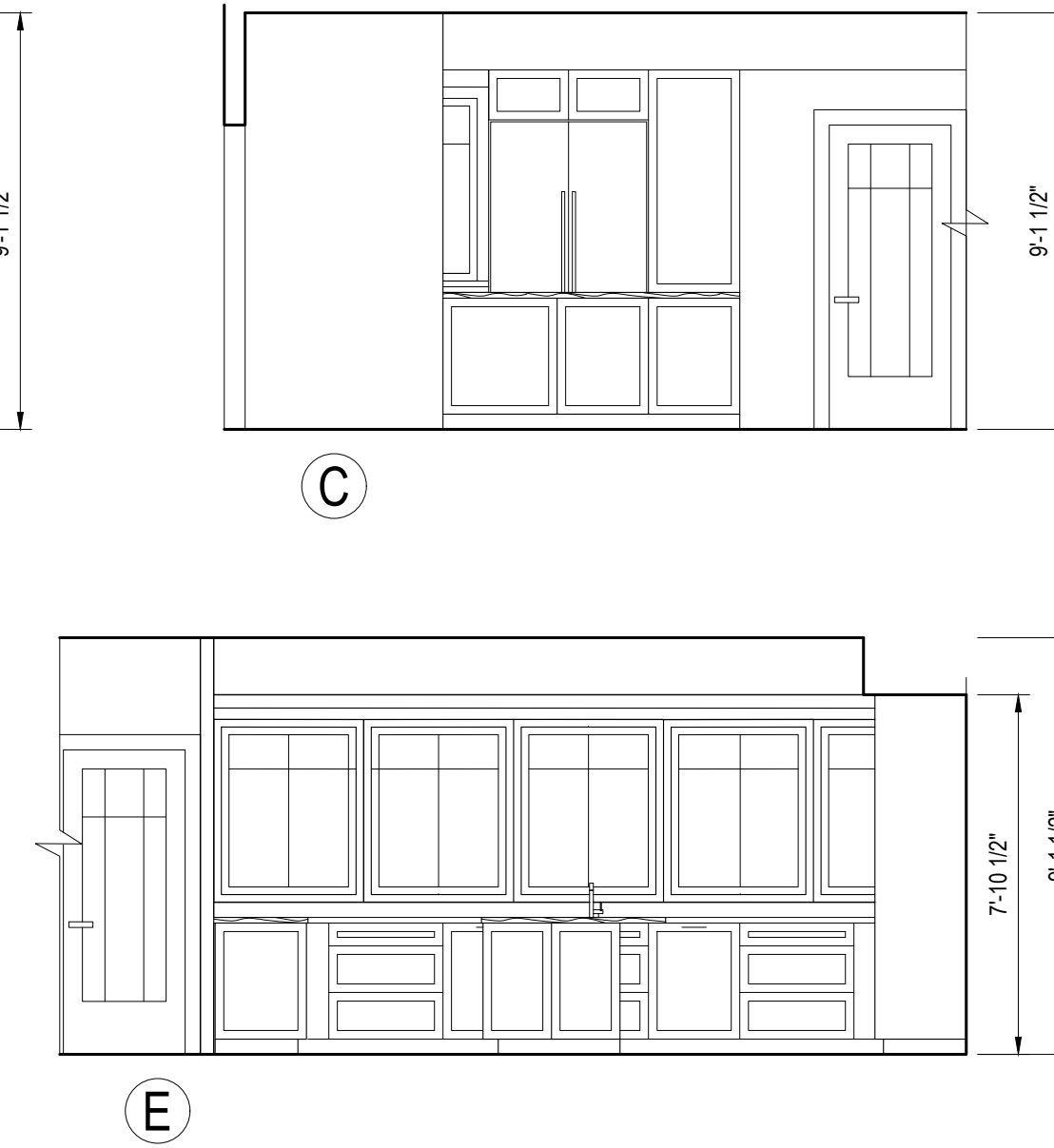
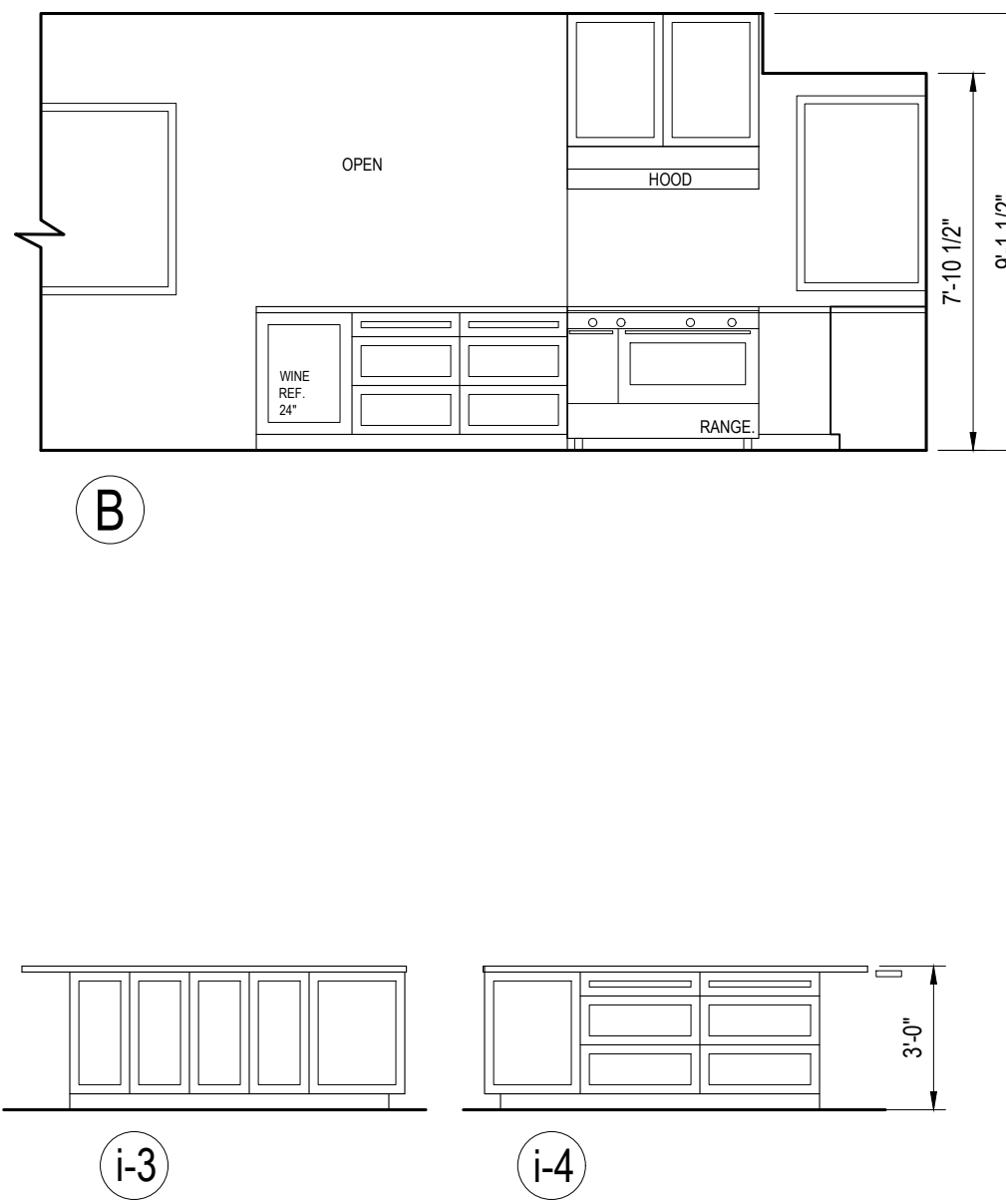
DRAWING NO.

A-13  
PRELIM. DRAWINGS

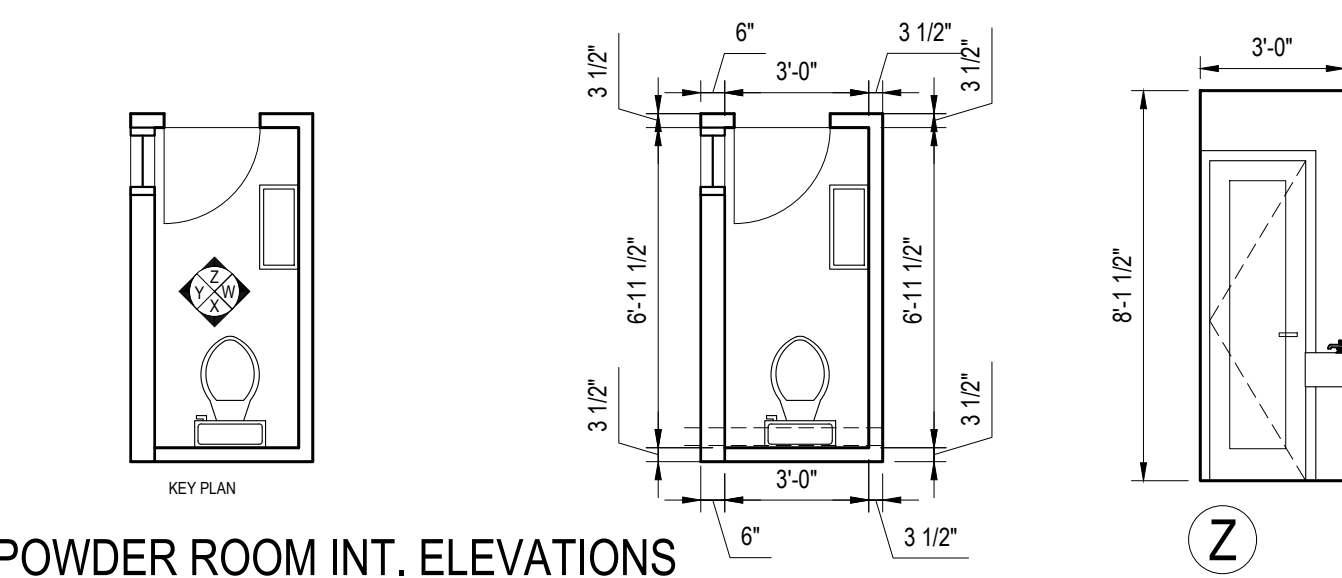
**THE KEATING RESIDENCE**  
**8 HAWTHORNE ROAD**  
**LARCHMONT, NY**

**Y E S T A D T**  
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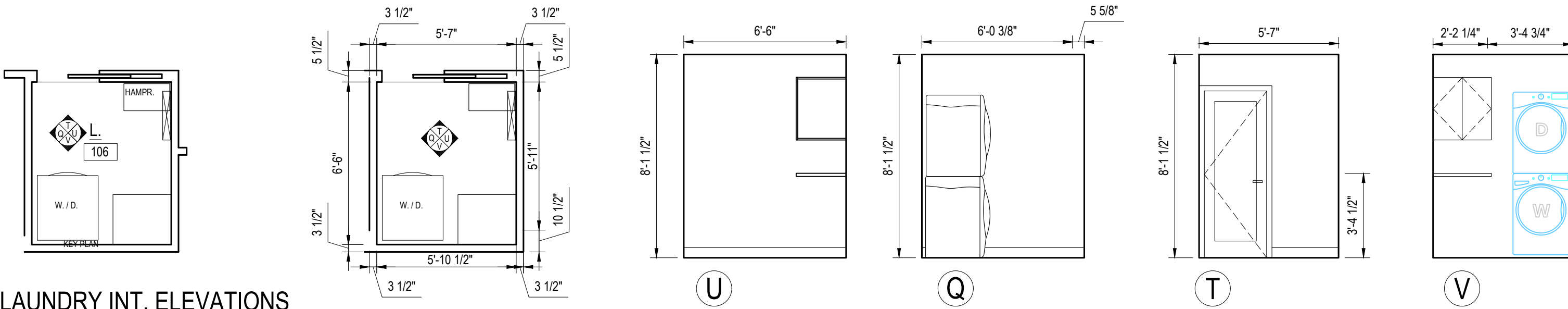
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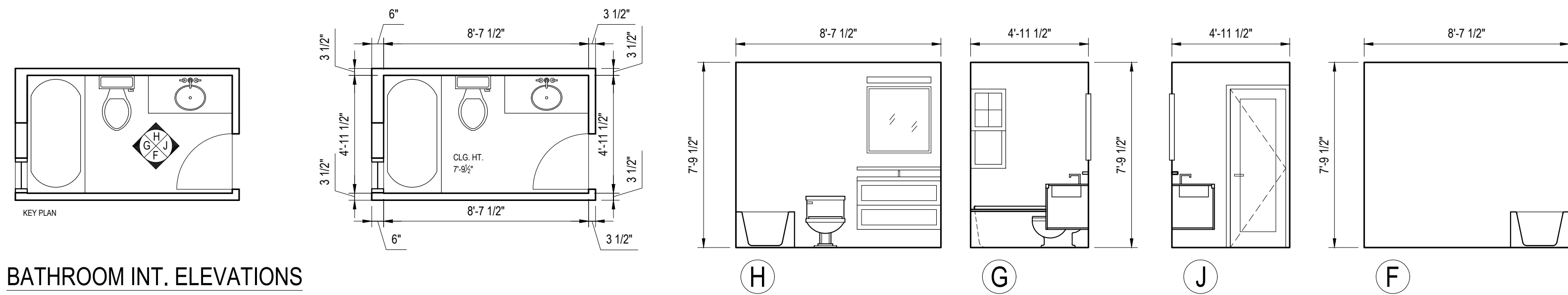
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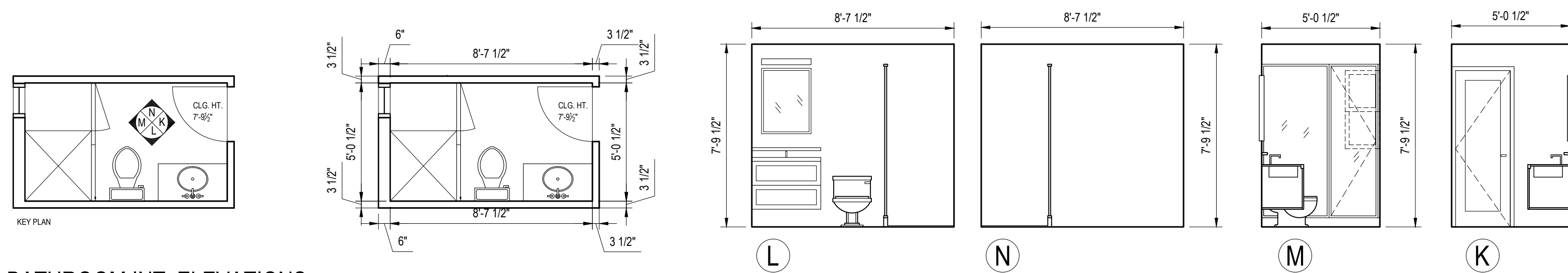
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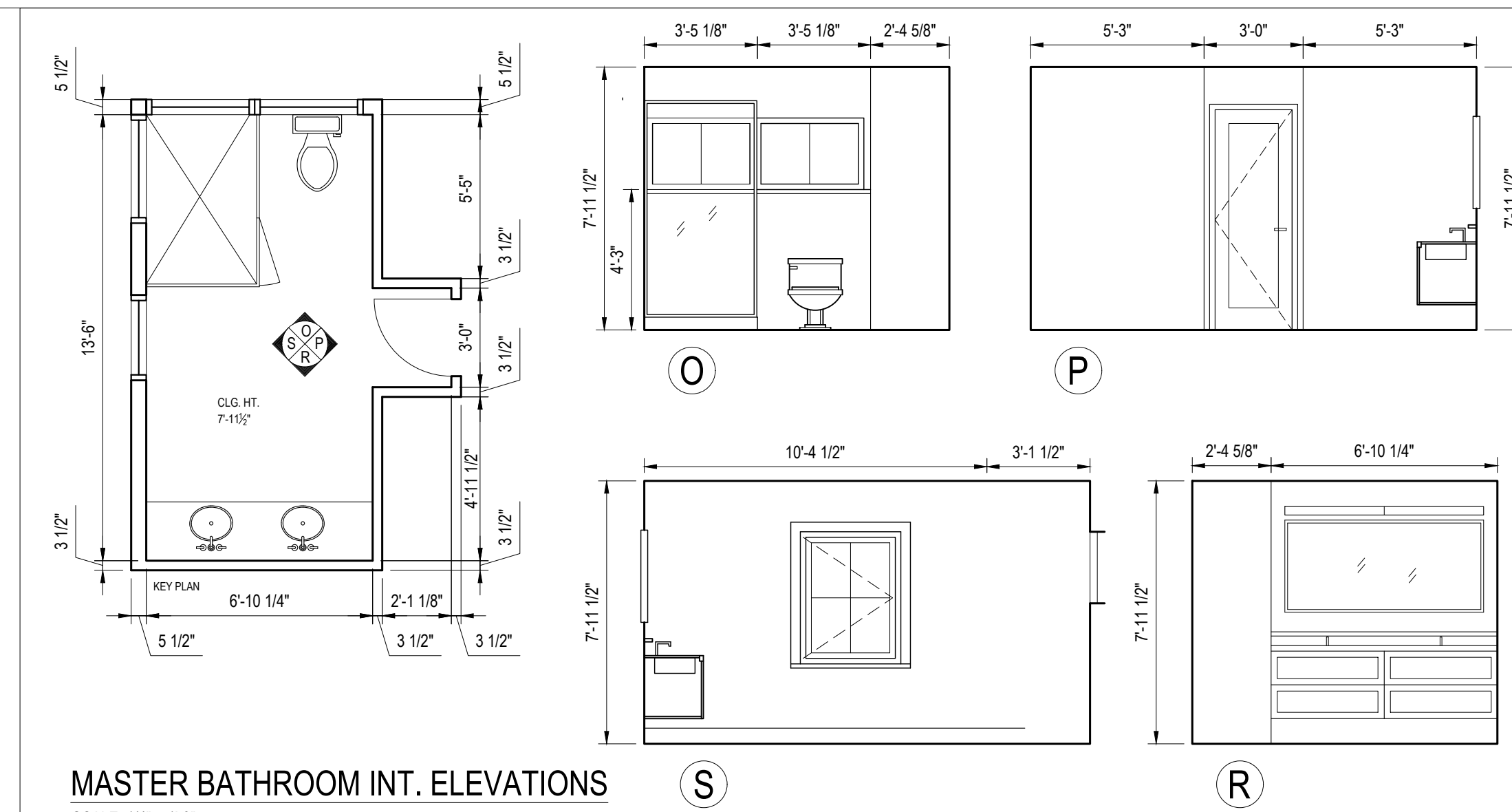
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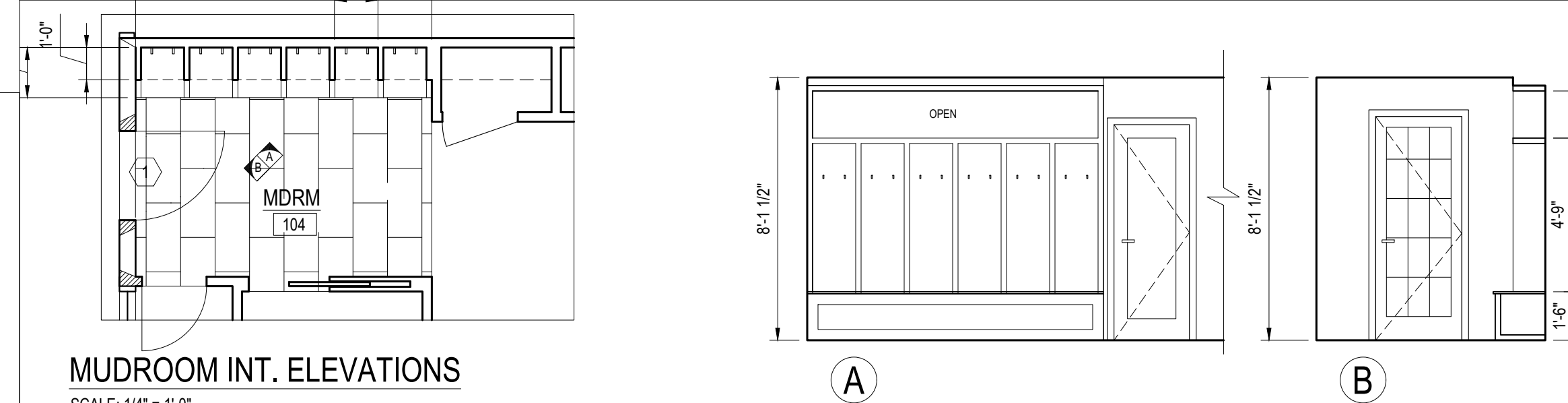
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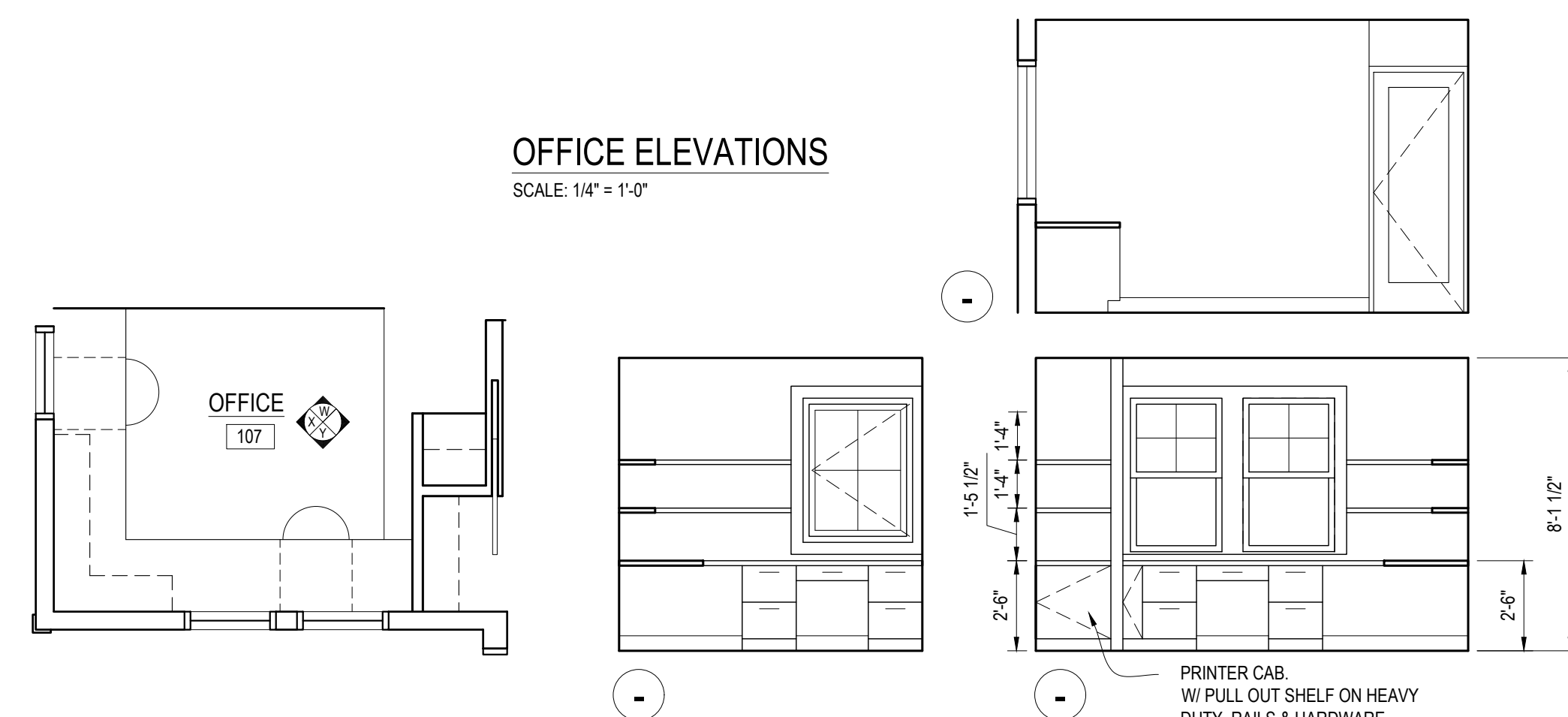
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



NO.	DATE	REVISION
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## PROPOSED INTERIOR ELEVATIONS

JOB NO. 1936 DRAWING NO. **A**  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

**A-14**  
PRELIM. DRAWINGS

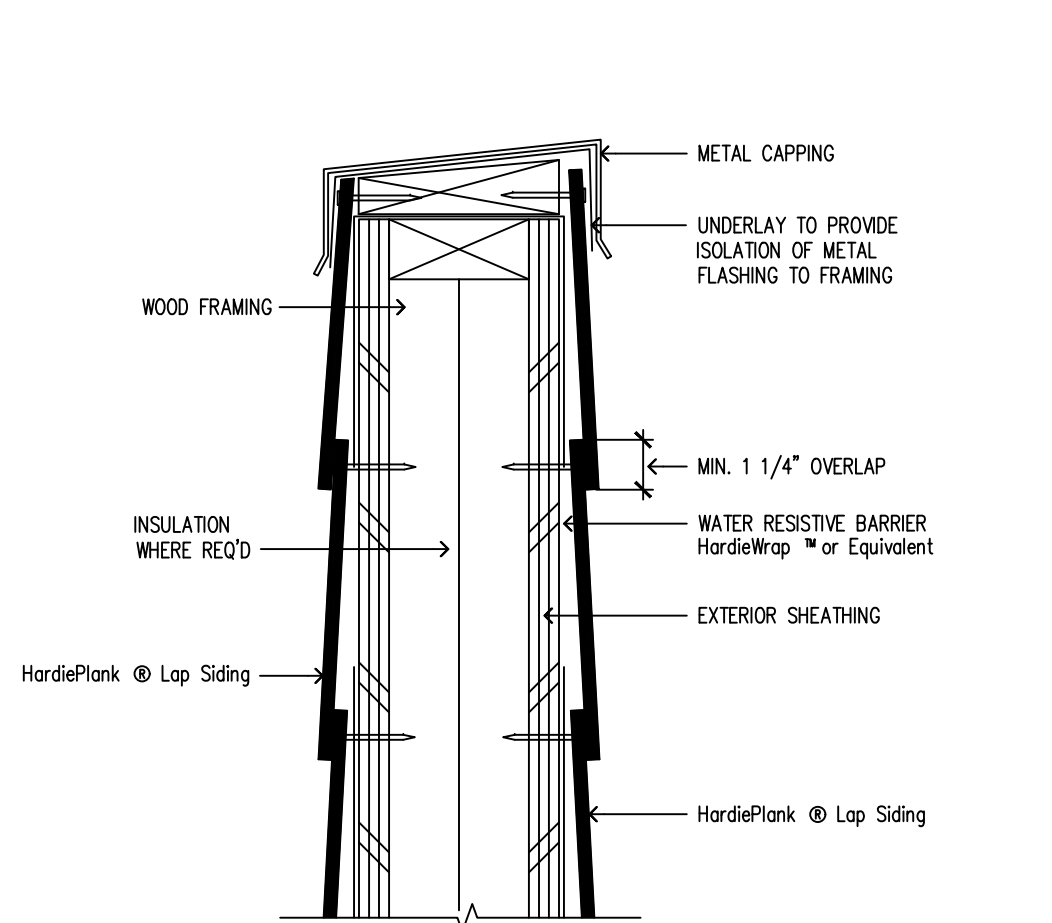


RESIDENTIAL RENOVATION  
AND ADDITION

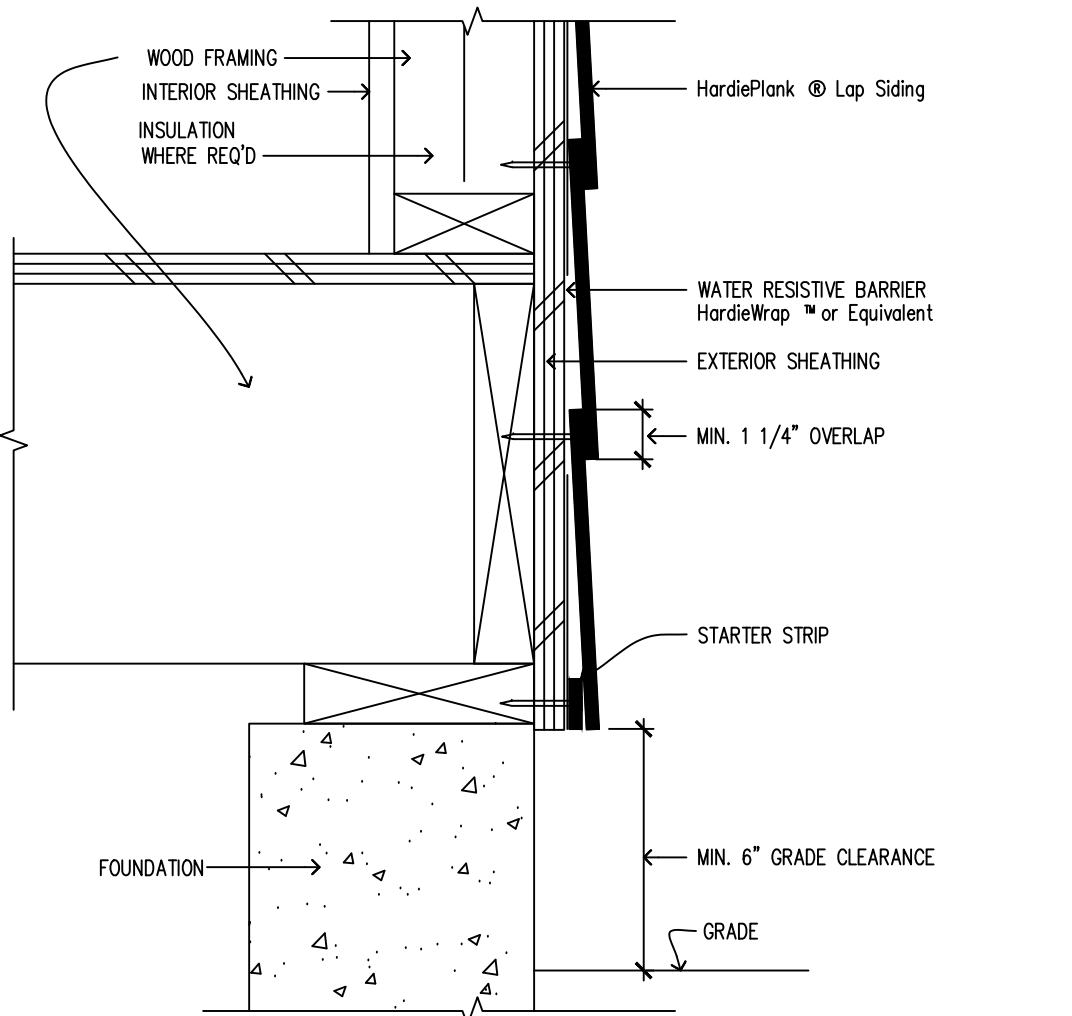
THE KEATING RESIDENCE  
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LARCHMONT, NY

YESTADT  
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17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
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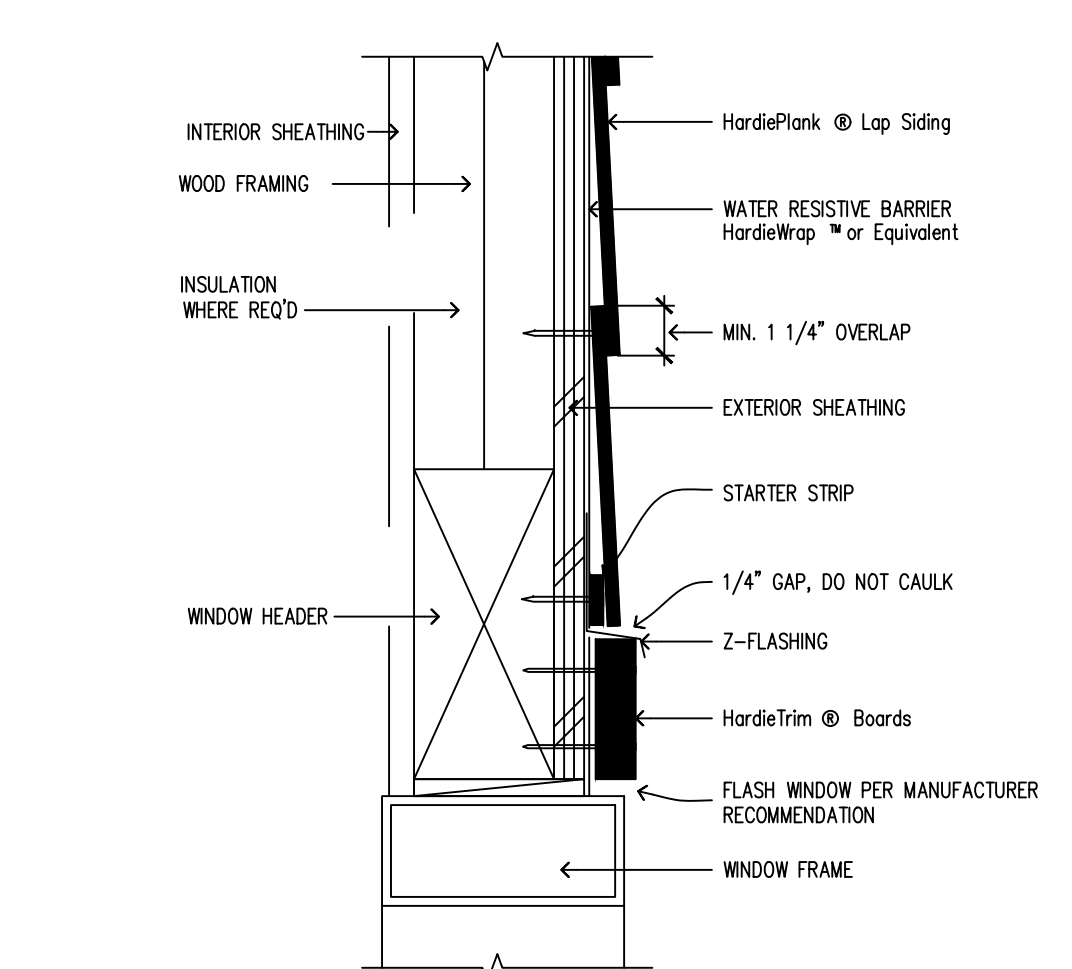
KEY PLAN



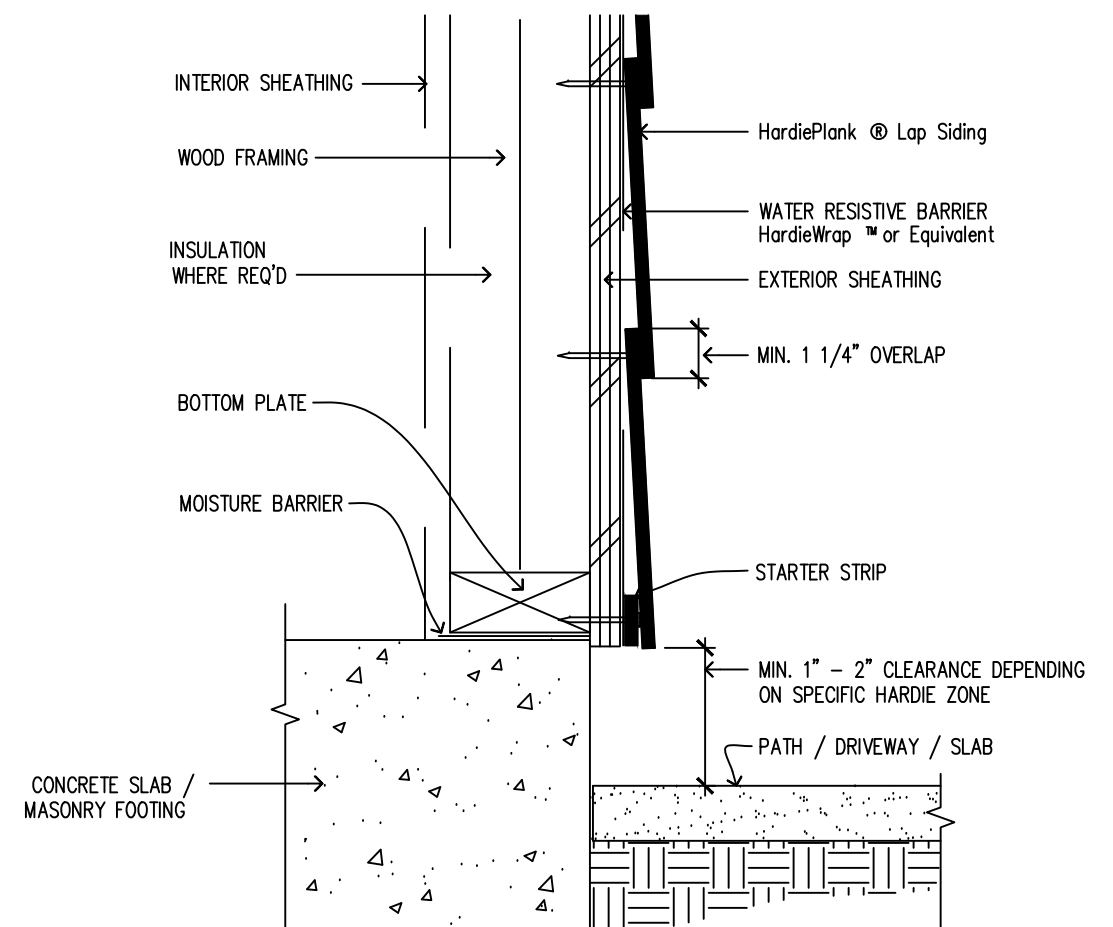
9 PARAPET  
SCALE: 3\"/>



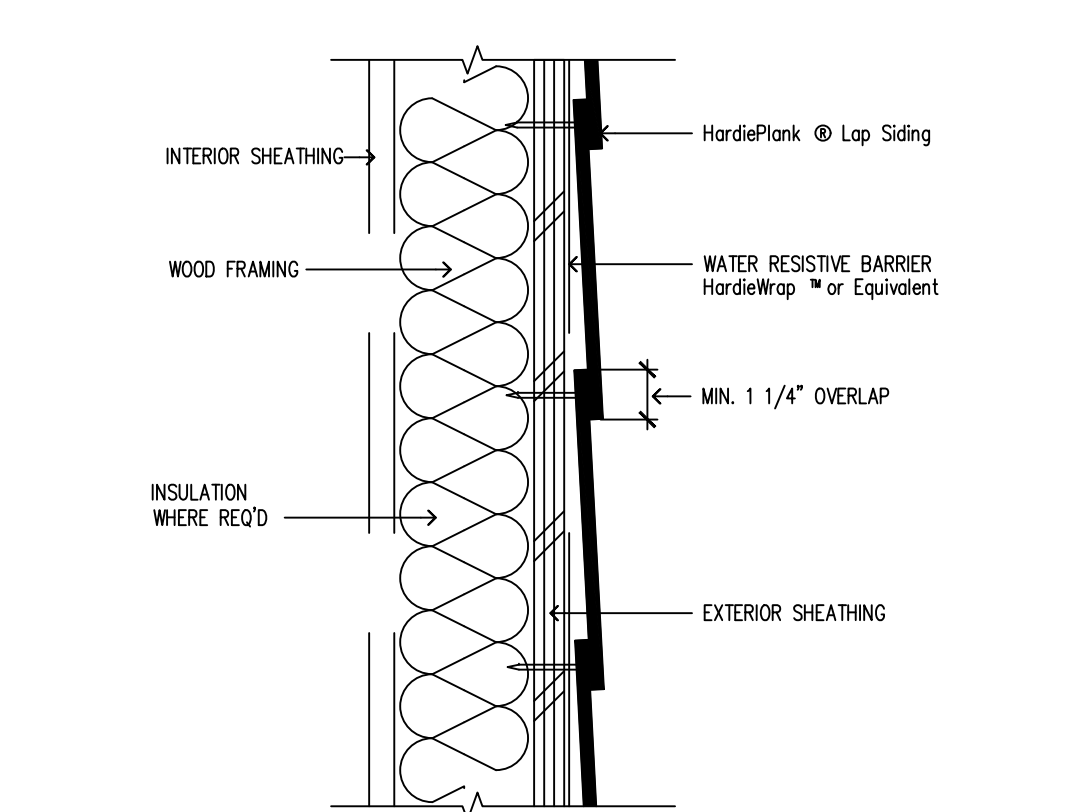
6 GRADE CLEARANCE  
SCALE: 3\"/>



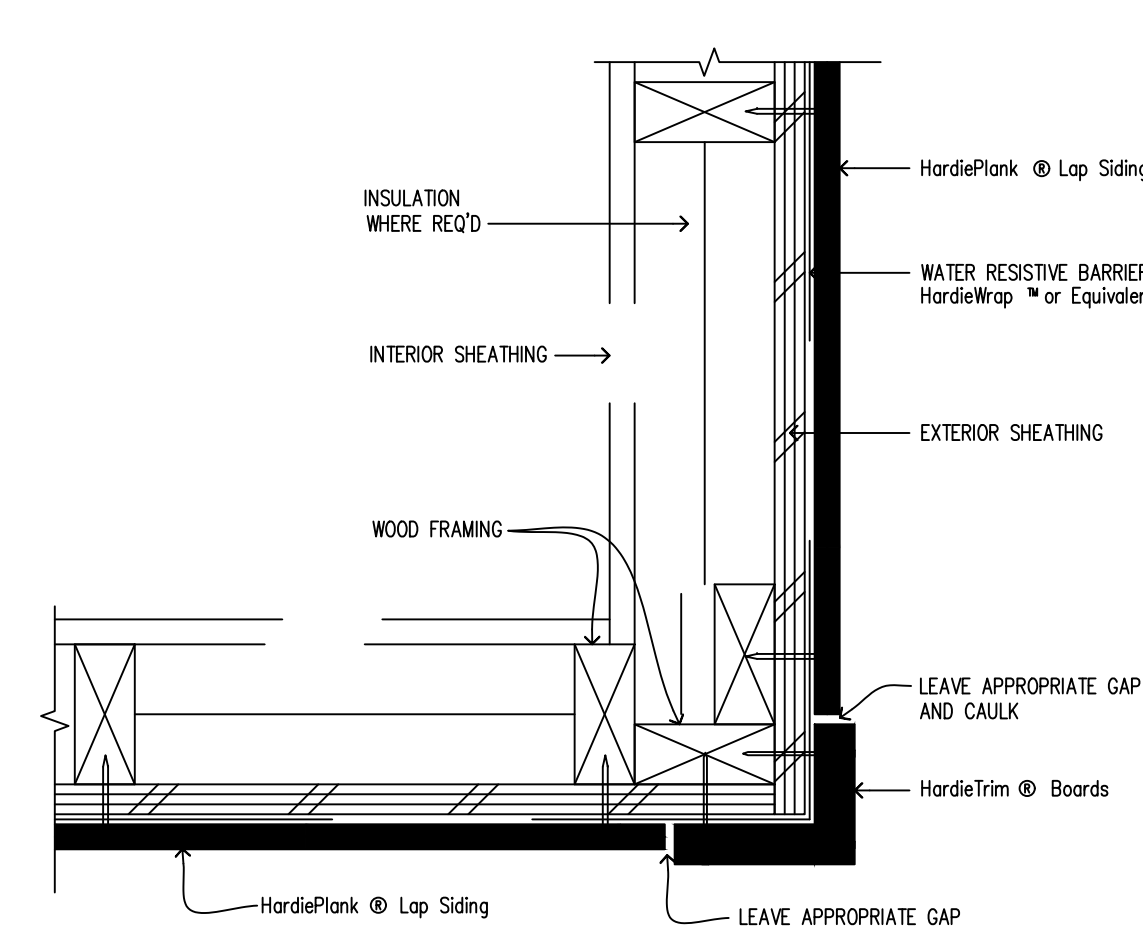
3 WINDOW/DOOR HEAD  
SCALE: 3\"/>



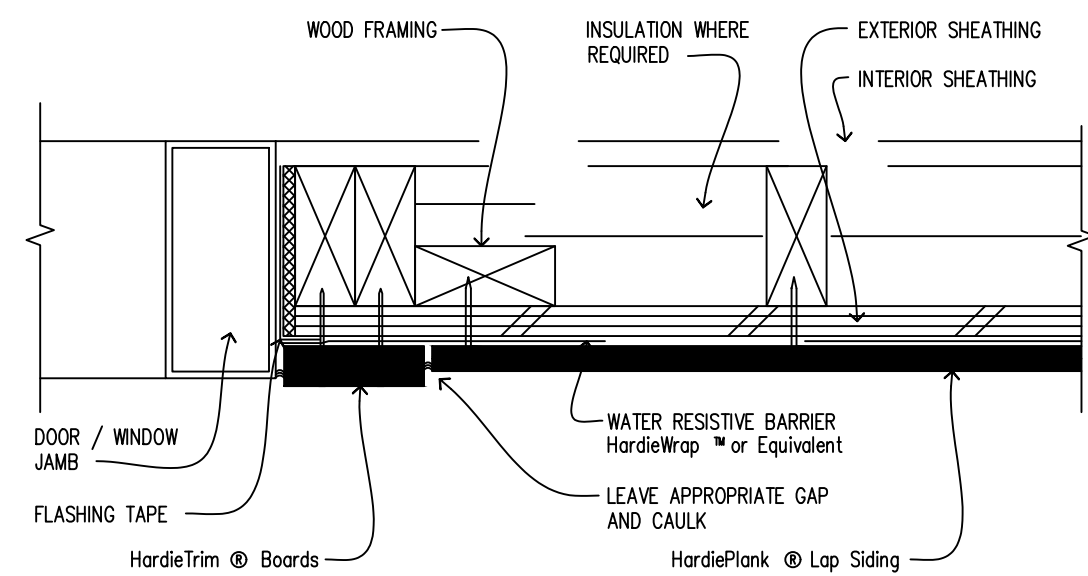
8 HARDSCAPE CLEARANCES, DECKS,  
PORCHES, PATIOS, WALKWAYS, ROOFS, ETC.  
SCALE: 1/2\"/>



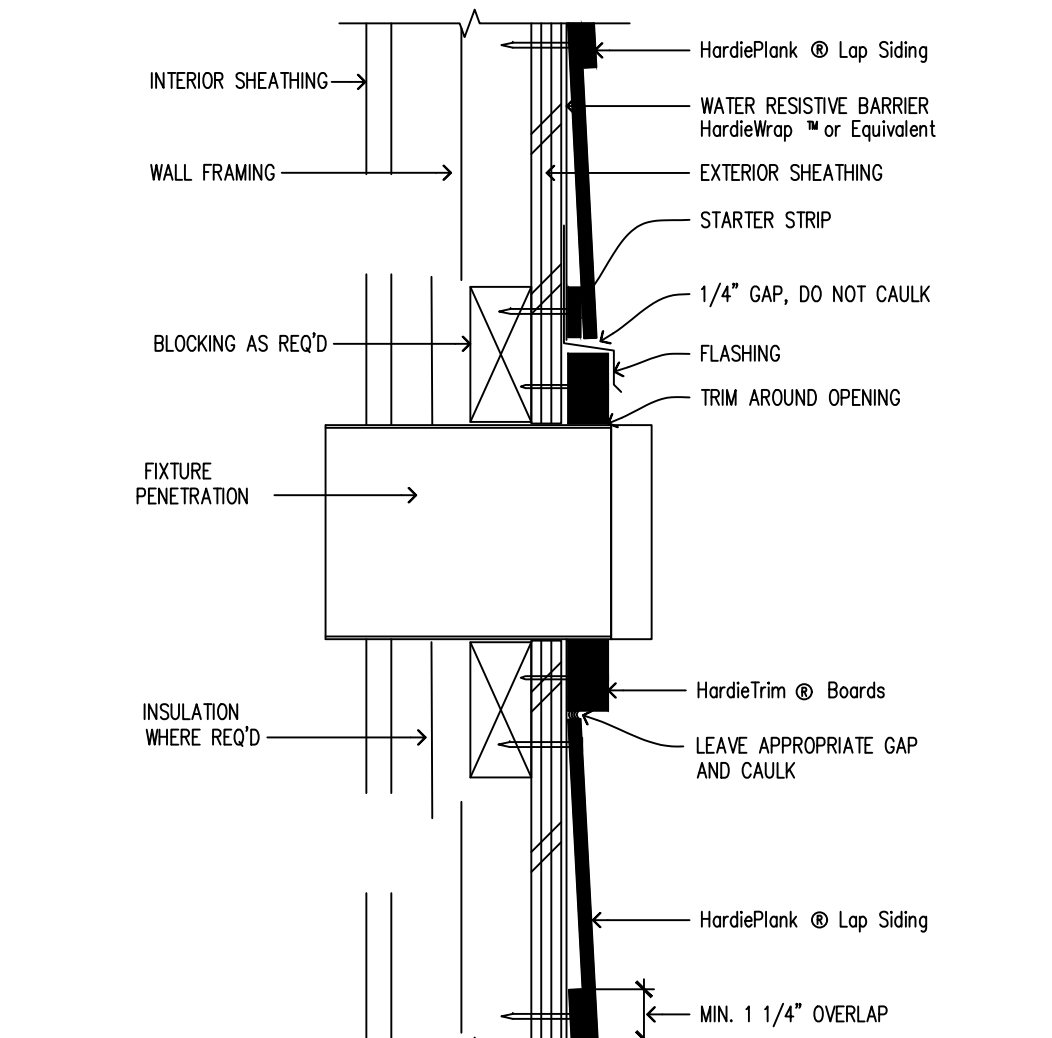
5 HORIZONTAL LAP VIEW  
SCALE: 3\"/>



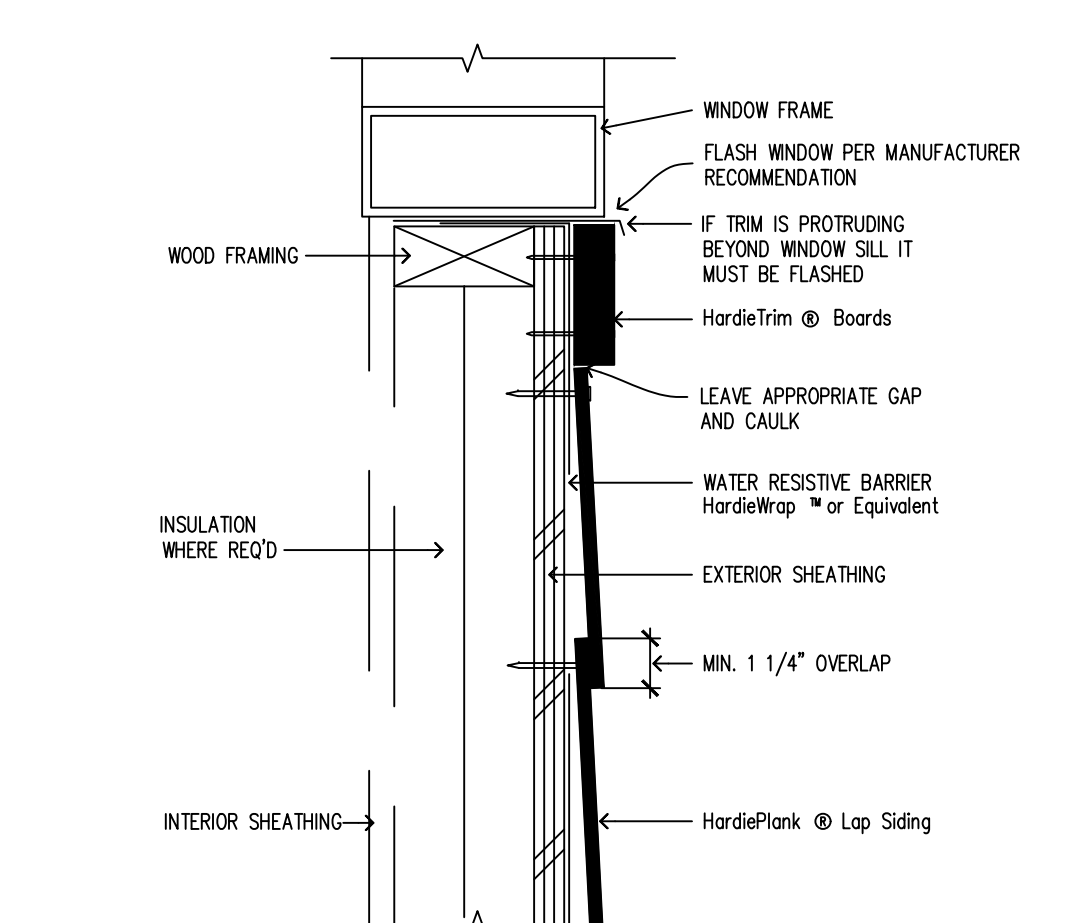
2 OUTSIDE CORNER  
SCALE: 3\"/>



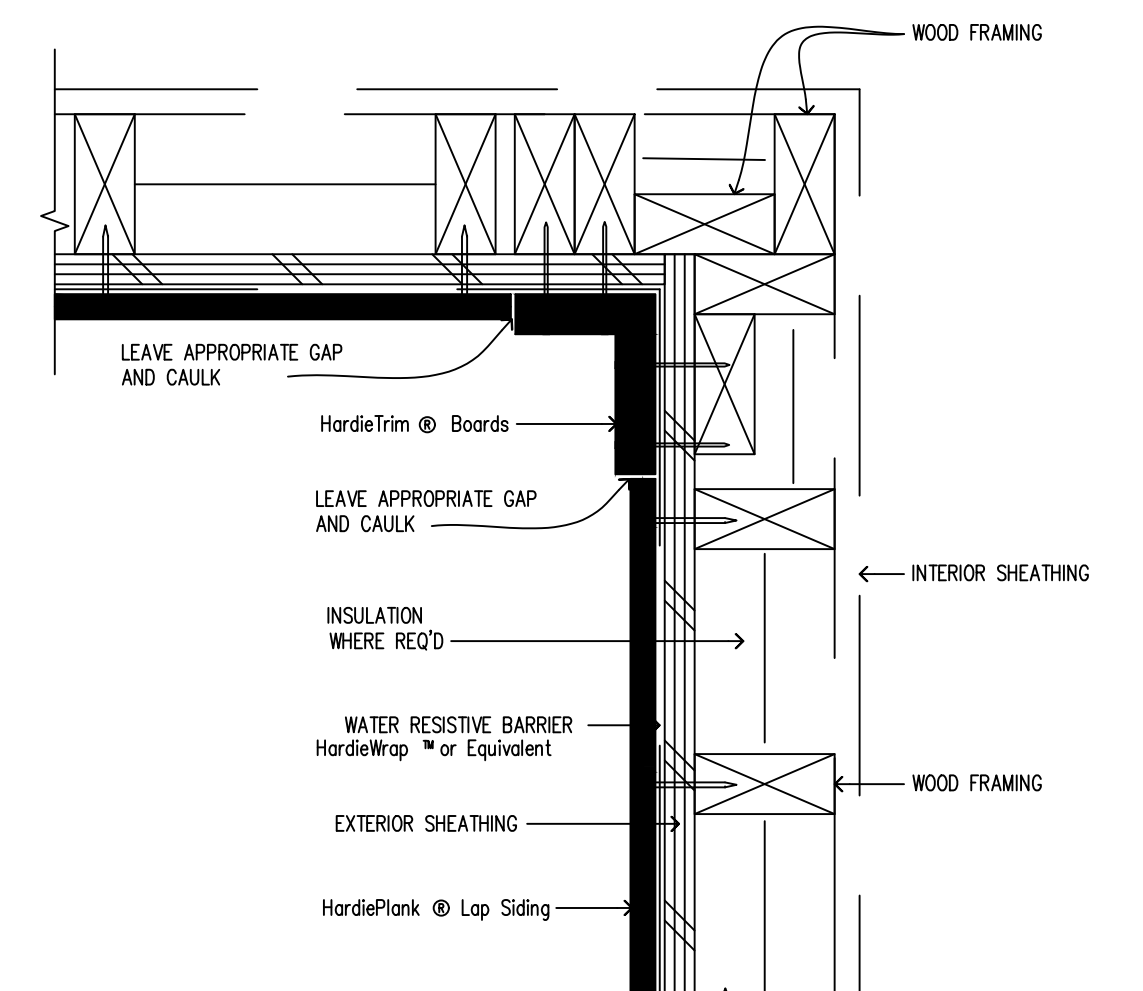
10 DOOR / WINDOW JAMB  
SCALE: 3\"/>



7 FIXTURE PENETRATION  
SCALE: 3\"/>



4 WINDOW SILL  
SCALE: 3\"/>



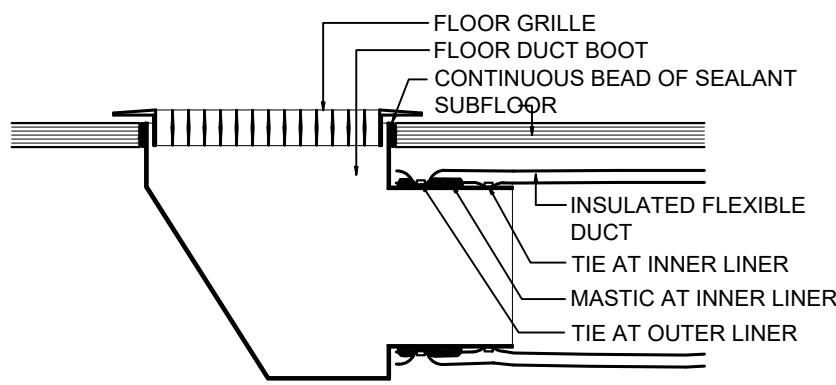
1 INSIDE CORNER  
SCALE: 3\"/>

NO.	DATE	REVISION
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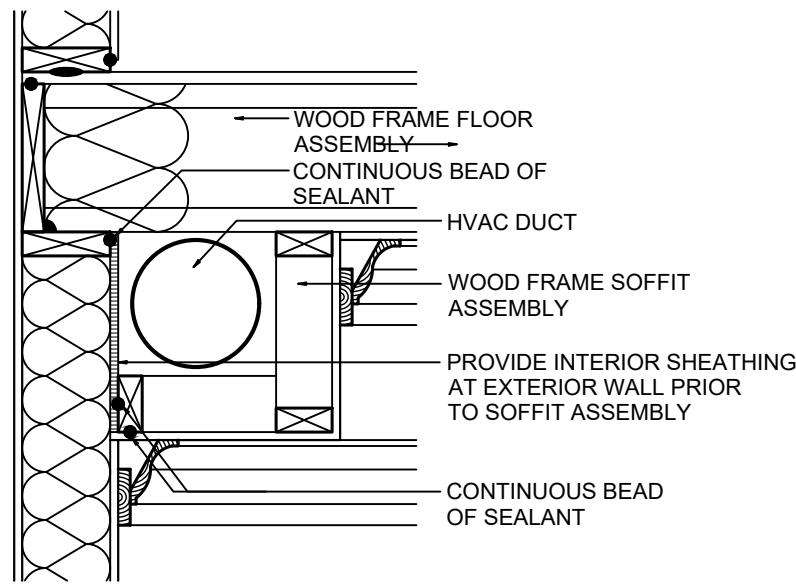
SIDING DETAILS

JOB NO.	1936	DRAWING NO.
DATE	00.00.00	
SCALE	AS NOTED	
DRAWN BY	RY/KB	

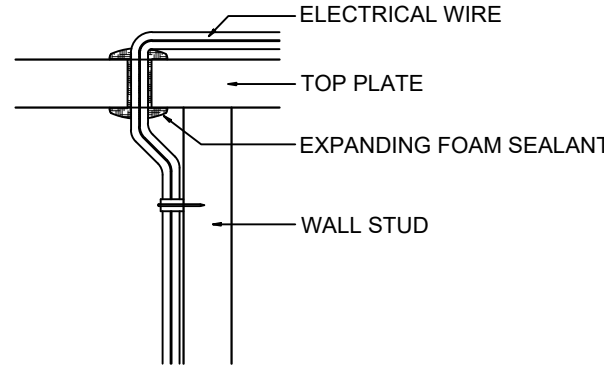
A-15  
PRELIM. DRAWINGS



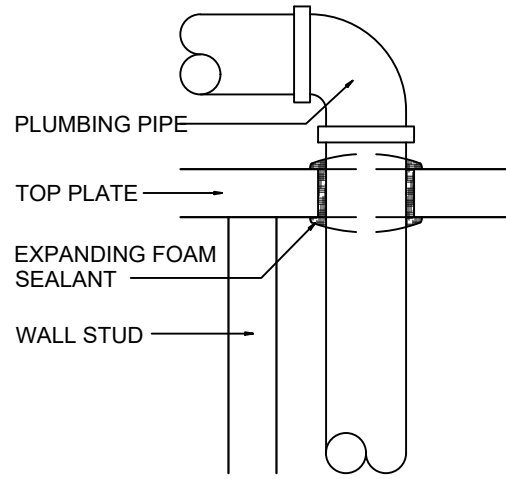
AIR SEAL AT DUCT BOOT



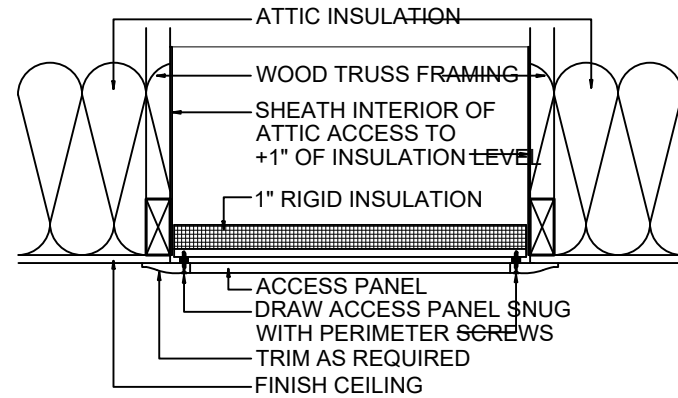
AIR SEAL AT DUCT SOFFIT



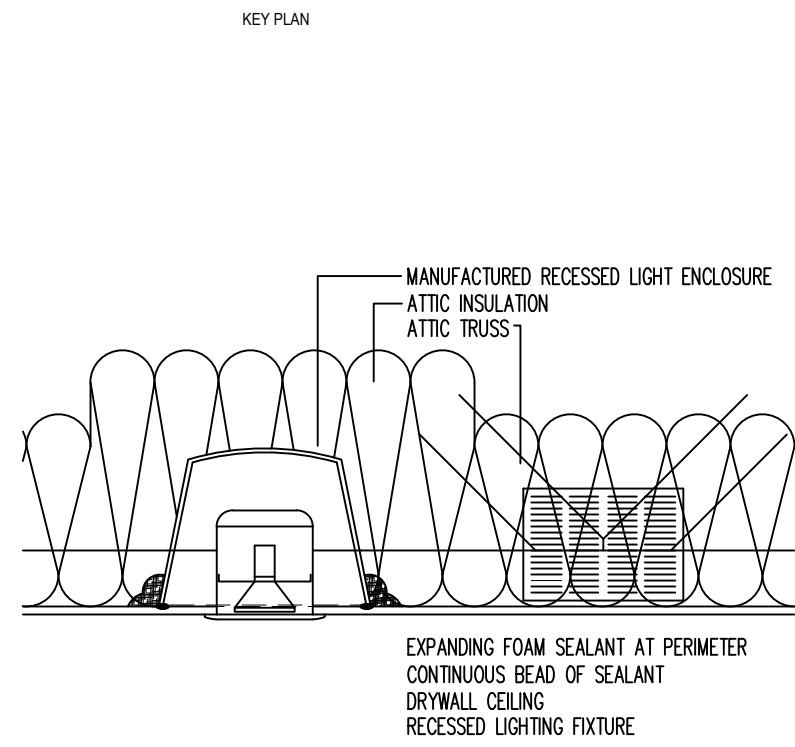
AIR SEAL AT TOP PLATE ELECTRICAL PENETRATION



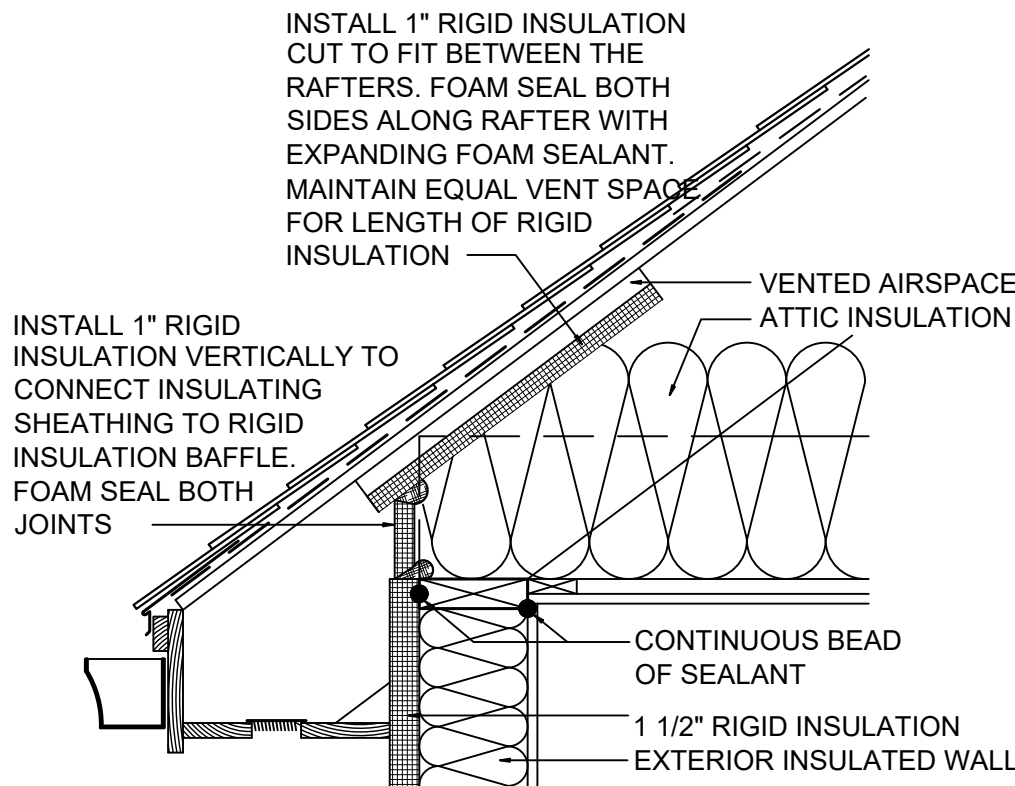
AIR SEAL AT TOP PLATE PIPE PENETRATION



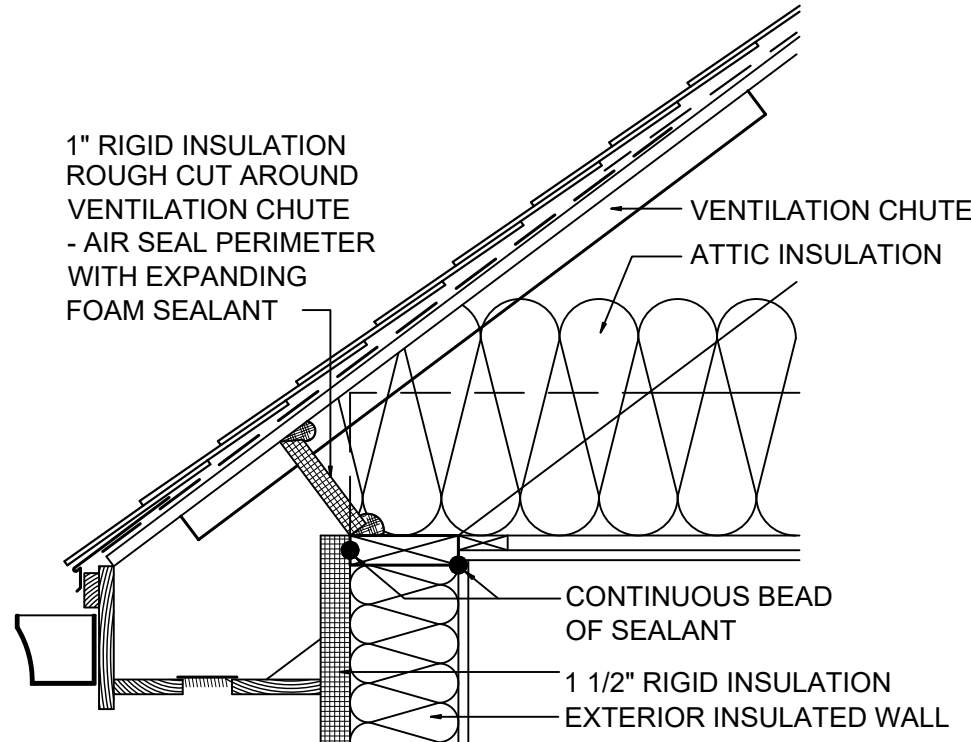
AIR SEALING AT ATTIC HATCH // FINISH SCREWS



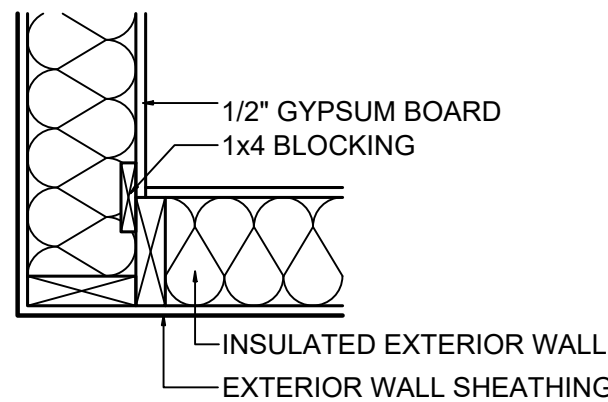
AIR SEALING AT RECESSED LIGHTING IN ATTIC



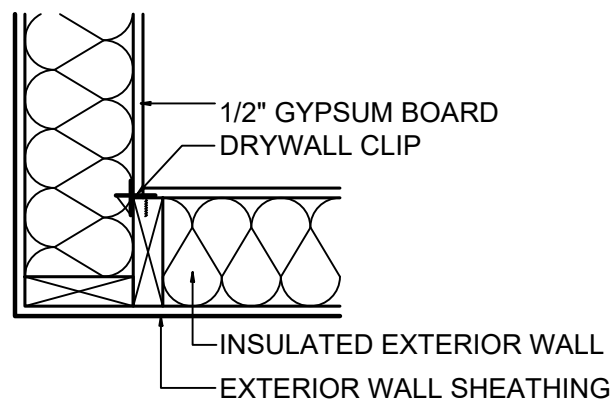
1" EXTERIOR INSULATION SHEATHING AS ATTIC EAVE BAFFLE AND VENT



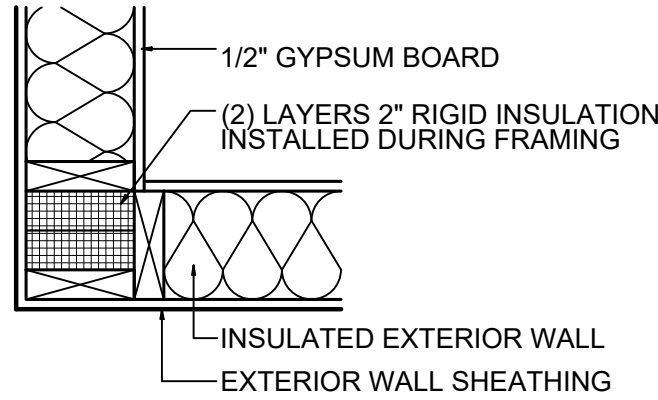
1" RIGID INSULATION AS ATTIC EAVE BAFFLE CUT AROUND MANUFACTURED VENT



2-STUD CORNER WITH 1x4 BACKER



2-STUD CORNER WITH DRYWALL CLIPS



3-STUD CORNER WITH RIGID INSULATION

## DETAILS - AIR SEALING

NO SCALE

## RESIDENTIAL RENOVATION AND ADDITION

**THE KEATING RESIDENCE**  
**8 HAWTHORNE ROAD**  
**LARCHMONT, NY**

**Y E S T A D T**  
**ARCHITECTURE + DESIGN**  
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T 914 834 1641  
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## AIR SEALING DETAILS

JOB NO. 1936 DRAWING NO.  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

**A-16**  
PRELIM. DRAWINGS



WINDOW SCHEDULE			
SYMBOL	SIZE	DESCRIPTION	REMARKS
(A)	3'-3 3/8" (w) x 4'-0" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CXW14	- MEETS OR EXCEEDS EGRESS REQUIREMENTS W/ COMPLIANT HARDWARE
1(A)	3'-3 3/8" (w) x 4'-0" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CXW14	TEMPERED GL. - MEETS OR EXCEEDS EGRESS REQUIREMENTS W/ COMPLIANT HARDWARE
(B)	1'-5 1/2" (w) x 4'-0" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CR14	
1(B)	1'-5 1/2" (w) x 4'-0" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CR14	TEMPERED GL.
(C)	3'-0 1/2" (w) x 2'-0 3/8" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW AWNING A-31	
1(C)	3'-0 1/2" (w) x 2'-0 3/8" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW AWNING A-31	TEMPERED GL.
(D)	2'-8 3/8" (w) x 4'-0 3/8" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CX14	- MEETS OR EXCEEDS EGRESS REQUIREMENTS W/ COMPLIANT HARDWARE
1(D)	2'-8 3/8" (w) x 4'-0 3/8" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CX14	TEMPERED GL. - MEETS OR EXCEEDS EGRESS REQUIREMENTS W/ COMPLIANT HARDWARE
(E)	2'-0 3/8" (w) x 4'-0 3/8" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - C14	- MEETS OR EXCEEDS EGRESS REQUIREMENTS W/ COMPLIANT HARDWARE
1(E)	2'-0 3/8" (w) x 4'-0 3/8" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - C14	TEMPERED GL. - MEETS OR EXCEEDS EGRESS REQUIREMENTS W/ COMPLIANT HARDWARE
(F)	3'-0 1/2" (w) x 35 1/2" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CXW135	- MEETS OR EXCEEDS EGRESS REQUIREMENTS W/ COMPLIANT HARDWARE
(G)	2'-8 3/8" (w) x 35 1/2" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CX135	- MEETS OR EXCEEDS EGRESS REQUIREMENTS W/ COMPLIANT HARDWARE
(H)	2'-7" (w) x 210" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW FIXED - custom	
(I)	3'-0 3/8" (w) x 4'-0" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CXW14	
1(I)	3'-0 3/8" (w) x 4'-0" (h) ROUGH OPENING	ANDERSEN 400 SERIES WINDOW CASEMENT - CXW14	TEMPERED GL.
1(J)	1'-5 1/2" (w) x 5'-11" (h)	ANDERSEN 400 SERIES WINDOW CASEMENT - CR16	TEMPERED GL.

NOTE: ALL WINDOWS AND DOORS TO HAVE SIMULATED DIVIDED LITE (SDL)  
WITH INTERNAL SPACERS, CLAD EXTERIOR & PRIMED WHITE WOOD INTERIORS  
HARDWARE FINISH TO BE SELECTED BY OWNER.  
SCREENS & INSULATED LOW E GLASS

NOTE: ALL ROUGH OPENINGS FOR ALL WINDOWS AND DOORS MUST BE VERIFIED BY THE  
CONTRACTOR BEFORE THE WINDOW ORDER IS PLACED AND THE OWNER MUST  
CONFIRM THE WINDOW ORDER BEFORE ANY WINDOWS ARE ORDERED

DOOR SCHEDULE				
SYMBOL	SIZE	DESCRIPTION	LOCATION	REMARKS
(A-1)	2'-9" (w) x 6'-11" (h)	FRENCHWD. HINGED INSWING PATIO DOOR - FWH29611A	103	
(A-2)	2'-9" (w) x 6'-9" (h)	FRENCHWD. HINGED INSWING PATIO DOOR - FWH2968A	003	
(2)	2'-4" (w) x 6'-8" (h)	GLASS PANEL DOOR		
(3)	CUSTOM	FBO.	FRONT DOOR	
(4)	2'-0" (w) x 6'-8" (h)	SINGLE PANEL MDF SOLID WOOD DOOR		
(5)	2'-6" (w) x 6'-8" (h)	SINGLE PANEL MDF SOLID WOOD DOOR		
(6)	2'-4" (w) x 6'-8" (h)	SINGLE PANEL MDF SOLID WOOD DOOR		
(7)	1'-8" (w) x 6'-8" (h)	SINGLE PANEL MDF SOLID WOOD DOOR		
(8)	4'-0" (w) x 6'-8" (h)	SINGLE PANEL MDF SOLID WOOD DOOR	201 203	HEAVY DUTY HARDWARE
(9)	1'-9" (w) x 6'-8" (h)	SINGLE PANEL MDF SOLID WOOD DOOR	1st FLR. HALL	
(10)	3'-2 1/2" (w) x 6'-8" (h)	SINGLE PANEL MDF SOLID WOOD DOOR	1st FLR. HALL	
(11)	4'-0" (w) x 6'-8" (h)	SINGLE PANEL MDF SOLID DOUBLE WOOD BARN DOORS	003	*COORDINATE DOOR DIMENSION W/ HARDWARE

## DOOR ELEVATIONS

SCALE 1/4" = 1'-0"

## GENERAL CONDITIONS

- 16.1 THE GENERAL CONDITIONS OF THIS CONTRACT IS THE AMERICAN INSTITUTE OF ARCHITECTURAL DOCUMENT A 201. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, LATEST EDITION. A COPY OF SAID DOCUMENT IS AVAILABLE AT THE ARCHITECT'S OFFICE FOR REVIEW.
- 16.2 THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO: ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.
- 16.3 BEFORE CONSTRUCTION BEGINS, CONTRACTOR MUST HAVE A CURRENT SURVEY OF EXISTING HOUSE. ALL ADDITIONS TO EXISTING STRUCTURE SHALL BE LOCATED BY LICENSED SURVEYOR AND DISTANCE FROM PROPERTY LINE CONFIRMED AT COMPLETION. ALL NEW ADDITIONS TO BE REFLECTED ON AN UPDATED SURVEY, FURNISHED BY OWNER.
- 16.4 THE GENERAL CONTRACTOR SHALL GUARANTEE ALL THE WORK UNDER THE CONTRACT FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL REPAIR, WITHOUT EXPENSE TO THE OWNER, ANY AND ALL DEFECTS ARISING DURING THE PERIOD THAT ARE DUE TO IMPERFECT MATERIAL AND APPLIANCES AND FOR POOR WORKMANSHIP.
- 16.5 THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.
- 16.6 CONTRACTORS TO PROVIDE OUTDOOR PORTABLE TOILET FACILITIES. (I.E. CALL-A-HEAD, PORTA POTTY OR EQUAL)

## EROSION CONTROL- SEE SITE PLAN

## PROTECTION OF ADJOINING PROPERTY - SECT. 3207 BCNYS

ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AS EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDINGS SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE CONSTRUCTION.

## DIVISION 8: DOORS AND WINDOWS

- 8.1 WINDOWS SHALL BE HIGH PERFORMANCE AS SPECIFIED ON DRAWINGS. ALL WINDOWS AND DOORS TO HAVE PERMANENTLY FIXED INTERIOR AND EXTERIOR GRILLES W/ SPACER BAR UNLESS OTHERWISE NOTED.
- 8.2 ALL NEW EXTERIOR DOORS SHALL BE "BROSCO", "MORGAN" OR EQUIVALENT AS SPECIFIED.
- 8.3 ALL WINDOWS SHALL RECEIVE EXTENSION JAMBS AS REQUIRED FOR A 2" X 6" STUD FRAMED WALL.
- 8.4 ALL NEW EXTERIOR OPERABLE WINDOWS AND DOORS SHALL BE PROVIDED WITH SCREENS
- 8.5 DOOR HARDWARE TO BE RESIDENTIAL QUALITY SCHLAGE OR APPROVED EQUAL. FINISH TO MATCH EXISTING.

## DIVISION 9: FINISHES

- 9.1 EXTERIOR TRIM SHALL BE PAINTED. COLOR TO MATCH EXISTING.
- 9.2 PROVIDE AND INSTALL 3/8" THICK GYPSUM BOARD. M.R. BOARD WALLS ARE TO RECEIVE PLASTER FLOAT COAT. USE "M.R. BOARD" IN ALL BATHROOMS, "GOLD BOND" AS MANUFACTURED BY NATIONAL GYPSUM CO., OR MANUFACTURED BY UNITED GYPSUM CO., SHALL BE USED IN SHOWER AREA. 5/8" HUMITEK GYPSUM PANELS SHALL BE USED IN ALL FINISHED BASEMENTS. PROVIDE METAL CORNER BEAD AS NEEDED. SPACKLE AND SAND SO THAT ALL SURFACES AND EDGES ARE SHARP AND TRUE.
- 9.3 ALL WALLS, CEILINGS AND TRIM TO BE PATCHED AND FILLED AS REQUIRED. NEW SURFACES TO RECEIVE 1 COAT OF PRIMER AND 2 FINISH COATS. COLOR SELECTION BY OWNERS.
- 9.4 ALL CERAMIC TILE SHALL BE FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. ALL HORIZONTAL AND VERTICAL JOINTS SHALL ALIGN. TILE SHALL BE SET IN CEMENT MORTAR AS SPECIFIED IN THE TILE COUNCIL OF AMERICA'S "HANDBOOK FOR TILE INSTALLATION" METHOD W223-74. PROVIDE WOOD OR MARBLE SADDLES WHERE REQUIRED.
- 9.5 PAINT MATERIALS SHALL BE AS MANUFACTURED BY BENJAMIN MOORE OR APPROVED EQUIVALENT. COLOR TO BE SELECTED BY OWNER. SURFACES TO BE PAINTED, SEALED, OR STAINED SHALL BE THOROUGHLY CLEAN AND DRY BEFORE WORK IS STARTED. EXTERIOR PAINTS TO MATCH EXISTING.
- 9.6 STRIP OAK FLOORING: FINISH FLOOR QUARTER SAWED, CLEAR, OAK, T & G, DRESSED ON ONE SIDE, TO MATCH EXISTING FLOORING. STAIN TO BE SELECTED BY OWNER. THIS FLOORING SHALL BE MATCHED, LAID IN LONG LENGTHS, BREAKING JOINTS. IT SHALL BE THOROUGHLY BLIND NAILED AT EVERY SEAM AND AFTER LAYING SHALL BE PLANED OR SCRAPED, SAMPARED AND PROTECTED WITH BUILDING PAPER UNTIL ACCEPTED. FLOORS SHALL BE FINISHED AS PER ARCHITECT'S DIRECTION. PROVIDE WIDE PLANK WD. FLOORING WHERE INDICATED ON PLAN.

## DIVISION 10: SPECIALTIES

- 10.4 SMOKE ALARMS SHALL BE INSTALLED AS PER SECTION R313 OF THE NEW YORK STATE RESIDENTIAL CODE
- A. IN EACH SLEEPING ROOM.
- B. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
- C. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT LEVEL.
- ALL SMOKE ALARMS ARE REQUIRED TO BE HARD WIRED & INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.
- 10.5 CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER SECTION R314.4 OF THE NEW YORK STATE RESIDENTIAL CODE
- A. WITHIN EACH DWELLING UNIT ON ANY STORY HAVING A SLEEPING AREA
- B. ON ANY STORY OF A DWELLING UNIT WHERE FUEL FIRED APPLIANCES AND EQUIPMENT, SOLID FUEL BURNING APPLIANCES AND EQUIPMENT, FIREPLACES OR ATTACHED GARAGES ARE LOCATED.
- ALL CARBON MONOXIDE ALARMS ARE REQUIRED TO BE HARD WIRED & INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.
- 10.6 FIRE AND LIFE SAFETY PROTECTION SECTION A403 OF THE NEW YORK STATE RESIDENTIAL CODE SMOKE ALARM & CARBON MONOXIDE ALARM EXCEPTIONS: ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED TO BE INTERCONNECTED AND HARD WIRED WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE. BATTERY OPERATED DEVICES TO BE INSTALLED IN THESE LOCATIONS.
- 10.7 POWDER ROOM EXHAUST FAN TO BE BY PANASONIC-WHISPER CEILING

## DIVISION 11: EQUIPMENT

## DIVISION 12: FURNISHINGS

## DIVISION 13: SPECIAL CONSTRUCTION

## DIVISION 14: CONVEYING SYSTEMS

## DIVISION 15 & 16: MECHANICAL ELECTRICAL (HVAC & PLUMBING)

- 15.1 ALL NEW HEATING PIPES SHALL BE INSULATED. ALL NEW MATERIALS SHALL BEAR THE "UL" LABEL.
- 15.2 THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED LABOR, EQUIPMENT, PERMITS, CERTIFICATES AND OTHER SERVICES NECESSARY FOR COMPLETE INSTALLATION AND APPROVAL OF ELECTRICAL WORK. ALL WORK IS TO BE INSTALLED ACCORDING TO THE RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS AND MUNICIPAL DEPARTMENT HAVING JURISDICTION. PROVIDE ELECTRICAL SERVICES FOR LAYOUT AS SHOWN IN DRAWINGS. CONTRACTOR TO VERIFY OF EXISTING PANEL IS ADEQUATE AND PROVIDE NEW PANEL IF REQUIRED ALL DUPLEX RECEPTACLES AND WALL SWITCHES TO BE "LEVITON DECOR". PROVIDE HALOGEN LAMPS FOR INCANDESCENT FIXTURES SPECIFIED. CERTIFICATES OF INSPECTION AND ACCEPTANCE AT THE COMPLETION OF THE WORK SHALL BE FURNISHED BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR TO FURNISH OWNER WITH FIRE UNDERWRITERS CERTIFICATE UPON COMPLETION OF THE JOB.
- 15.3 EXTERIOR OUTLETS SHALL BE GFCI AND WATERPROOF.
- 15.4 ALL NEW PLUMBING PIPES TO BE WRAPPED WITH "AUDIOSEAL" SOUND BARRIER.
- 15.5 -FOURCED AIR DUCTED HEATING & AC  
-HYDRO AIR HEATING & HOT WATER SYSTEM  
-CENTRAL AIR CONDITIONING SYSTEM - 2 ZONE  
-NEW GAS SERVICE FROM STREET

## DIVISION 6: WOOD AND PLASTIC

## ROUGH CARPENTRY

- 6.1 ALL FRAMING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "NATIONAL DESIGN SPECIFICATION FOR STESS GRADE LUMBER AND ITS FASTENINGS" AS PUBLISHED BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION.
- 6.2 WOOD PLATES AND SILLS IN CONTACT WITH CONC FOUNDATIONS OR WITHIN 12" OF GRADE SHALL BE PRESSURE TREATED.
- 6.3 NEW FRAMING LUMBER SHALL BE DOUGLAS FIR LARCH #2 OR BETTER, MIN. SINGLE FU=900 PSI REPETITIVE FU=1000 PSI FY=95 AND E=1,200,000 PSI. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING, AND HAVE A MOISTURE CONTENT OF 19% OR LESS.
- 6.4 DESIGN LOAD:
- | DEAD AND LIVE LOAD LOCATION | DEAD LOAD | LIVE LOAD | TOTAL |
|-----------------------------|-----------|-----------|-------|
| FIRST FLOOR                 | 15#       | 40#       | 55#   |
| ATTIC                       | 15#       | 30#       | 45#   |
| ROOF                        | 15#       | 30#       | 45#   |

## STRESS GRADE OF LUMBER:

USE	JOIST	TYPE OF LUMBER
HEADER	DOUGLAS FIR LARCH #2 OR SPF #3 OR BETTER	
GIRDER	DOUGLAS FIR LARCH #2 OR SPF #2 OR BETTER	
STUDS	DOUGLAS FIR LARCH #2 OR SPF #2	

- 6.5 ALL BEAMS AND JOISTS SHALL BE PLACED WITH THEIR NATURAL CROWN UP.
- 6.6 PROVIDE LEDGER, BLOCKING, NAILERS AND ROUGH FRAMING HARDWARE AS REQUIRED. FRAMING HANGERS, HARDWARE, ETC., SHALL BE SIMPSON OR APPROVED EQUAL. SPECIAL NAILS AS SUPPLIED OR RECOMMENDED BY THE MANUFACTURER SHALL BE USED FOR REQUIRED NAILING.
- 6.7 NEW BEAMS AND HEADERS SHALL BE OF SIZES AND SPECIFICATIONS AS INDICATED ON PLANS AND DETAILS.
- 6.8 PROVIDE POSTS UNDER ALL HEADERS AS INDICATED ON PLANS.
- 6.9 PLYWOOD USED FOR WALL AND ROOF SHEATHING SHALL BE APA RATED 240, EXTERIOR GRADE, UON. USE 1/2" FOR WALL SHEATHING AND 5/8" FOR ROOF SHEATHING. UON. LEAVE 1/8" SPACE AT PANEL JOINTS AND 1/8" SPACE AT END JOINTS.
- 6.10 PLACE FACE GRAIN IN DIRECTION OF SPAN (TRANSVERSE TO JOIST SPAN).
- 6.10 BLOCKING REQUIRED FOR INSTALLATION OF SHEETROCK AND SHEATHING HAS BEEN OMITTED ON SECTION AND DETAIL DRAWINGS FOR CLARITY OF FRAMING SYSTEMS.

## FINISH CARPENTRY

- 6.11 LUMBER IN CONTACT WITH MASONRY OR CONCRETE TO BE VOLCANIZED PRESSURE TREATED AS PER CURRENT AWDA STANDARDS TT-W-535-550571. DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS AND UNDER ALL SKYLIGHTS. CROSS BRIDGING TYPICAL ALL FLOOR CONSTRUCTION. FIRESTOPS AT ALL SOFFIT AND CEILING DROPS.
- 6.12 HIGH WIND CONNECTIONS SHALL BE PROVIDED TO COMPLY WITH NYS RESIDENTIAL CODE.

- UPLIFT CONNECTION-ROOF RAFTER OR TRUSS TO WALL-MIN. 1.25" X 33-MIL (32MM X 0.84MM) STEEL UPLIFT STRAP CONNECTING THE RAFTER OR TRUSS TO THE IN-LINE FRAMING STUD BELOW SHALL BE PERMITTED. EA. END OF UPLIFT STRAP SHALL BE FASTENED WITH MINIMUM NO. 8 SCREWS AS REQUIRED BY TABLE R603.8.3.2 (2)

- UPLIFT CONNECTION-WALL ASSEMBLY TO WALL ASSEMBLY-MIN. 1.25" X 33-MIL (32MM X 0.84MM) STEEL UPLIFT STRAP SHALL BE PERMITTED W/ MINIMUM NO. 8 SCREWS ATTACHED TO EA. STUD AS REQUIRED BY TABLE R603.8.3.2 (2)

- UPLIFT CONNECTION-WALL ASSEMBLY TO FLOOR ASSEMBLY OR FOUNDATION-A CONTINUOUS MIN. 1.25" X 33-MIL (32MM X 0.84MM) STEEL UPLIFT STRAP PLACED UNDER THE WOOD SILL AND ATTACHED TO BOTH FLANGES OF THE EXT. STUD. THE UPLIFT STRAP SHALL BE FASTENED TO EACH FLANGE WITH MIN. NO. 8 SCREWS AS REQUIRED BY TABLE R603.8.3.2 (2)

- 6.13 ALL CONNECTORS TO BE USED FOR PRESSURE TREATED LUMBER TO BE APPROVED FOR USE WITH ACP PRESSURE TREATED LUMBER.

- 6.14 CATEGORY C BRACED WALL PANEL CONSTRUCTION-

- NOMINAL 1" X 4" CONTINUOUS DIAGONAL BRACES SET AT 45° TO THE TOP AND BOTTOM PLATES AND THE INTERVENING STUDS OR APPROVED METAL STRAP DEVICES INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. THE LET-IN BRACING SHALL BE PLACED AT AN ANGLE NOT MORE THAN 60 DEGREES OR LESS THAN 45 DEGREES FROM HORIZONTAL.

- 6.15 ERECTION OF CONCRETE BLOCK MASONRY

- A. MASONRY WORK SHALL BE ERECTED IN PLACE, PLUMB, LEVEL, STRAIGHT, AND TRUE TO DIMENSIONS SHOWN AND EXECUTED IN ACCORDANCE WITH ACCEPTABLE PRACTICES OF THE TRADE.

- B. CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL FACE SHELL MORTAR BEDS. VERTICAL HEAD JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FROM FACE OF UNIT TO A DISTANCE BEHIND THE FACE EQUAL TO NOT LESS THAN THE THICKNESS OF LONGITUDINAL FACE SHELLS.

- C. CROSS WEBS OF STARTING COURSE COURSES SHALL BE SOLIDLY BEDDED IN MORTAR.

- C. UNLESS NOTED OR SHOWN OTHERWISE, MASONRY SHALL BE LAID UP IN STRAIGHT UNIFORM COURSES WITH RUNNING BONDS.

- D. ALL MASONRY SHALL BE ERECTED TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS MEASURING NOT LESS THAN 3 INCH BY 3 INCH IN CROSS SECTION. WALLS AND CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR. ALL HEAD AND END JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE WALL OR UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS.

- E. IMMEDIATELY BEFORE STARTING WORK, THE CONCRETE UPON WHICH THE MASONRY WILL BE LAID SHALL BE CLEANED WITH WATER UNDER PRESSURE.

- G. A FULL MORTAR JOINT FOR FIRST COURSE SHALL BE PROVIDED.

- H. UNIT SHALL BE SHOVED TIGHTLY AGAINST ADJACENT UNITS TO ASSURE A GOOD MORTAR BOND.

- 6.16 ERECTION OF CONCRETE BLOCK MASONRY

- A. MASONRY WORK SHALL BE ERECTED IN PLACE, PLUMB, LEVEL, STRAIGHT, AND TRUE TO DIMENSIONS SHOWN AND EXECUTED IN ACCORDANCE WITH ACCEPTABLE PRACTICES OF THE TRADE.

- B. CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL FACE SHELL MORTAR BEDS. VERTICAL HEAD JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FROM FACE OF UNIT TO A DISTANCE BEHIND THE FACE EQUAL TO NOT LESS THAN THE THICKNESS OF LONGITUDINAL FACE SHELLS.

- C. CROSS WEBS OF STARTING COURSE COURSES SHALL BE SOLIDLY BEDDED IN MORTAR.

- C. UNLESS NOTED OR SHOWN OTHERWISE, MASONRY SHALL BE LAID UP IN STRAIGHT UNIFORM COURSES WITH RUNNING BONDS.

- D. ALL MASONRY SHALL BE ERECTED TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS MEASURING NOT LESS THAN 3 INCH BY 3 INCH IN CROSS SECTION. WALLS AND CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR. ALL HEAD AND END JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE WALL OR UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS.

- E. IMMEDIATELY BEFORE STARTING WORK, THE CONCRETE UPON WHICH THE MASONRY WILL BE LAID SHALL BE CLEANED WITH WATER UNDER PRESSURE.

- G. A FULL MORTAR JOINT FOR FIRST COURSE SHALL BE PROVIDED.

- H. UNIT SHALL BE SHOVED TIGHTLY AGAINST ADJACENT UNITS TO ASSURE A GOOD MORTAR BOND.

- 6.17 ERECTION OF CONCRETE BLOCK MASONRY

- A. MASONRY WORK SHALL BE ERECTED IN PLACE, PLUMB, LEVEL, STRAIGHT, AND TRUE TO DIMENSIONS SHOWN AND EXECUTED IN ACCORDANCE WITH ACCEPTABLE PRACTICES OF THE TRADE.

- B. CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL FACE SHELL MORTAR BEDS. VERTICAL HEAD JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FROM FACE OF UNIT TO A DISTANCE BEHIND THE FACE EQUAL TO NOT LESS THAN THE THICKNESS OF LONGITUDINAL FACE SHELLS.

- C. CROSS WEBS OF STARTING COURSE COURSES SHALL BE SOLIDLY BEDDED IN MORTAR.

- C. UNLESS NOTED OR SHOWN OTHERWISE, MASONRY SHALL BE LAID UP IN STRAIGHT UNIFORM COURSES WITH RUNNING BONDS.

- D. ALL MASONRY SHALL BE ERECTED TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS MEASURING NOT LESS THAN 3 INCH BY 3 INCH IN CROSS SECTION. WALLS AND CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR. ALL HEAD AND END JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE WALL OR UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS.

- E. IMMEDIATELY BEFORE STARTING WORK, THE CONCRETE UPON WHICH THE MASONRY WILL BE LAID SHALL BE CLEANED WITH WATER UNDER PRESSURE.

- G. A FULL MORTAR JOINT FOR FIRST COURSE SHALL BE PROVIDED.

- H. UNIT SHALL BE SHOVED TIGHTLY AGAINST ADJACENT UNITS TO ASSURE A GOOD MORTAR BOND.

- 6.18 ERECTION OF CONCRETE BLOCK MASONRY

- A. MASONRY WORK SHALL BE ERECTED IN PLACE, PLUMB, LEVEL, STRAIGHT, AND TRUE TO DIMENSIONS SHOWN AND EXECUTED IN ACCORDANCE WITH ACCEPTABLE PRACTICES OF THE TRADE.

- B. CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL FACE SHELL MORTAR BEDS. VERTICAL HEAD JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FROM FACE OF UNIT TO A DISTANCE BEHIND THE FACE EQUAL TO NOT LESS THAN THE THICKNESS OF LONGITUDINAL FACE SHELLS.

- C. CROSS WEBS OF STARTING COURSE COURSES SHALL BE SOLIDLY BEDDED IN MORTAR.

- C. UNLESS NOTED OR SHOWN OTHERWISE, MASONRY SHALL BE LAID UP IN STRAIGHT UNIFORM COURSES WITH RUNNING BONDS.

- D. ALL MASONRY SHALL BE ERECTED TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS MEASURING NOT LESS THAN 3 INCH BY 3 INCH IN CROSS SECTION. WALLS AND CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR. ALL HEAD AND END JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE WALL OR UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS.

- E. IMMEDIATELY BEFORE STARTING WORK, THE CONCRETE UPON WHICH THE MASONRY WILL BE LAID SHALL BE CLEANED WITH WATER UNDER PRESSURE.

- G. A FULL MORTAR JOINT FOR FIRST COURSE SHALL BE PROVIDED.

- H. UNIT SHALL BE SHOVED TIGHTLY AGAINST ADJACENT UNITS TO ASSURE A GOOD MORTAR BOND.

- 6.19 ERECTION OF CONCRETE BLOCK MASONRY

- A. MASONRY WORK SHALL BE ERECTED IN PLACE, PLUMB, LEVEL, STRAIGHT, AND TRUE TO DIMENSIONS SHOWN AND EXECUTED IN ACCORDANCE WITH ACCEPTABLE PRACTICES OF THE TRADE.

- B. CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL FACE SHELL MORTAR BEDS. VERTICAL HEAD JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FROM FACE OF UNIT TO A DISTANCE BEHIND THE FACE EQUAL TO NOT LESS THAN THE THICKNESS OF LONGITUDINAL FACE SHELLS.

- C. CROSS WEBS OF STARTING COURSE COURSES SHALL BE SOLIDLY BEDDED IN MORTAR.

- C. UNLESS NOTED OR SHOWN OTHERWISE, MASONRY SHALL BE LAID UP IN STRAIGHT UNIFORM COURSES WITH RUNNING BONDS.

- D. ALL MASONRY SHALL BE ERECTED TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS MEASURING NOT LESS THAN 3 INCH BY 3 INCH IN CROSS SECTION. WALLS AND CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR. ALL HEAD AND END JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE WALL OR UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS.

- E. IMMEDIATELY BEFORE STARTING WORK, THE CONCRETE UPON WHICH THE MASONRY WILL BE LAID SHALL BE CLEANED WITH WATER UNDER PRESSURE.

- G. A FULL MORTAR JOINT FOR FIRST COURSE SHALL BE PROVIDED.

- H. UNIT SHALL BE SHOVED TIGHTLY AGAINST ADJACENT UNITS TO ASSURE A GOOD MORTAR BOND.

- 6.20 ERECTION OF CONCRETE BLOCK MASONRY

- A. MASONRY WORK SHALL BE ERECTED IN PLACE, PLUMB, LEVEL, STRAIGHT, AND TRUE TO DIMENSIONS SHOWN AND EXECUTED IN ACCORDANCE WITH ACCEPTABLE PRACTICES OF THE TRADE.

- B. CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL FACE SHELL MORTAR BEDS. VERTICAL HEAD JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FROM FACE OF UNIT TO A DISTANCE BEHIND THE FACE EQUAL TO NOT LESS THAN THE THICKNESS OF LONGITUDINAL FACE SHELLS.

- C. CROSS WEBS OF STARTING COURSE COURSES SHALL BE SOLIDLY BEDDED IN MORTAR.

- C. UNLESS NOTED OR SHOWN OTHERWISE, MASONRY SHALL BE LAID UP IN STRAIGHT UNIFORM COURSES WITH RUNNING BONDS.

- D. ALL MASONRY SHALL BE ERECTED TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS MEASURING NOT LESS THAN 3 INCH BY 3 INCH IN CROSS SECTION. WALLS AND CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR. ALL HEAD AND END JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE WALL OR UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS.

- E. IMMEDIATELY BEFORE STARTING WORK, THE CONCRETE UPON WHICH THE MASONRY WILL BE LAID SHALL BE CLEANED WITH WATER UNDER PRESSURE.

- G. A FULL MORTAR JOINT FOR FIRST COURSE SHALL BE PROVIDED.

- H. UNIT SHALL BE SHOVED TIGHTLY AGAINST ADJACENT UNITS TO ASSURE A GOOD MORTAR BOND.

- 6.21 ERECTION OF CONCRETE BLOCK MASONRY

- A. MASONRY WORK SHALL BE ERECTED IN PLACE, PLUMB, LEVEL, STRAIGHT, AND TRUE TO DIMENSIONS SHOWN AND EXECUTED IN ACCORDANCE WITH ACCEPTABLE PRACTICES OF THE TRADE.

- B. CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL FACE SHELL MORTAR BEDS. VERTICAL HEAD JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FROM FACE OF UNIT TO A DISTANCE BEHIND THE FACE EQUAL TO NOT LESS THAN THE THICKNESS OF LONGITUDINAL FACE SHELLS.

- C. CROSS WEBS OF STARTING COURSE COURSES SHALL BE SOLIDLY BEDDED IN MORTAR.

- C. UNLESS NOTED OR SHOWN OTHERWISE, MASONRY SHALL BE LAID UP IN STRAIGHT UNIFORM COURSES WITH RUNNING BONDS.

- D. ALL MASONRY SHALL BE ERECTED TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS MEASURING NOT LESS THAN 3 INCH BY 3 INCH IN CROSS SECTION. WALLS AND CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR. ALL HEAD AND END JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE WALL OR UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS.

- E. IMMEDIATELY BEFORE STARTING WORK, THE CONCRETE UPON WHICH THE MASONRY WILL BE LAID SHALL BE CLEANED WITH WATER UNDER PRESSURE.

- G. A FULL MORTAR JOINT FOR FIRST COURSE SHALL BE PROVIDED.

- H. UNIT SHALL BE SHOVED TIGHTLY AGAINST ADJACENT UNITS TO ASSURE A GOOD MORTAR BOND.

- 6.22 ERECTION OF CONCRETE BLOCK MASONRY

- A. MASONRY WORK SHALL BE ERECTED IN PLACE, PLUMB, LEVEL, STRAIGHT, AND TRUE TO DIMENSIONS SHOWN AND EXECUTED IN ACCORDANCE WITH ACCEPTABLE PRACTICES OF THE TRADE.

- B. CONCRETE MASONRY UNITS SHALL BE LAID WITH FULL FACE SHELL MORTAR BEDS. VERTICAL HEAD JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FROM FACE OF UNIT TO A DISTANCE BEHIND THE FACE EQUAL TO NOT LESS THAN THE THICKNESS OF LONGITUDINAL FACE SHELLS.



RESIDENTIAL RENOVATION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

YESTADT  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
914 834 1641  
914 834 1836

ABBREVIATIONS

BRG	BEARING
CLG	CEILING
CLO	CLOSET
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CTR	COUNTER
CMU	CONCRETE MASONRY UNIT
DF	DRINKING FOUNTAIN
DP	DEEP
DR	CLOTHES DRYER
DW	DISHWASHER
EXIST	EXISTING
FBO	FURNISHED BY OWNER
FBO/CTR	FBO/CONTRACTOR INSTALLED
FDIN	FOUNDATION
FLR	FLOOR
FF	FINISHED FLOOR
FTG	FOOTING
GALV	GALVANIZED
GWB	GYPSUM WALL BOARD
HORIZ	HORIZONTAL
JSTS	JOISTS
LAV	LAVATORY
LABRY	LAUNDRY
LNK	LINKEN CLOSET
MANUF	MANUFACTURER
MIN	MINIMUM
MR	MOISTURE-RESISTANT
MTR	METER
NIC	NOT IN CONTACT
OC	ON CENTER
PL	PLATE
PR	POWDER ROOM
PT	PRESSURE TREATED
PTRY	PANTRY
REF	REFRIGERATOR
RENF	REINFORCEMENT
REQD	REQUIRED
RFTS	RAFTERS
RO	ROUGH OPENING
STD	STANDARD
STL	STEEL
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
VWB	VINYL WALL BASE
WA	CLOTHES WASHER
WC	WATER CLOSET
WD	WOOD
WI	WITH

FOR REVIEW

SPECIFICATIONS STEEL  
& GARAGE ELEVATIONS

JOB NO. 1936  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/KB

A-18  
ZONING

STEEL CODES AND SPECIFICATIONS

- THE STRUCTURAL PLANS, TO THE BEST OF OUR KNOWLEDGE, COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE NEW YORK STATE 2015 BUILDING CODE, INCLUDING LATEST AMENDMENTS (NYS CODE).
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE ABOVE-NAMED CODES AND ALL APPLICABLE FEDERAL & STATE CODES, REFERENCE STANDARDS, AND LAWS.
- STRUCTURAL STEEL: COMPLY WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTIONS "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" (AISC 360) ALLOWABLE STRESS DESIGN AND "SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS" (AISC 341-05).
- MASONRY: COMPLY WITH THE MASONRY SOCIETY'S "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (TMS 402-08) AND "SPECIFICATION FOR MASONRY STRUCTURES" (TMS 602-06).
- WOOD: COMPLY WITH THE AMERICAN FOREST AND PAPER ASSOCIATIONS' NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH 2005 SUPPLEMENT" (NDS-05), "SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC" (EDPS-05), AND THE "WOOD FRAME CONSTRUCTION MANUAL FOR ONE- AND TWO-FAMILY DWELLINGS" (WFCM-01).

GENERAL NOTES

- THESE DRAWINGS DO NOT DEFINE THE SCOPE OF CONTRACT. SEE CONTRACT DOCUMENTS.
- THE STRUCTURAL DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, MEP DRAWINGS, AND SPECIFICATIONS. IF A DISCREPANCY IS FOUND, IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO PREPARING WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO STARTING WORK, AND NOTIFY THE DESIGN PROFESSIONALS OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONAL INFORMATION.
- ANY ADDITIONAL WORK / FRAMING NOT SPECIFICALLY SHOWN OR CALLED FOR IN THE DRAWING / SPECIFICATIONS REQUIRED TO COMPLETE THE INTENT OF THE WORK SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AS IF INCLUDED IN THE DRAWINGS / SPECIFICATIONS. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF SUCH OCCURRENCES.
- NOTES, TYPICAL DETAILS AND SCHEDULES APPLY TO ALL STRUCTURAL WORK UNLESS OTHERWISE NOTED. FOR CONDITIONS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS OF A SIMILAR NATURE. VERIFY APPLICABILITY BY SUBMITTING SHOP DRAWINGS FOR REVIEW.
- REFERENCE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR WATER / DAMPROOFING AND FIREPROOFING DETAILS AND REQUIREMENTS.
- AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS OF THE JOBSITE INCLUDING SAFETY OF PERSONS AND PROPERTY. THE ARCHITECTS OR ENGINEERS PRESENCE OR REVIEW OF WORK DOES NOT INCLUDE THE ADEQUACY OF THE CONTRACTORS MEANS AND METHODS OF CONSTRUCTION.
- SHORING, BRACING AND PROTECTION OF EXISTING AND ADJACENT STRUCTURES DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS / HER LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL PROTECT AND MAINTAIN THE INTEGRITY OF THE ADJACENT STREETS, BUILDING AND STRUCTURES.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING AND BRACING REQUIRED FOR PLUMBING, STABILITY AND SAFETY WHENEVER REQUIRED TO SUPPORT LOADS IMPOSED UPON THE STRUCTURE DURING CONSTRUCTION.
- STAGING AND SEQUENCE OF SHORING, BRACING, AND OTHER CONSTRUCTION REQUIRED FOR SUCH WORK SHALL BE PREPARED IN SHOP OR DETAIL DRAWINGS WHICH SHALL BE REVIEWED BY THE ENGINEER OF RECORD.
- ALL LOCATIONS OF EXISTING STRUCTURES AND DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY FIELD MEASUREMENTS AND COORDINATED WITH ARCHITECT DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
- DRAWINGS HAVE BEEN PREPARED BASED ON AVAILABLE KNOWLEDGE OF EXISTING CONDITIONS. IF, DURING DEMOLITION, EXCAVATION OR CONSTRUCTION, ACTUAL CONDITIONS ARE DISCOVERED TO DIFFER FROM THOSE INDICATED ON DRAWINGS, ENGINEER SHALL BE NOTIFIED.
- PRIOR TO COMMENCEMENT OF WORK ON EXISTING BUILDINGS, A PRE-CONSTRUCTION SURVEY OF THE BUILDINGS EXISTING STRUCTURAL ELEMENTS IS REQUIRED. DISCOVERED DEFICIENCIES IN A PRE-CONSTRUCTION SURVEY SUCH AS WALL CRACKS, SIGN OF STRUCTURAL DISTRESS AND FAILURE, SIGNS OF SETTLEMENT, ETC. MUST BE RECORDED AND PHOTOGRAPHED.

STRUCTURAL STEEL NOTES

- ALL STRUCTURAL STEEL ROLLED SHAPES, SHALL CONFORM TO ASTM A992, Fy = 50 KSI U.O.N.
- ALL PLATES, ANGLES AND CONNECTION MATERIALS SHALL CONFORM TO ASTM A36, Fy = 36 KSI.
- ALL HSS STRUCTURAL TUBING SHALL CONFORM TO ASTM A501, GRADE B, RECTANGULAR HSS SHAPES: Fy = 45 KSI, ROUND HSS SHAPES: Fy = 42 KSI.
- ALL STRUCTURAL PIPE SHALL CONFORM TO ASTM A53, GRADE B, Fy = 35 KSI.
- ALL ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, GRADE 55 (UON).
- BOLTS AND BOLTED CONNECTIONS SHALL CONFORM TO THE "RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS" SPECIFICATION FOR STRUCTURAL JOINTS USING "HIGH-STRENGTH BOLTS" (ASTM F3125 GRADE A325 OR GRADE A490). USE ONLY GRADE A325 BOLTS IN GALVANIZED APPLICATIONS.
- WELDED CONNECTIONS SHALL CONFORM TO THE AMERICAN WELDING SOCIETY'S "STRUCTURAL WELDING CODE - STEEL" (AWS D1.1). USE E70XX LOW-HYDROGEN ELECTRODES FOR NEW CONSTRUCTION AND E60XX LOW-HYDROGEN ELECTRODES FOR EXISTING CONSTRUCTION U.O.N.
- UNLESS SPECIFICALLY NOTED, STEEL DETAILS SHOWN ON THE DRAWINGS ARE FOR CONCEPT ONLY AND DO NOT INDICATE REQUIRED NUMBER OF BOLTS, SIZE OF WELD, ETC.
- IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN PRECISE FIELD MEASUREMENTS REQUIRED FOR PROPER STEEL DETAILING, FABRICATION AND INSTALLATION IF WORK. SHOP DRAWINGS SHALL BE SUBMITTED BASED ON FIELD MEASUREMENTS. DO NOT PROCEED WITH ANY FABRICATION UNTIL THE SHOP DRAWINGS ARE REVIEWED AND APPROVED.
- PROVIDE ANY MEASUREMENTS REQUIRED FOR STABILITY OF STRUCTURE DURING ERECTION. THE CONTRACTOR SHALL AT NO ADDITIONAL COST, ADEQUATELY GUY AND BRACE ALL STRUCTURAL STEEL TO MAINTAIN SAFETY AND ALIGNMENT DURING ALL PHASES OF CONSTRUCTION. SUCH GUYING AND BRACING SHALL REMAIN IN PLACE UNTIL THE STRUCTURE HAS REACHED ADEQUATE STRENGTH AND ALL PERMANENT BRACING IS IN PLACE. CONTRACTOR SHALL BE SOLEY RESPONSIBLE FOR THE STABILITY AND SAFETY OF THE WORK DURING CONSTRUCTION.
- ALL WELDING SHALL BE DONE BY WELDERS CERTIFIED BY THE BUILDING DEPARTMENT AND / OR AWS AS REQUIRED. SLAG SHALL BE REMOVED FROM ALL WELDS FOR INSPECTION.
- MINIMUM FILLET WELDS SHALL COMPLY WITH AISC, BUT SHALL NOT BE LESS THAN 1/2".

BOLTED CONNECTIONS

- ALL BOLTED CONNECTIONS SHALL HAVE SNUG-TIGHTENED, BEARING TYPE JOINTS WITH ASTM F3125 GRADE A325 OR A490 BOLTS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- BOLTED CONNECTIONS SUBJECT TO VIBRATION AND/OR LOAD REVERSAL, OR THOSE UTILIZING OVERSIZED HOLES SHALL HAVE SLIP-CRITICAL TYPE JOINTS, CLASS A WITH ASTM F3125 GRADE F435 OR GRADE F220 "TWIST-OFF" BOLTS. ALL BOLTS SHALL BE 1/2" MINIMUM DIAMETER AND 1 1/2" MAXIMUM DIAMETER UNLESS OTHERWISE NOTED. ALL CONNECTIONS SHALL CONSIST OF AT LEAST 2 BOLTS PER CONNECTION.
- PROVIDE GALVANIZED BOLTS FOR STEEL PERMANENTLY EXPOSED TO WEATHER. GALVANIZING SHALL BE DONE BY BOLT MANUFACTURER. INSTALL WITH DIRECT TENSION INDICATORS.

MASONRY VENEER NOTES

- ANCHOR MASONRY VENEER TO STRUCTURAL BACK UP AT NOT MORE THAN 16" O.C. EACH WAY. USE THE FOLLOWING GALVANIZED STEEL ANCHORS:
  - TO STRUCTURAL STUDS: 1" X 20 GAGE CORRUGATED, TWISTED, ANCHORED TO STUD
  - SEE WITH NO. 14 SCREW, 1" FROM STUD EDGE
  - TO MASONRY IN MORTAR JOINTS: 7/8 X 24 GAGE CORRUGATED EACH END
  - TO CONCRETE: 1" X 16 GAGE IN DOVETAIL SLOT.
- PROVIDE 3/8" HORIZONTAL EXPANSION JOINT IN VENEER UNDER 16" O.C. VERTICALLY.
- PROVIDE STANDARD JOINT REINFORCING IN VENEER AT 16" O.C. VERTICALLY.
- PROVIDE CONTROL JOINTS PER ARCHITECTURAL DRAWINGS.
- ALL SUSPENDED BRICKS IN FLAT AND SLOPED SOFFITS SHALL BE MECHANICALLY ANCHORED TO THE STRUCTURAL MEMBERS AS RECOMMENDED BY THE BRICK INDUSTRY ASSOCIATION, 1950 CENTENNIAL PARK DRIVE, STE. 301, RESTON VIRGINIA, 20191. TECHNICAL NOTES NO. 38 & 39A, DATED 1981, REISSUED 1988 & 2001 RESPECTIVELY.

ANCHORS IN CONCRETE AND MASONRY

- POST-INSTALLED ANCHORS SHALL BE USED ONLY WHERE SPECIFIED ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL UTILIZED WILTY PRODUCTS FOR ALL ANCHORING SYSTEMS UNLESS OTHERWISE SPECIFIED.
- THE INSTALLATION OF POST-INSTALLED ANCHORS AS REPAIR FOR MISSING OR MISPLACED CAST-IN-PLACE ANCHORS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD (EOR).
- EXISTING REINFORCING BARS IN THE CONCRETE STRUCTURE SHALL BE CUT UNLESS APPROVED BY THE EOR.
- POST-INSTALLED ANCHORS SPECIFIED ON THE DRAWINGS FORM THE BASIS OF DESIGN. SUBSTITUTIONS WITH EQUAL OR BETTER ANCHORS SHALL BE SUBMITTED FOR APPROVAL BY EOR.
- SUBMITTAL OF ALL PROPOSED PRODUCT, WITH TECHNICAL DATA AND CURRENT ICC-ES REPORTS IS REQUIRED FOR REVIEW AND APPROVAL BY EOR. ADDITIONAL CALCULATIONS FOR SPECIFIC APPLICATIONS MAY BE REQUIRED BY THE EOR.
- ALL ANCHORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS IN CONJUNCTION WITH EDGE DISTANCE, SPACING AND EMBEDMENT DEPTH AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL ARRANGE FOR A MANUFACTURERS FIELD REPRESENTATIVE TO PROVIDE INSTALLATION TRAINING FOR ALL PRODUCTS TO BE USED PRIOR TO COMMENCEMENT OF WORK. ONLY TRAINED INSTALLERS SHALL PERFORM POST-INSTALLED ANCHOR INSTALLATION. A RECORD OF TRAINING SHALL BE KEPT ON SITE AND BE MADE AVAILABLE TO THE EOR AND INSPECTOR AS REQUESTED OR REQUIRED BY SPECIAL INSPECTION.

- ADHESIVE ANCHORS INSTALLED IN HORIZONTAL OR UPWARDLY INCLINED ORIENTATIONS TO SUPPORT SUSTAINED TENSION LOADS SHALL BE PERFORMED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER (AAI) AS CERTIFIED THROUGH ACRORS. PROOF OF CURRENT CERTIFICATION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF INSTALLATION.
- ADHESIVE ANCHORS MUST BE INSTALLED IN CONCRETE AGED A MINIMUM OF 21 DAYS (ACI 318).

DEMOLITION NOTES

- CONTRACTOR SHALL PREFORM ALL WORK IN SUCH A MANNER AS TO PROTECT EXISTING AND ADJACENT STRUCTURES AND BE RESPONSIBLE TO PROPERLY REPAIR ANY DAMAGE WHICH OCCURS AS A RESULT OF HIS/HER WORK.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO STREETS, SIDEWALKS, UTILITY LINES OR ANY PUBLIC OR PRIVATE PROPERTIES RESULTING FROM THE EXECUTION OF THE WORK AT NO COST TO THE OWNER OR ENGINEER.
- CEASE OPERATIONS AND NOTIFY OWNER AND ENGINEER IMMEDIATELY IF SAFETY OR INTEGRITY OF STRUCTURE APPEARS TO BE ENDANGERED. PROPERLY BRACE AND SUPPORT STRUCTURE BEFORE RESUMING OPERATIONS.
- NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY PORTION OF THE EXISTING STRUCTURE WHICH IS NOT TO BE DEMOLISHED IS DAMAGED. CONTRACTOR SHALL PAY FOR ALL REPAIR COSTS, INCLUDING DESIGN AND INSPECTION EXPENSES.
- DO NOT CUT OR ALTER ANY STRUCTURAL MEMBERS WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER, UNLESS INDICATED ON THE STRUCTURAL DRAWINGS.
- ALL EXISTING DIMENSIONS (DISTANCES, ELEVATIONS AND MEMBER SIZES) SHOWN ON THE DRAWINGS SHALL BE CHECKED BY MEASUREMENT IN THE FIELD.
- DO NOT ALLOW RESULTING DEBRIS TO ACCUMULATE. DISPOSE OF THIS MATERIAL IN A LEGAL MANNER.
- CUTTING OF EXISTING SLABS SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER. DRILL CORNERS AND SAW CUT STRAIGHT LINES.
- REUSE OF SALVAGED MATERIALS IS NOT PERMITTED UNLESS SPECIFICALLY APPROVED BY THE ENGINEER IN WRITING.
- EXISTING WALLS SHALL ONLY BE REMOVED WHEN NEW STRUCTURE HAS BEEN ERECTED AND ANCHORED TO REMAINING EXISTING STRUCTURE FROM CELLAR TO ROOF LEVEL.

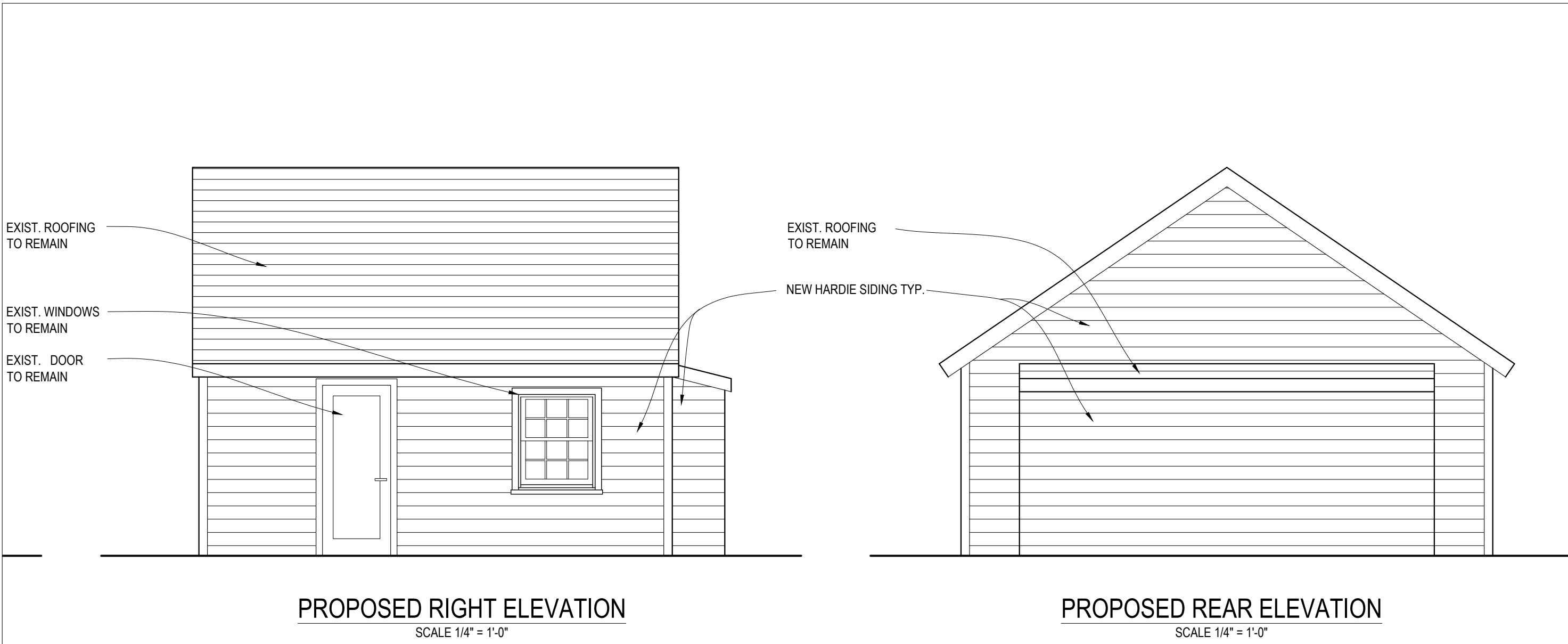
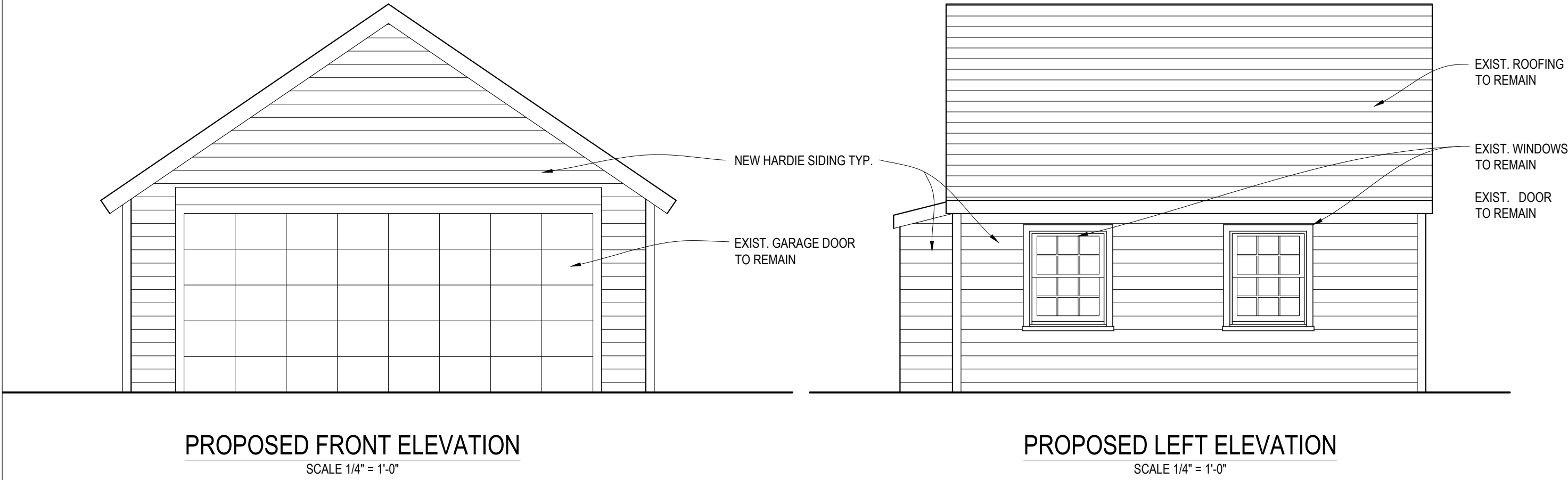
WOOD NOTES

- LUMBER SHALL BE IN COMPLIANCE WITH THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY'S "VOLUNTARY PRODUCT STANDARD: PS 20-15, AMERICAN SOFTWOOD LUMBER STANDARD". PROVIDE LUMBER COMPLYING WITH GRADING RULES AND MARKINGS OF SECTIONS 6 & 7 OF PS 20-15.
- PROVIDE SEASONED DIMENSION LUMBER WITH 19% MAXIMUM MOISTURE CONTENT AT TIME OF DRESSING AND COMPLYING WITH PS 20-15.
- THE STRUCTURAL WOOD STRESS GRADE STAMPED LUMBER SHALL BE AS FOLLOWS:
  - JOISTS / RAFTERS: DOUGLAS FIR-LARCH OR DOUGLAS FIR-LARCH (NORTH), NO. 2 OR BETTER, CCA PRESERVATIVE PRESSURE TREATED WOOD. ALL EXTERIOR STAIR FRAMING TO BE CONSTRUCTED USING PRESSURE AND FIRE RETARDANT TREATED WOOD RECOMMENDED BY THE MANUFACTURERS: Aljoma Lumber, Inc. <<http://www.aljomalumber.com>, S.B. & S. of New England, Inc. <<http://www.sbealumber.com>, Coast Wood Preserving, Inc., Culpaper Wood Preservers <<http://www.culpaperwood.com>
  - STUDS: DOUGLAS FIR-LARCH OR DOUGLAS FIR-LARCH (NORTH), STUD GRADE: F4 MIN. = 850 PSI, E = 1,600,000 PSI
  - DOUGLAS FIR-LARCH OR DOUGLAS FIR-LARCH (NORTH), F4 MIN. = 850 PSI, E = 1,400,000 PSI
- STRUCTURAL WOOD FRAMING USED IN EXTERIOR APPLICATIONS OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE SOUTHERN YELLOW PINE NO. 2 OR BETTER, CCA PRESERVATIVE PRESSURE TREATED WOOD. ALL EXTERIOR STAIR FRAMING TO BE CONSTRUCTED USING PRESSURE AND FIRE RETARDANT TREATED WOOD RECOMMENDED BY THE MANUFACTURERS: Aljoma Lumber, Inc. <<http://www.aljomalumber.com>, S.B. & S. of New England, Inc. <<http://www.sbealumber.com>, Coast Wood Preserving, Inc., Culpaper Wood Preservers <<http://www.culpaperwood.com>
- SHEATHING NOMINAL THICKNESS TO BE AS FOLLOWS:
  - 3/8" THICK AT EXTERIOR WALLS AND ROOFS
  - 3/4" THICK TONGUE AND GROOVE AT FLOORSINSTALL PANELS WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS.
- WOOD STRUCTURAL PANELS SHALL NOT BE LESS THAN 4" X 8" EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING WHERE MINIMUM PANEL DIMENSIONS SHALL BE 24" UNLESS ALL EDGES OF THE UNDERSIZED PANELS ARE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.
- SEVERELY DISTORTED (TWISTED, BOWED, CUPPED, CHECKED, ETC.) LUMBER SHALL NOT BE USED.
- WOOD COLUMNS AND POSTS SHALL BE FRAMED TO PROVIDE FULL END BEARING. STUDS SHALL HAVE FULL BEARING ON A NOMINAL 2" THICK OR LARGER PLATE OR SILL, HAVING A WIDTH AT LEAST EQUAL TO THE WIDTH OF THE STUDS.
- THE NUMBER, TYPE AND SIZE OF FASTENERS FOR THE FRAMING AND SHEATHING ATTACHMENT SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE NYCBC 2014 UNLESS A STRONGER CONNECTION IS INDICATED.
- USE COMMON WIRE NAILS, EXCEPT AS OTHERWISE INDICATED. SELECT FASTENERS OF SIZE THAT WILL NOT PENETRATE MEMBERS WHERE THE OPPOSITE SIDE WILL BE EXPOSED TO VIEW OR WILL RECEIVE FINISH MATERIALS. MAKE TIGHT CONNECTIONS BETWEEN MEMBERS. INSTALL FASTENERS WITHOUT SPLITTING OF WOOD, PRE-DRILL AS REQUIRED.
- COUNTERSINK NAIL HEADS ON ALL EXPOSED CARPENTRY WORK AND FILL HOLES.
- NAILS SHOULD BE LOCATED AT LEAST 3/8" FROM THE EDGE OF ALL STRUCTURAL PANELS AND DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.

ENGINEERED LUMBER NOTES

- LAMINATED VENEER LUMBER (LVL), PARALLEL STRAND LUMBER (PSL), AND LAMINATED STRAND LUMBER (LSL) SHALL BE MANUFACTURED IN COMPLIANCE WITH THE NATIONAL EVALUATION SERVICE (NES) REPORT NO. NER-481, OR ICBO EVALUATION SERVICE REPORT NO. ER-4979.
- LAMINATED VENEER LUMBER (LVL) SHALL BE EITHER "MICROLAM" AS MANUFACTURED BY TRUSS JOIST WEYERHAEUSER, "C-PI" LAM AS MANUFACTURED BY THE GEORGIA PACIFIC CORPORATION, OR "GANG-LAM" AS MANUFACTURED BY THE LOUISIANA PACIFIC CORPORATION.
- PARALLEL STRAND LUMBER (PSL) SHALL BE "PARALLAM" AS MANUFACTURED BY TRUSS JOIST WEYERHAEUSER.
- FOUNDATION SILL PLATES SHALL BE 1.3E STRANDGUARD "TIMBERSTRAND LSL" AS MANUFACTURED BY TRUSS JOIST WEYERHAEUSER. STRANDGUARD MUST NOT COME IN CONTACT WITH THE GROUND. (NOTE THAT CARBON STEEL CONNECTORS MAY BE USED WITH THE PRODUCT.)
- MINIMUM ALLOWABLE STRESS AND STIFFNESS CHARACTERISTICS SHALL BE AS FOLLOWS:

2.0E MICROLAM LVL	Fb = 2600 PSI	1.3E STRANDGUARD	Fb = 1900 PSI
Fcd = 2510 PSI	TIMBERSTRAND LSL	Fcd = 1835 PSI	BEAM
Fcd = 750 PSI	SILL PLATE	Fcd = 670 PSI	Fv = 285 PSI
E = 2,000,000 PSI		E = 1,300,000 PSI	
1.8E PARALLAM PSL	Fb = 2400 PSI	Fcd = 2500 PSI	
Fcd = 545 PSI		Fv = 190 PSI	
E = 1,800,000 PSI			
- TJI/PRO JOISTS SHALL BE MANUFACTURED BY TRUSS JOIST WEYERHAEUSER OR APPROVED MANUFACTURER WITH DESIGN PROPERTIES EQUAL TO OR BETTER THAN WEYERHAEUSER. Website: [www.weyerhaeuser.com/woodproducts](http://www.weyerhaeuser.com/woodproducts) (telephone 888-453-8558)





RESIDENTIAL RENOVATION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

YESTADT  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
T 914 834 1641  
F 914 834 1836



EXISTING REAR ELEVATION  
SCALE 3/16" = 1'-0"



PROPOSED REAR ELEVATION  
SCALE 1/4" = 1'-0"

BASEMENT NOT COUNTED AS A STORY AS DEFINED BY T.O.M ZONING CODE	BASEMENT NOT COUNTED AS A STORY AS DEFINED BY IRC-2015
<p>(LESS THAN 5')</p> <p>3'-11"</p> <p>BASEMENT CEILING</p> <p>AVG. GRADE</p> <p>T.O.F.F. EXIST. BASEMENT</p> <p>5'-0"</p> <p>2'-6 1/2"</p>	<p>(LESS THAN 6')</p> <p>4'-10"</p> <p>FLOOR NEXT ABOVE</p> <p>AVG. GRADE</p> <p>6'-0"</p>

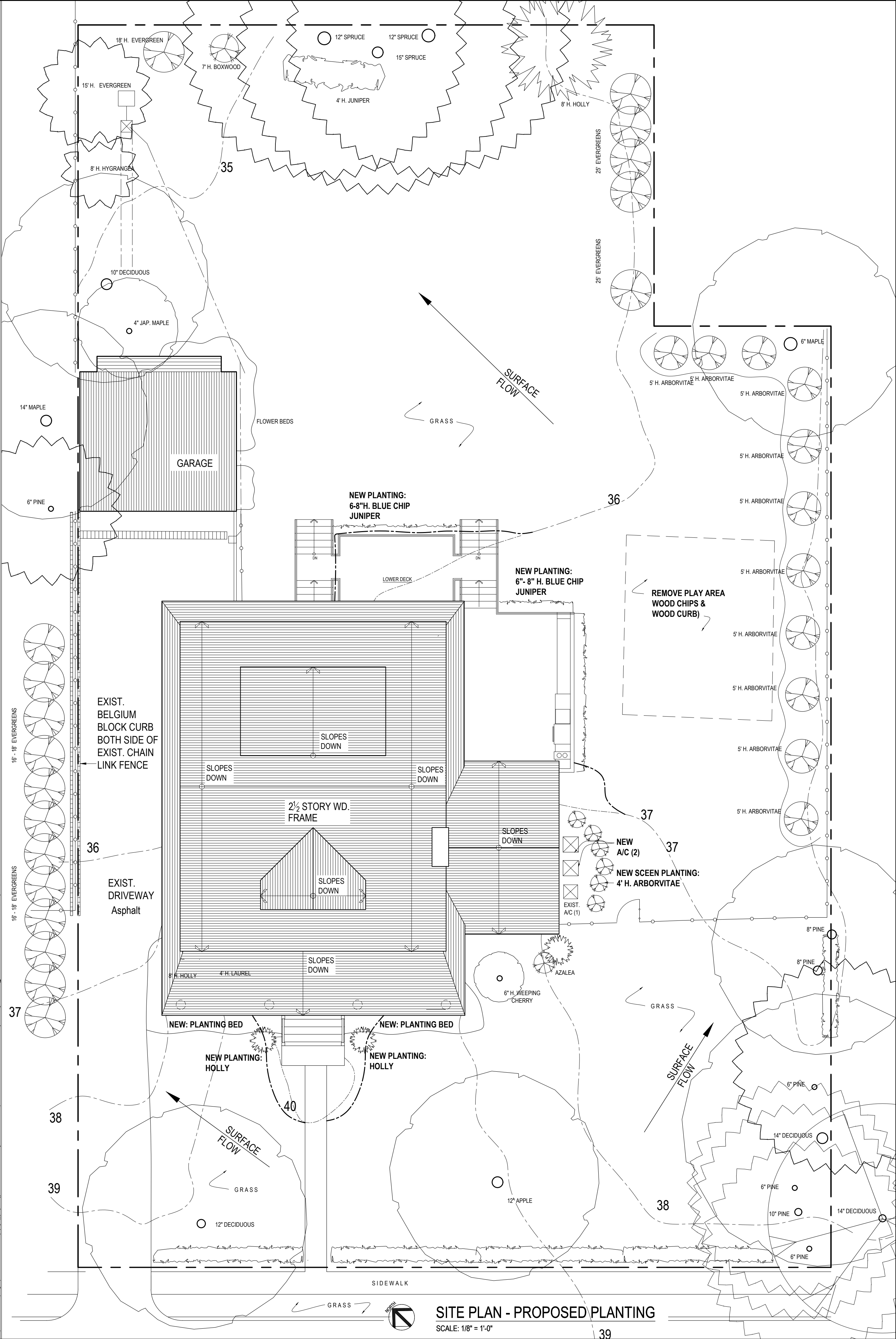
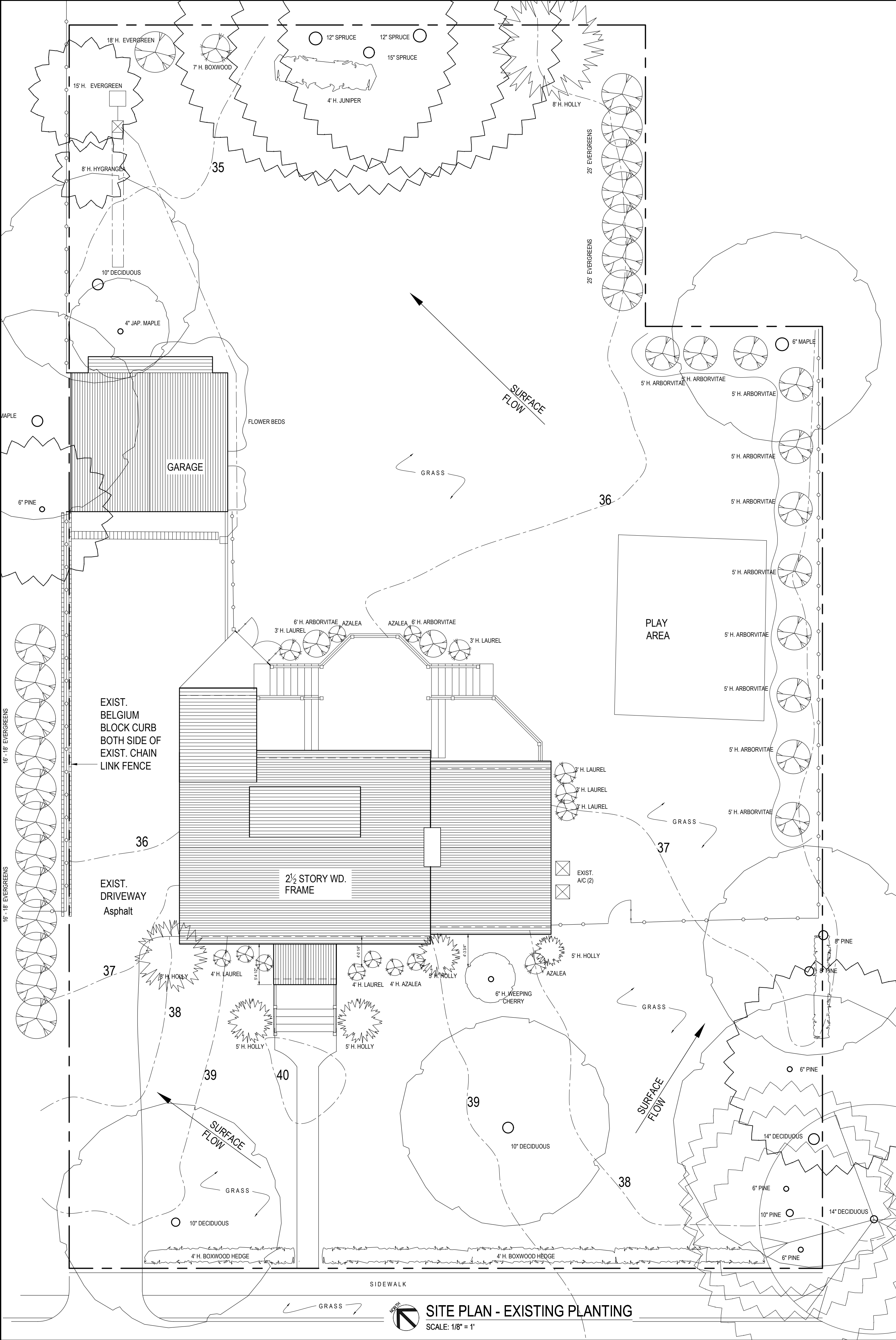
NO. DATE REVISION

AVGERAGE GRADE

JOB NO. 1936 DRAWING NO.  
DATE 00.00.00  
SCALE AS NOTED  
DRAWN BY RY/ KB

A-19  
ZONING





**RESIDENTIAL RENOVATION**

**THE KEATING RESIDENCE**  
8 HAWTHORNE ROAD  
LARCHMONT, NY

**YESTADT**  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT, NY 10538  
914.834.1641  
T 914.834.1641  
F 914.834.1836

NOTES:  
1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.  
2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
3. SPACE TREE PROTECTION ZONE SIGNS THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".  
3. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.  
4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

**LEGEND**  
EXISTING GRADING  
PROPOSED GRADING

NO.	DATE	REVISION

**PLANTING PLANS**

JOB NO.	1936	DRAWING NO.
DATE	6.12.20	
SCALE	AS NOTED	
DRAWN BY	RY/KB	

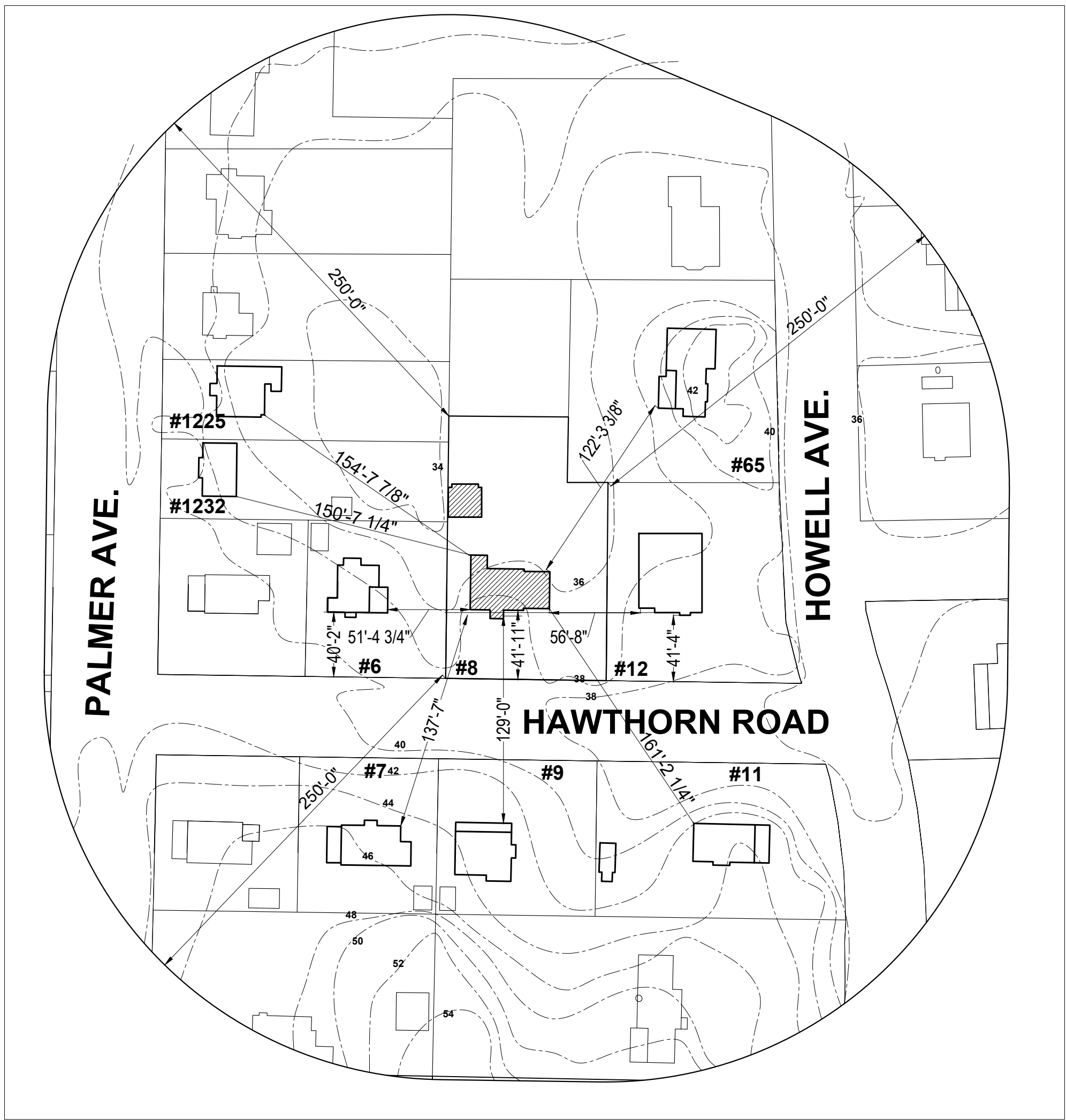
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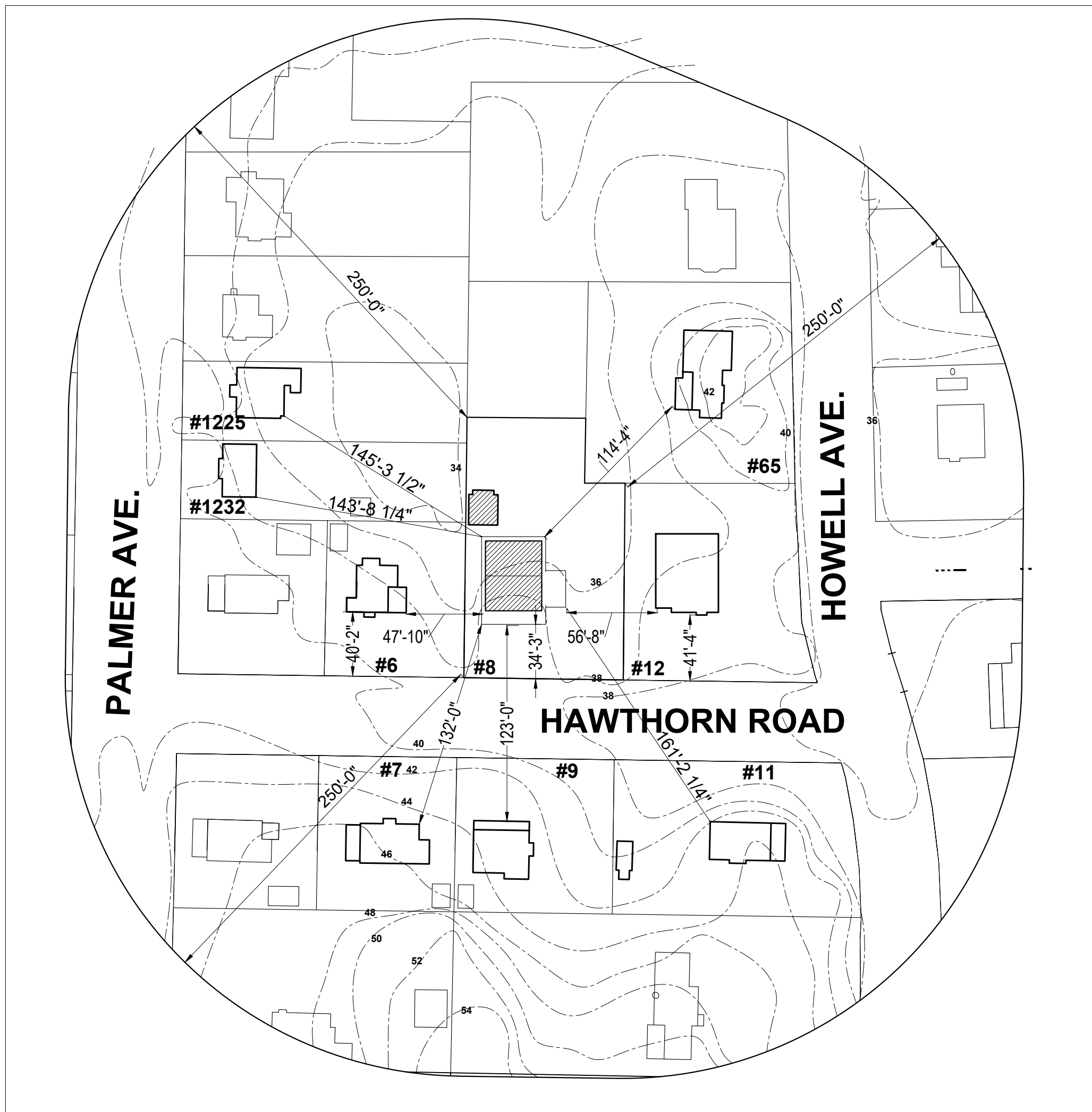
RESIDENTIAL RENOVATION

THE KEATING RESIDENCE  
8 HAWTHORNE ROAD  
LARCHMONT, NY

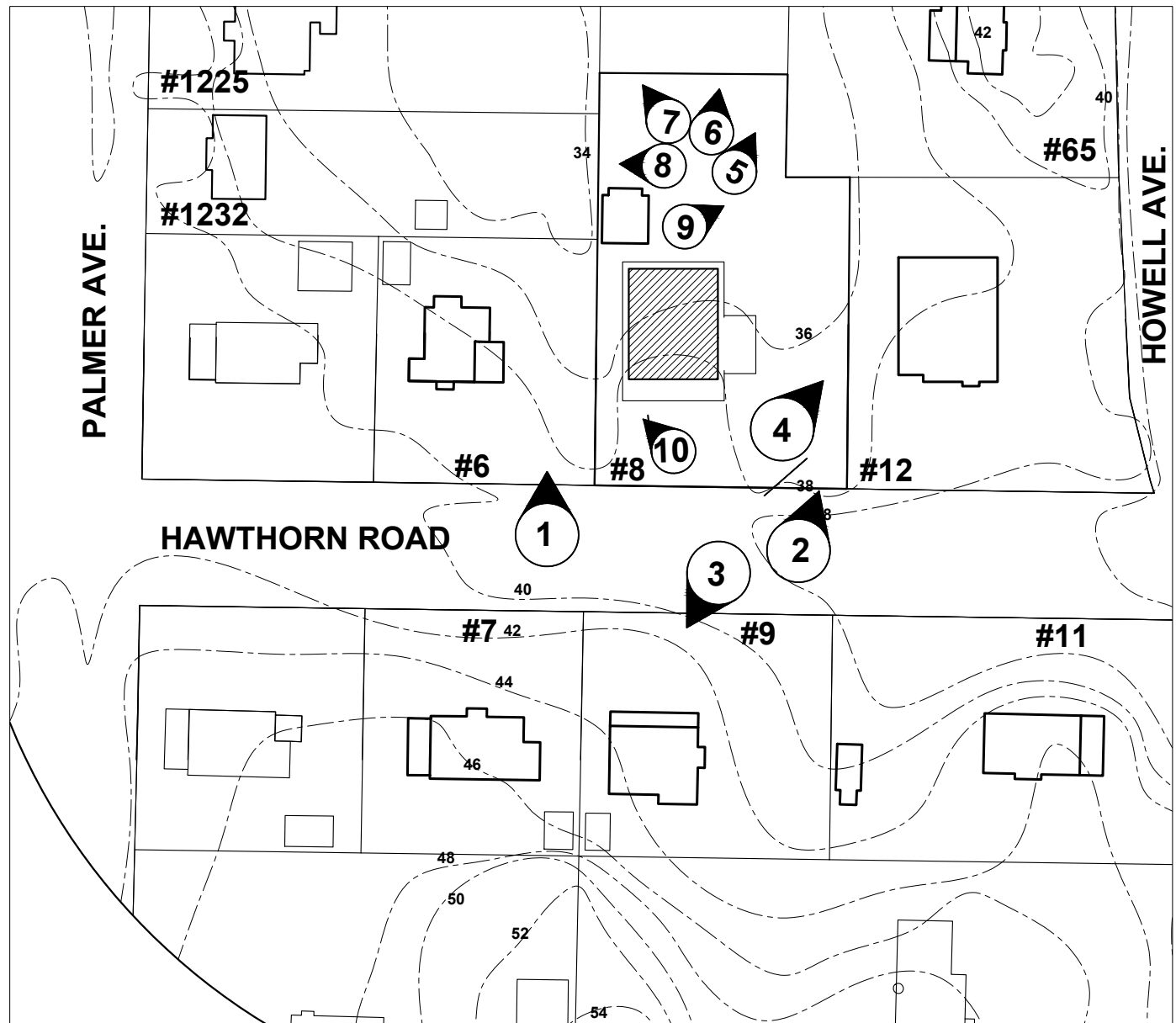
YESTADT  
ARCHITECTURE + DESIGN  
17 NORTH CHATSWORTH AVENUE  
LARCHMONT NY 10538  
T 914 834 1641  
F 914 834 1836



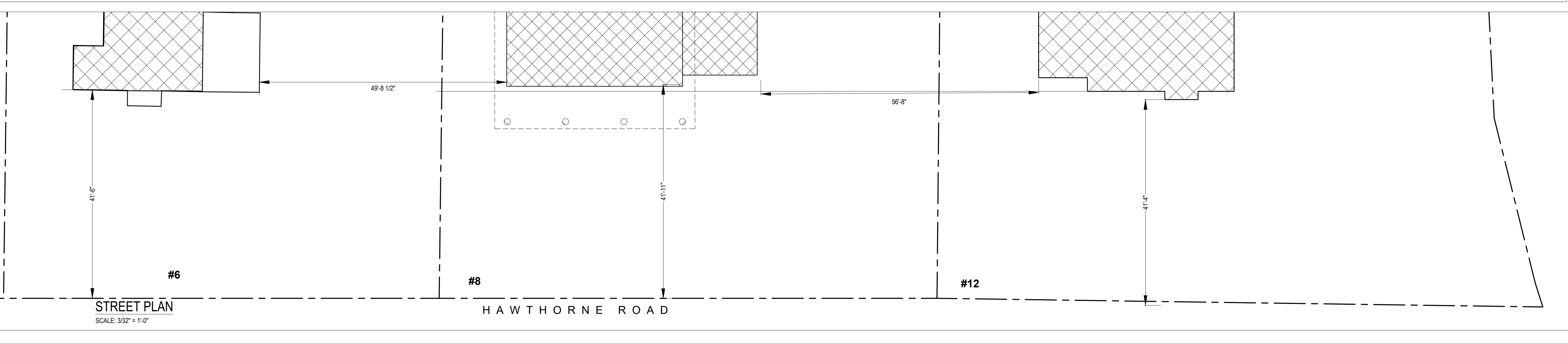
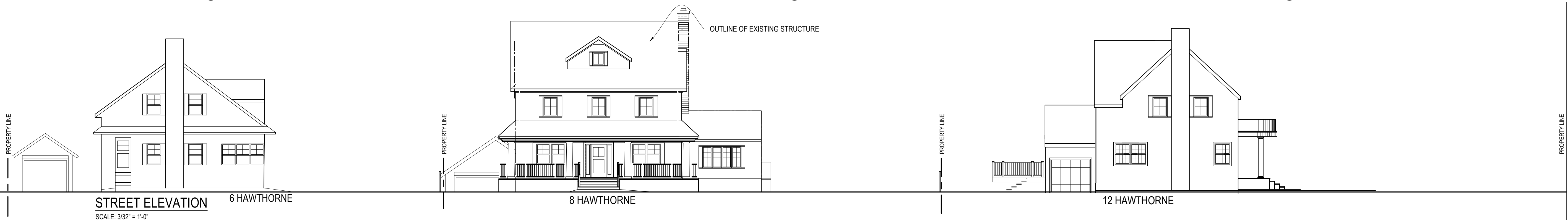
PROXIMITY PLAN - PROPOSED  
SCALE: 1/64" = 1'-0"



PROXIMITY PLAN - PROPOSED  
SCALE: 1/64" = 1'-0"



KEY PLAN - PHOTOS  
SCALE: 1/64" = 1'-0"



NO.	DATE	REVISION
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STREET ELEV.  
PROXIMITY PLANS

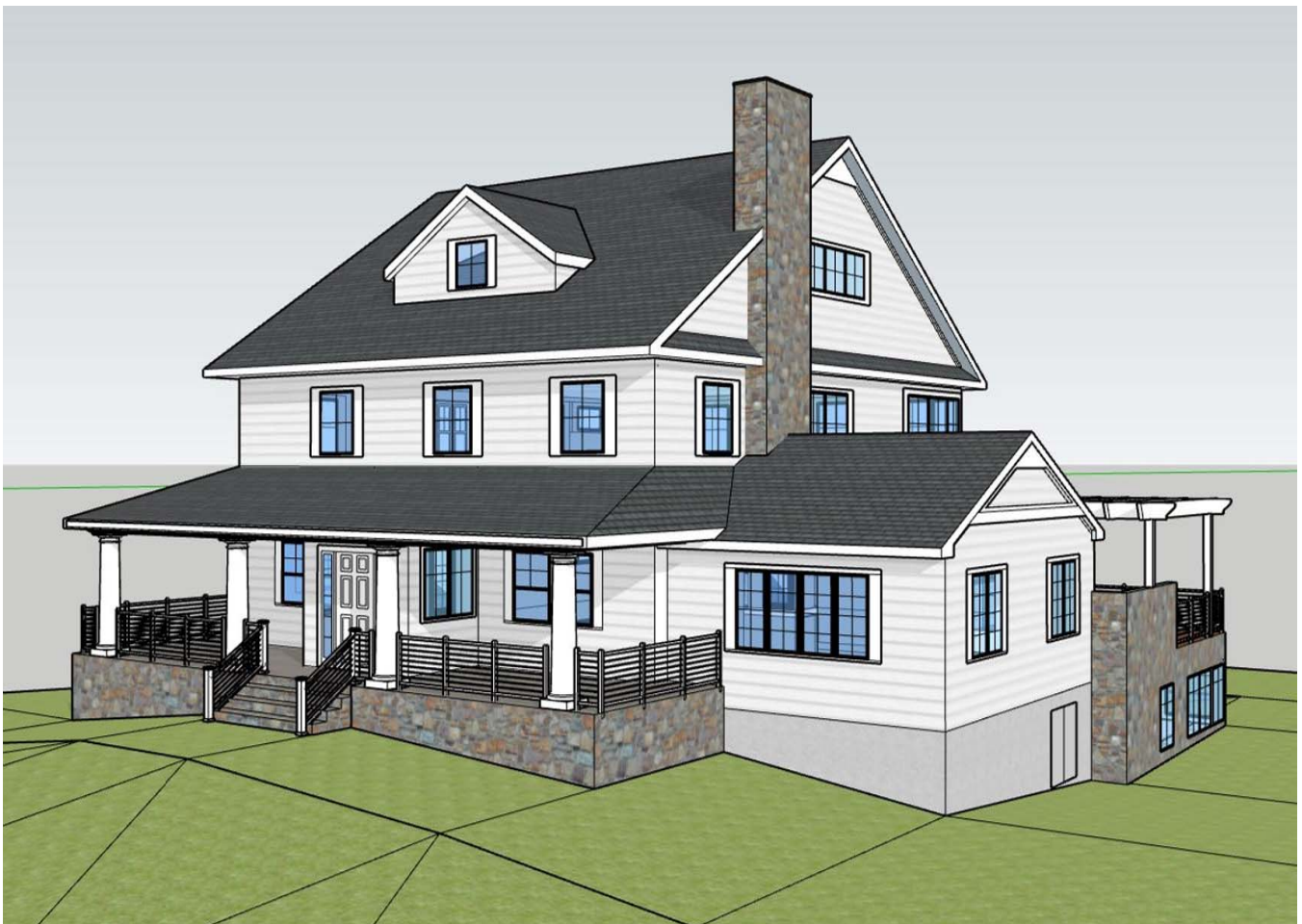
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DRAWN BY RY/KB

A-21  
ZONING

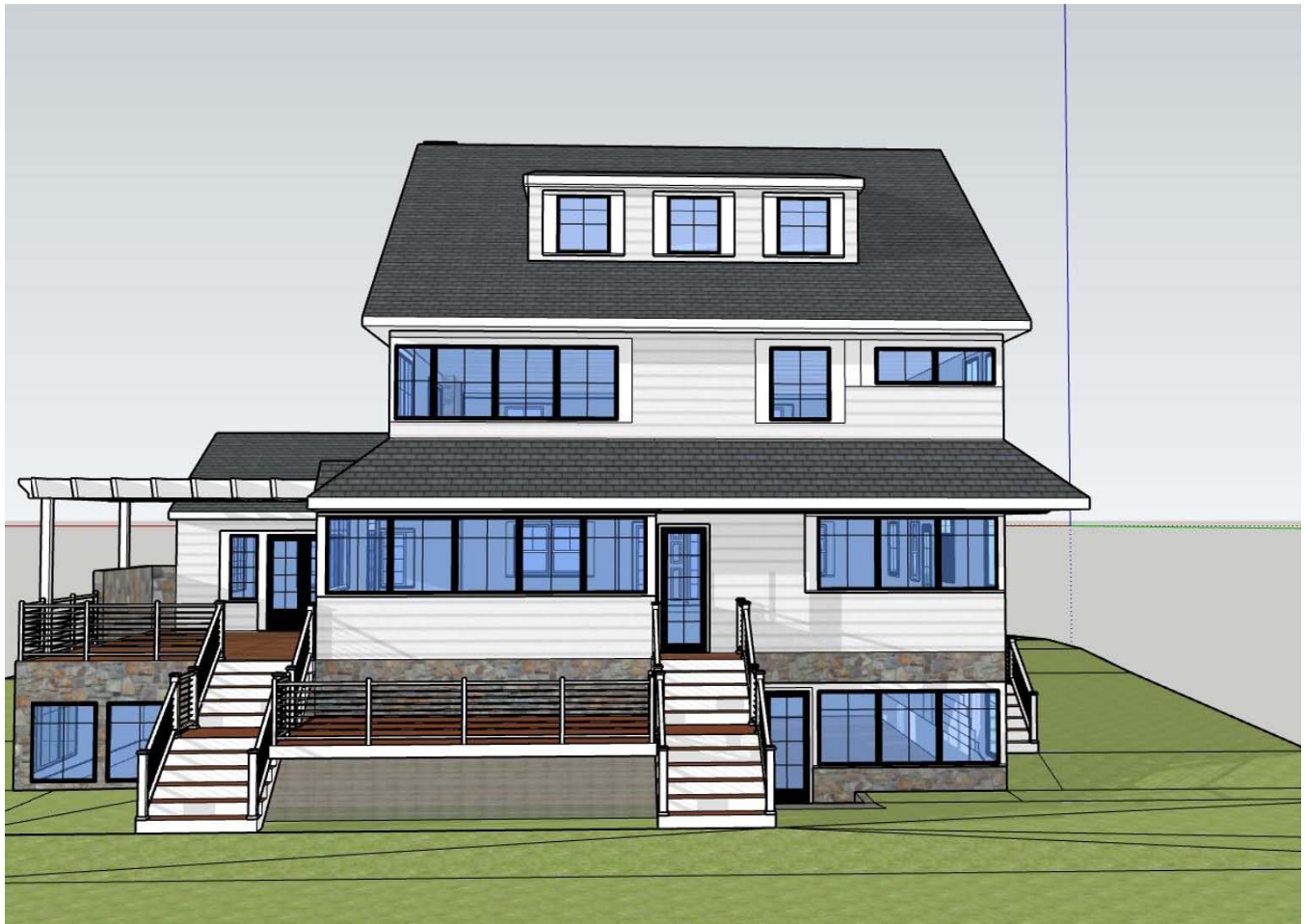
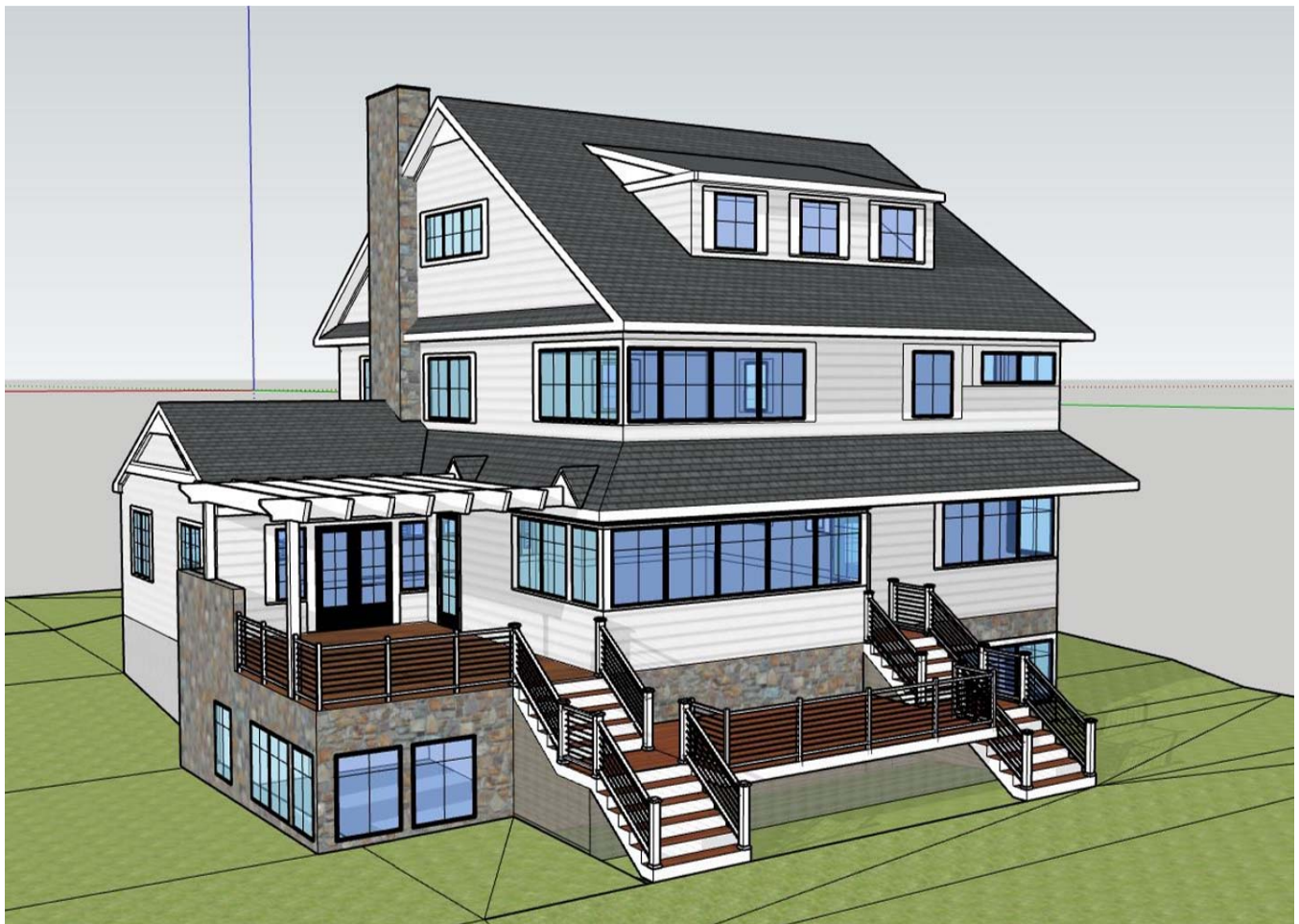


8 HAWTHORNE ROAD KEATING RESIDENCE

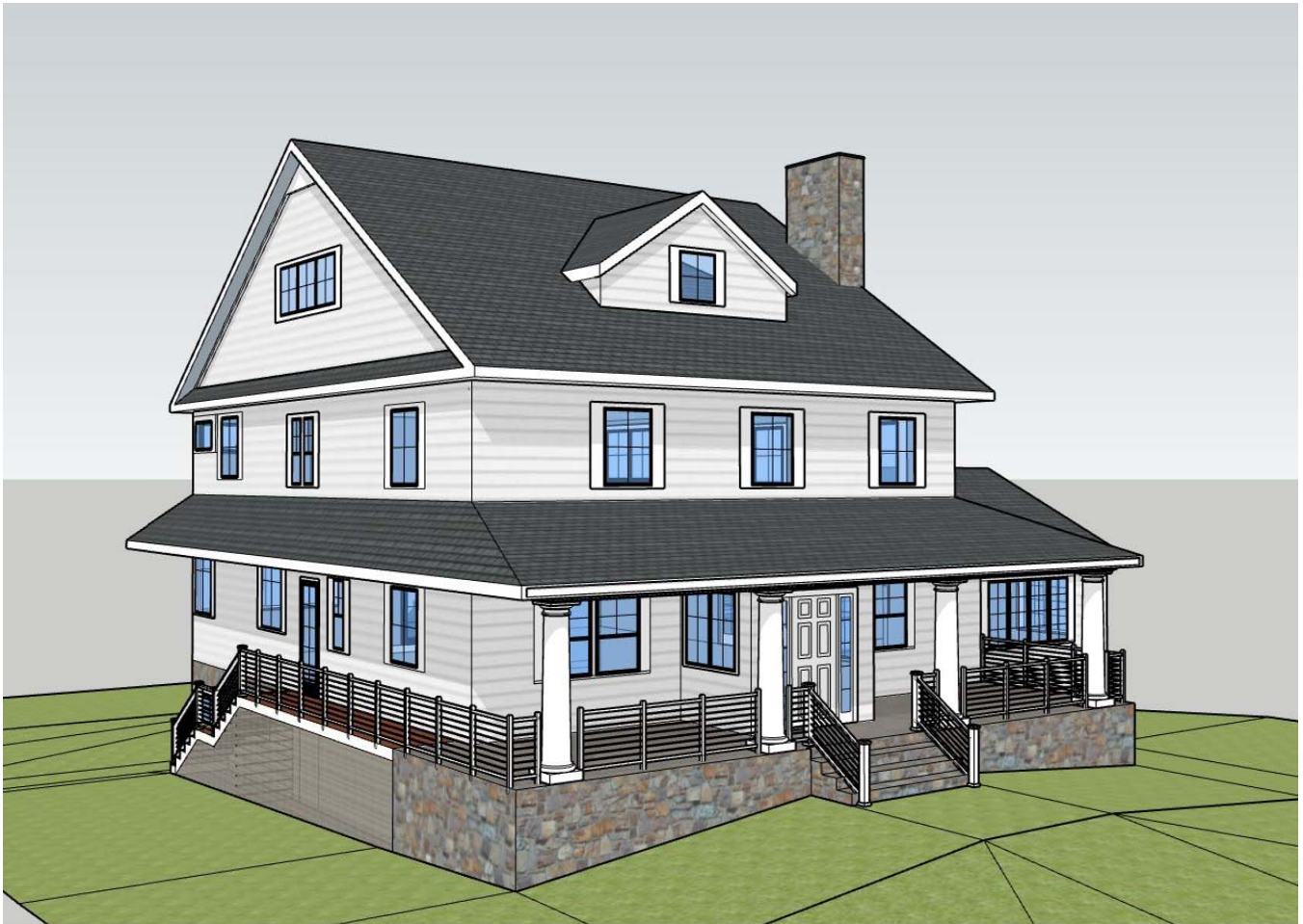
YESTADT ARCHITECTURE + DESIGN 6.9.20











GOOD DESIGN CREATES VALUE

## THE KEATING RESIDENCE



8 HAWTHORNE ROAD LARCHMONT NY

PHOTOS

PLANNING CHECKLIST ITEM - #11 (xx)

YESTADT ARCHITECTURE + DESIGN

PALMER AVE.

#1225

#1232

#6

#8

#12

#65

HAWTHORN ROAD

#7 42

#9

#11

HOWELL AVE.

34

40

36

36

38

40

44

46

42

7

6

8

5

9

10

4

1

3

2





6 HAWTHORNE RD.

8 HAWTHORNE RD.





2

8 HAWTHORNE RD.

12 HAWTHORNE RD





3

9 HAWTHORNE RD

Google

7 HAWTHORNE RD





4

12 HAWTHORNE ROAD (FROM 8 HAWTHORNE SIDE YARD)





5

65 HOWELL AVENUE FROM 8 HAWTHORNE (REAR YARD)





6

65 HOWELL AVENUE FROM 8 HAWTHORNE (REAR YARD)





7

1225 PALMER AVENUE FROM 8 HAWTHORNE (REAR YARD)













10

6 HAWTHORNE ROAD (FROM 8 HAWTHORNE SIDE & FRONT YARD)



**Town of Mamaroneck - Village of Larchmont  
Coastal Assessment Form (CAF)**

Applicants, or the appropriate municipal agency, shall complete this Coastal Assessment Form (CAF) for proposed actions which are subject to Local Consistency Review (see Waterfront Revitalization Law §§234-1 through 234-5 in the Code of the Town of Mamaroneck and §§292-1 through 292-4 in the Code of the Village of Larchmont). This assessment is intended to supplement other information used by the Bi-Municipal Coastal Zone Management Commission in making a determination of consistency with the Town of Mamaroneck and Village of Larchmont Local Waterfront Revitalization Program.

Upon completion of this form, it should be submitted as part of a complete application package for review. If assistance or further information is required for Town of Mamaroneck matters, please contact the Town of Mamaroneck Environmental Planner at (914) 381-7845. For Village of Larchmont matters, please contact the Village of Larchmont Building Inspector at (914) 834-6210.

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**PLEASE PRINT OR TYPE ALL ANSWERS.**

**A. GENERAL INFORMATION**

Will the proposed action be undertaken by a municipal agency? Yes [ ] No ☒

If yes, please list agency or agencies and contact person(s): \_\_\_\_\_

If no, please complete the applicant information:

Name of Applicant: Stephen Marsh

Street Address: 30 Homer Ave

City, State, Zip: Larchmont NY 10538

Phone: 917-612-3383 Fax: \_\_\_\_\_ Email: Steve@marshdev.com

**Location and ownership of property for which action is proposed:**

Section: 2 Block: 12 Lot: 471

Owner of Property: Stephen Marsh

Street Address: 16 Greystone Rd

City, State, Zip: Larchmont NY 10538

Phone: 917-612-3383 Fax: \_\_\_\_\_ Email: Steve@marshdev.com

Size of property (square feet): 12,813 Is the property now developed? Yes ☒ No [ ]

Will project require a zoning variance? Yes [ ] No ☒

If yes, briefly describe: \_\_\_\_\_

Describe any unique/unusual landforms on the project site (rock outcroppings, swales, etc.):

Significant amount of exposed rock outcroppings on property

Percentage of site which contains slopes of 25% or greater: \_\_\_\_\_

Are there streams, lakes, ponds or wetlands existing within or contiguous to the project area?

If so, describe (name, size, characteristics): NO

Will the action require approval by a state or federal agency? Yes [ ] No [X]

If yes, specify which state or federal agency and attach a copy of pending application and any relevant information and/or documentation to this form: \_\_\_\_\_

## B. DESCRIPTION OF SITE AND PROPOSED ACTION

Provide a written description of the nature and the extent of the proposed action. Attach plans or additional information as necessary and/or required by application procedures.

Demolish existing house and rebuild new single family residence



## C. COASTAL ASSESSMENT

Check either "Yes" or "No" for each of the following questions:

1. Will the proposed action be located in, or contiguous to, or have a **potentially adverse effect** upon any of the following designated resource areas?

	Yes	No	Maybe
a. Significant fish or wildlife habitat or designated critical environmental area .....	[ ]	<input checked="" type="checkbox"/>	[ ]
b. Scenic resources of local significance .....	[ ]	<input checked="" type="checkbox"/>	[ ]
c. Natural protective features in an erosion hazard area .....	[ ]	<input checked="" type="checkbox"/>	[ ]

**NOTE:** If the answer to any of the above questions is "Yes", please explain in Section D any measures which will be undertaken to mitigate the adverse effects.

2. Will the proposed action have a **significant effect** upon:

	Yes	No	Maybe
a. Commercial or recreational use of fish and wildlife resources .....	[ ]	<input checked="" type="checkbox"/>	[ ]
b. Scenic quality of the coastal environment .....	[ ]	<input checked="" type="checkbox"/>	[ ]
c. Development of future, or existing water dependent uses .....	[ ]	<input checked="" type="checkbox"/>	[ ]
d. Land or water uses within a small harbor area .....	[ ]	<input checked="" type="checkbox"/>	[ ]
e. Stability of the shoreline .....	[ ]	<input checked="" type="checkbox"/>	[ ]
f. Surface or groundwater quality .....	[ ]	<input checked="" type="checkbox"/>	[ ]
g. Existing or potential public recreation opportunities .....	[ ]	<input checked="" type="checkbox"/>	[ ]
h. Structures, sites or districts of historic, archeological or cultural significance to the local area, state or nation .....	[ ]	<input checked="" type="checkbox"/>	[ ]

3. Will the proposed action **involve or result in** any of the following:

	Yes	No	Maybe
a. Physical alteration of land along the shoreline, land underwater or coastal waters .....	[ ]	<input checked="" type="checkbox"/>	[ ]
b. Expansion of existing public services or infrastructure in or near undeveloped or low density areas of the coastal area? .....	[ ]	<input checked="" type="checkbox"/>	[ ]
c. Filling, dredging, excavation or mining in coastal waters .....	[ ]	<input checked="" type="checkbox"/>	[ ]
d. Reduction of existing or potential public access to or along the shore .....	[ ]	<input checked="" type="checkbox"/>	[ ]
e. Development within a designated flood or erosion hazard area .....	[ ]	<input checked="" type="checkbox"/>	[ ]
f. Development of a natural feature that protects against flooding or erosion .....	[ ]	<input checked="" type="checkbox"/>	[ ]
g. Replacement of eroded sand or soil .....	[ ]	<input checked="" type="checkbox"/>	[ ]
h. Construction or reconstruction of erosion protective structures .....	[ ]	<input checked="" type="checkbox"/>	[ ]
i. Any change in surface or groundwater quality .....	[ ]	<input checked="" type="checkbox"/>	[ ]
j. Removal of trees from the site .....	<input checked="" type="checkbox"/>	[ ]	[ ]

4. Project details:

	Yes	No	Maybe
a. If the project is to be located adjacent to the shore:			
1. Does the project require a waterfront site in order to function .....	[ ]	<input checked="" type="checkbox"/>	[ ]
2. Will water-related recreation be provided .....	[ ]	<input checked="" type="checkbox"/>	[ ]
3. Will public access to shore or state owned underwater lands be provided .....	[ ]	<input checked="" type="checkbox"/>	[ ]
4. Will it replace a recreational or maritime use .....	[ ]	<input checked="" type="checkbox"/>	[ ]
5. Do essential public services and facilities presently exist at or near the site .....	[ ]	<input checked="" type="checkbox"/>	[ ]







I certify that I am the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: 2/27 2020

Stephen Lench  
Signature of Applicant

**Prepared by:** (if different than the applicant)

Name and Title: \_\_\_\_\_

Agency/Company: \_\_\_\_\_

Street Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

I certify that I prepared this Coastal Assessment Form for the above described applicant and that the information contained on this form and on the attached survey/site plan(s) is(are) accurate to the best of my knowledge.

Date: 2/27/ 2020

Stephen Lench  
Signature of Preparer

GENERAL: All plants, trees, and shrubs shall meet the specifications for "plant material" as per the American Standard for Nursery Stock. The landscape architect reserves the right to inspect all plants prior to shipping and installation. There are to be no substitutions of the plants without the consent of the landscape architect.

**PLANTING:** All plants shall be planted in pits two times the diameter of the root ball or container. Plant height should be placed at or slightly above previous grade. Pull back burlap from top of ball and cut wire on tree basket. Ensure that the burlap is not exposed above grade because of water loss. Staking and guying shall be used only when necessary. When the method is used, care should be taken to protect the tree bark and wires should be removed as soon as possible.

**MULCHING:** All planting beds (EXCEPT GROUND COVER) shall be mulched with three inches of shredded bark to conserve water and keep roots covered during initial growth stage. Do not place mulch heavily around crown of plants.

WINTER CARE: All trees and shrubs shall be sprayed with an anti-desiccant the first November after planting.

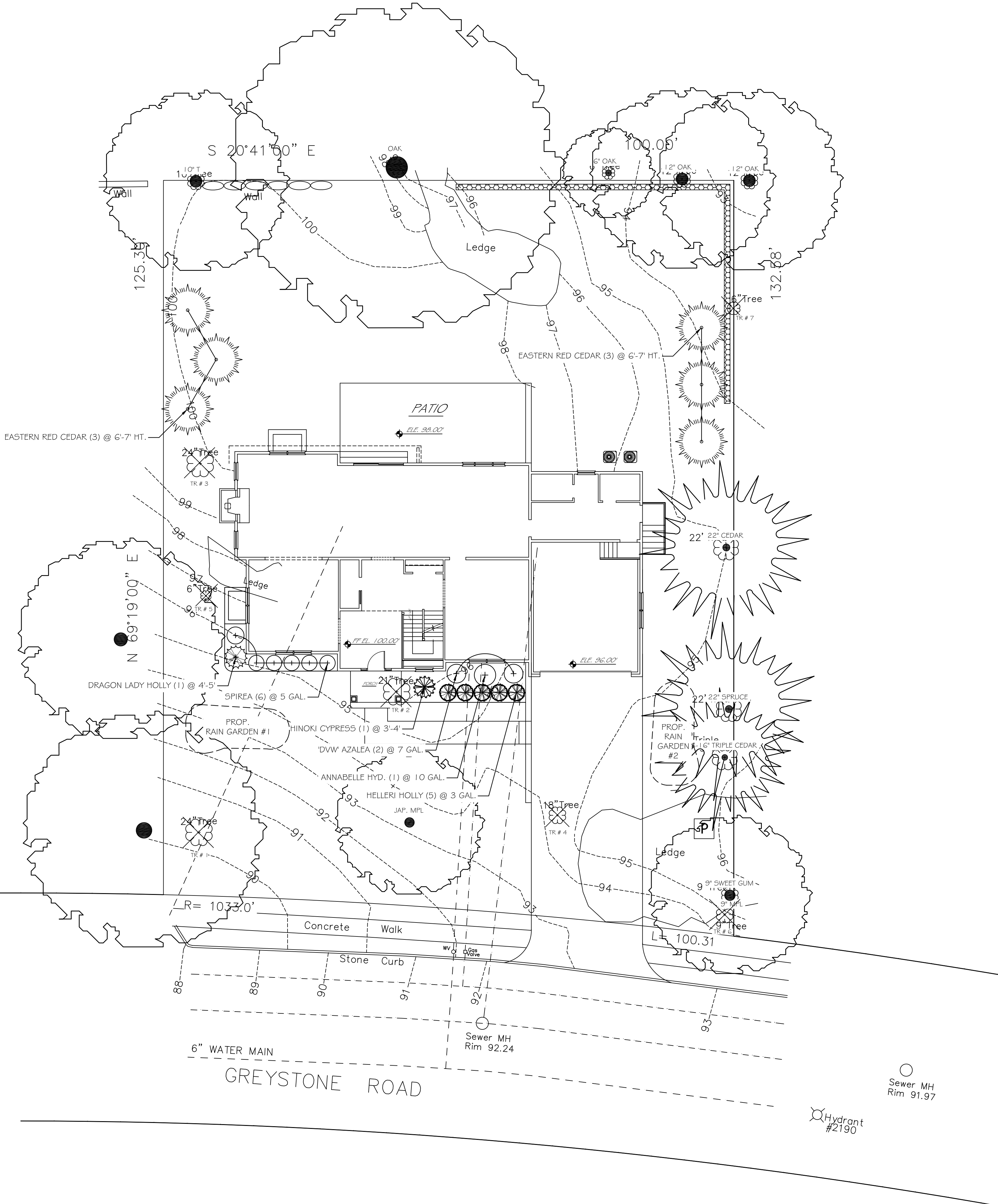
**WATERING:** All plants shall be watered by the contractor during the initial growth stage. Trees shall be heavily watered several times during the first month after planting and then regularly for the next two summers.

**PLANT GUARANTEE:** Contractor shall guarantee all newly installed plants for one-year provided that they are given proper watering/care and contractor is notified of unhealthy stressed plants immediately.



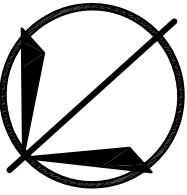
Foundation Planting			
Scientific Name	Common Name	Size	Quantity
<b>Trees</b>			
<i>Ilex mes. 'Dragon Lady'</i>	Dragon Lady Holly	4'-5' ht.	1
<i>Juniperus virginiana</i>	Eastern Red Cedar	6'-7' ht.	6
<b>Shrubs</b>			
<i>Azalea</i> spp. 'Del. Valley White'	Delaware White Azalea	7 gal.	2
<i>Chamaecyparis obtusa 'Gracilis'</i>	Hinokiy Cypress	3'4"	1
<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	10 gal.	1
<i>Ilex crenata 'Helleri'</i>	Helleri Holly	3 gal.	5
<i>Spiraea japonica 'Neon Flash'</i>	Neon Flash Spirea	5 gal.	6
<b>Rain Garden Planting</b>			
<i>Osmunda cinnamomea</i>	Cinnamon Fern	1 gal.	100

TREE REMOVAL SCHEDULE				
TREE #	SIZE	TYPE	CONDITION	NOTES
TR # 1	24"	HEMLOCK	POOR	REMOVE
TR # 2	21"	OAK	GOOD	REMOVE
TR # 3	24"	WHITE PINE	FAIR	REMOVE
TR # 4	18"	OAK	FAIR	REMOVE
TR # 5	6"	MAGNOLIA	POOR	REMOVE
TR # 6	9"	MAPLE	POOR	REMOVE
TR # 7	6"	CEDAR	POOR	REMOVE



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REVISION      DATE

LIGHT GREYSTONE  
LLC

16 GREYSTONE RD  
LARCHMONT, NY 10538

# PLANTING PLAN

DANIEL SHERMAN  
LANDSCAPE ARCHITECT

4 BROADWAY - SUITE 9  
VALHALLA, NY 10595

PHONE: (914) 824 - 0999  
FAX: (914) 824-0251

dan.danshermanlandscape@gmail.com  
www.danshermanlandscape.com



DATE:

FEB. 24, 2020

SCALE:

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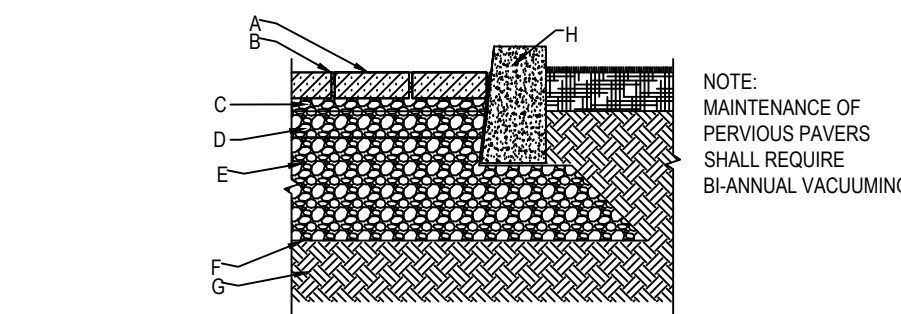




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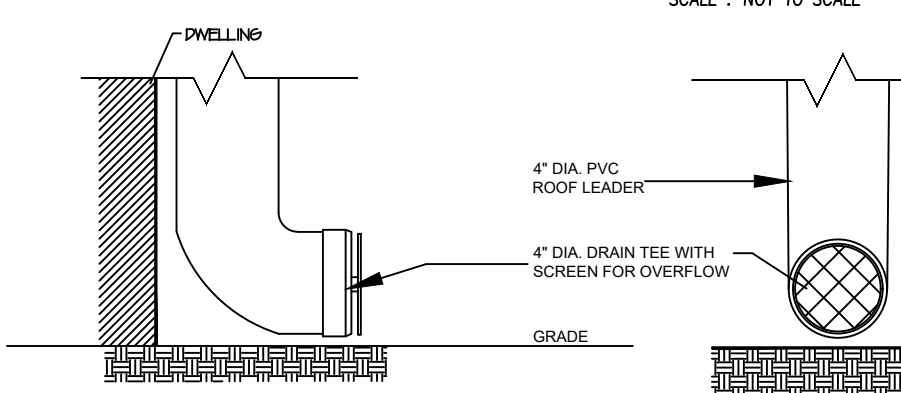


IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 95 OF THE CODE OF THE TOWN OF MAMARONECK, THE PROPOSED PROJECT WILL NOT PRODUCE AN INCREASE IN THE RATE OF SURFACE WATER RUNOFF. THE CODE EXCEPTION READS AS FOLLOWS:

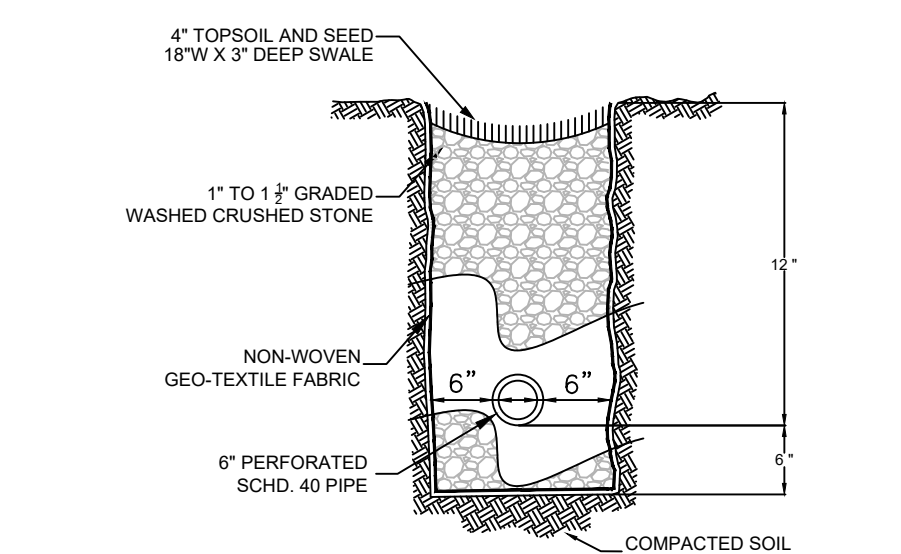


LEGEND:  
A. PERMEABLE PAVEMENT FROM TECO-BLOC, 2 3/8\"/>

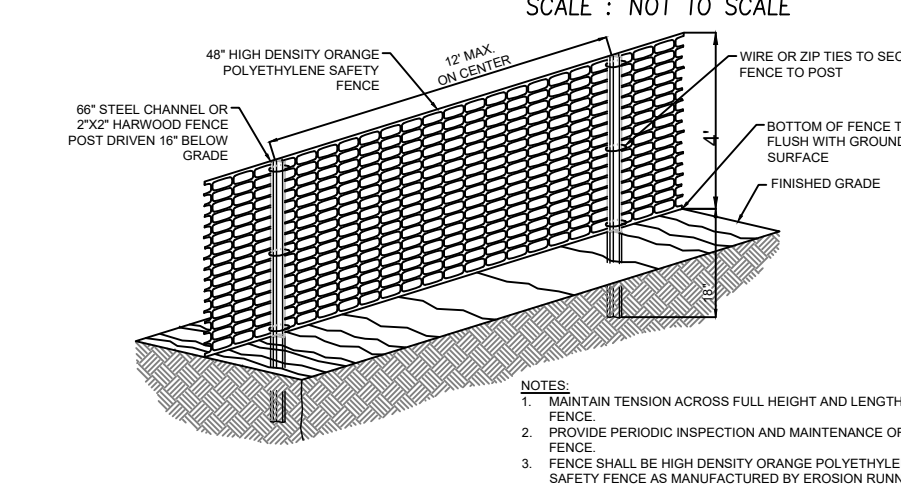
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SCALE : NOT TO SCALE



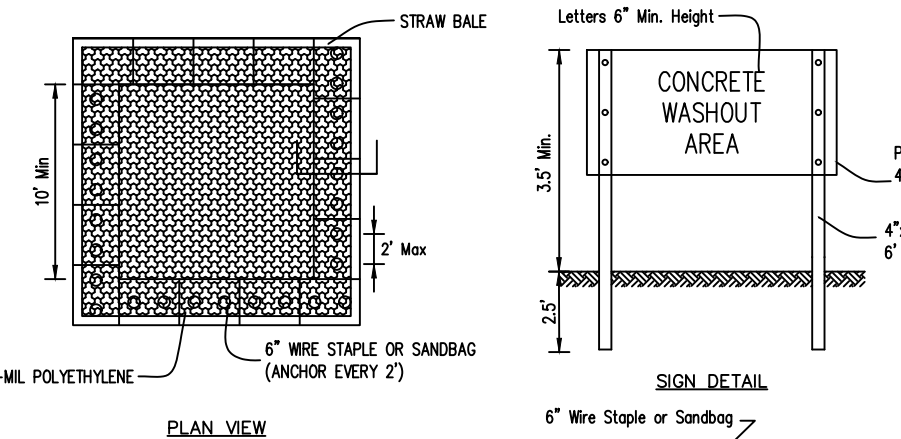
ROOF LEADER OVERFLOW @ GRADE  
SCALE : NOT TO SCALE



SWALE/ CURTAIN DRAIN DETAIL  
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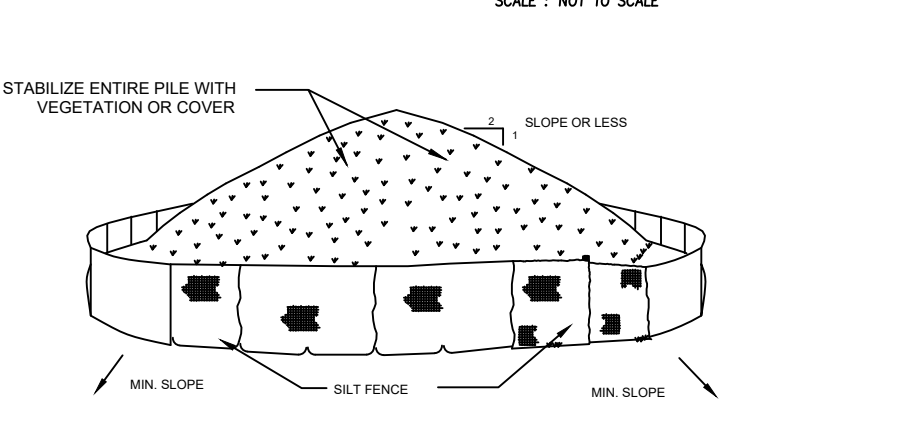


CONSTRUCTION FENCE  
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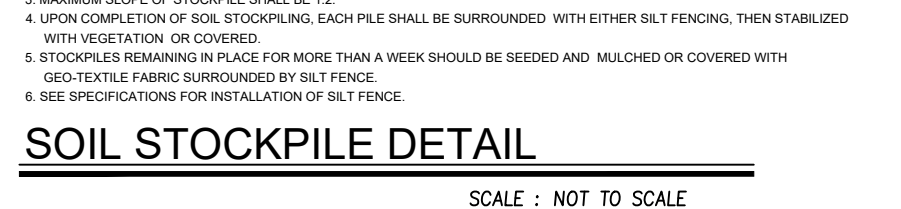


NOTES:  
1. Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.  
2. Facility shall be cleaned or reconstructed in a new area once washout becomes less-than-ideal.  
3. Each straw bale is to be staked in place using (2) 2\"/>

TEMPORARY CONCRETE WASHOUT FACILITY - STRAW BALE  
SCALE : NOT TO SCALE



SOIL STOCKPILE DETAIL  
SCALE : NOT TO SCALE

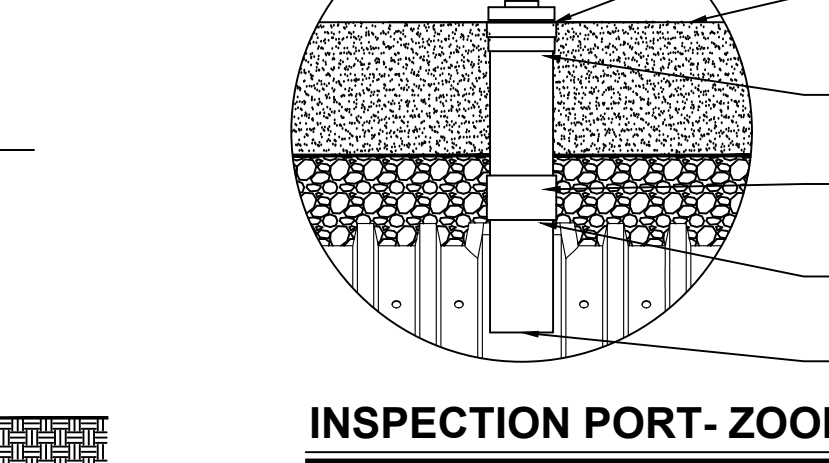


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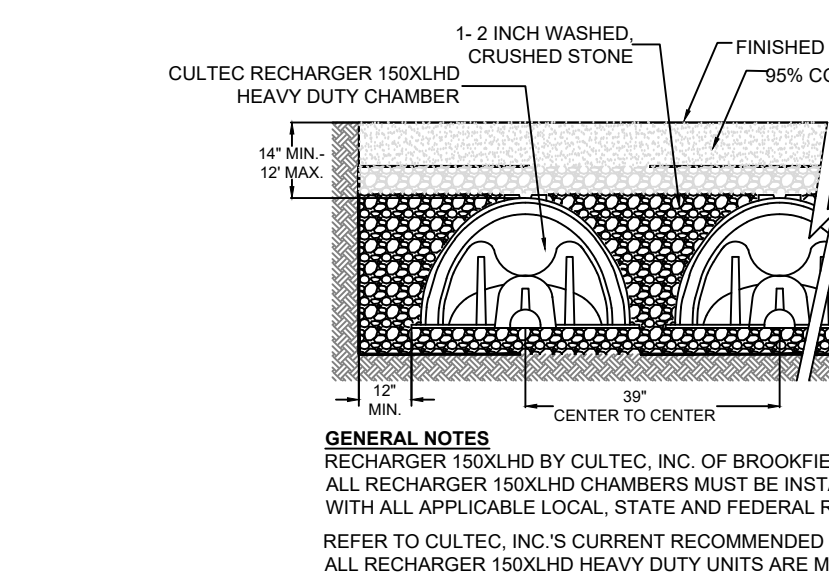
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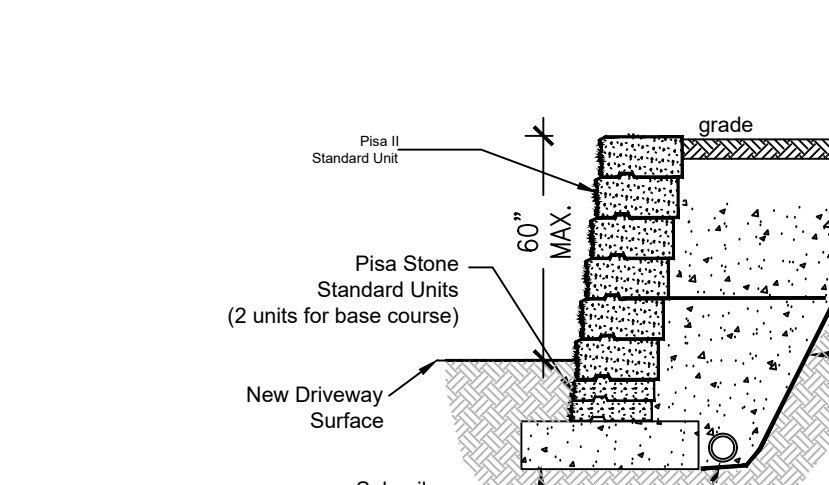
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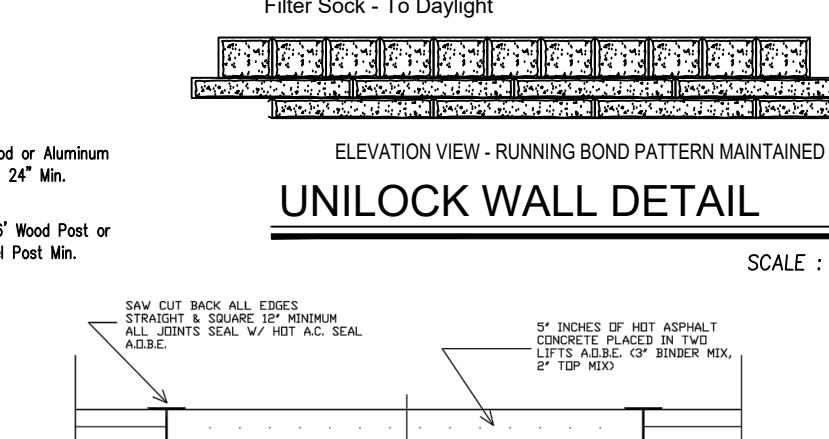
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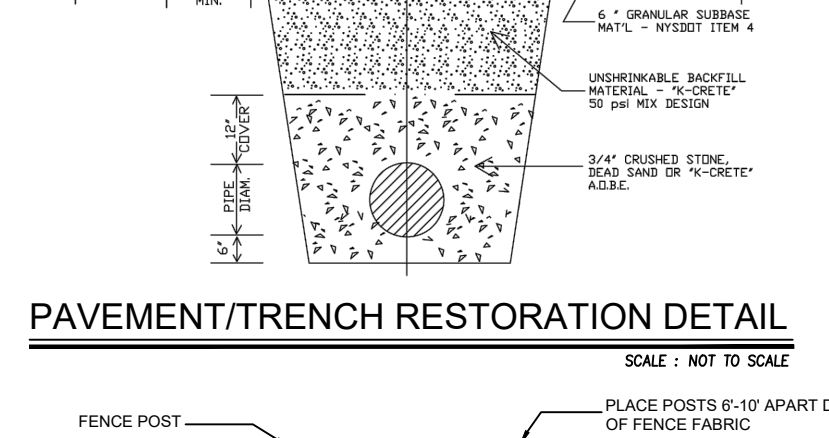
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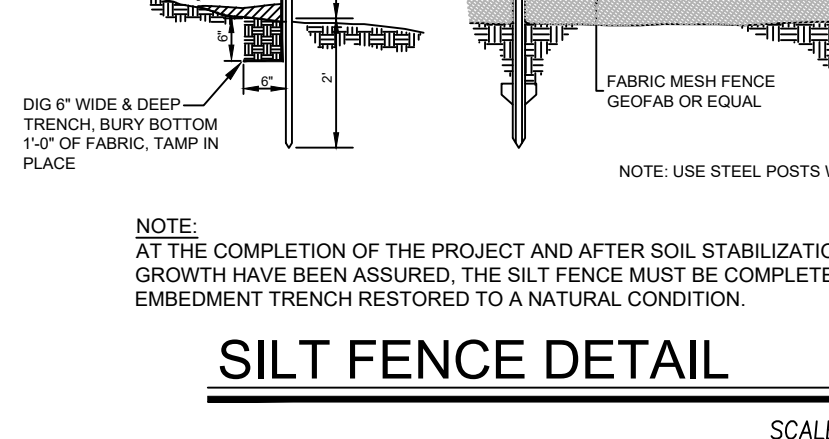
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PROPOSED ROCK REMOVAL  
SCALE : NOT TO SCALE



METHODOLOGY OF ROCK REMOVAL  
SCALE : NOT TO SCALE

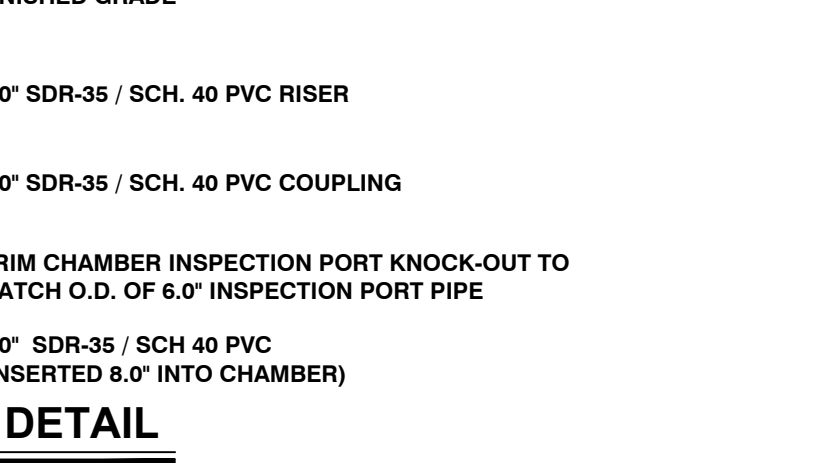


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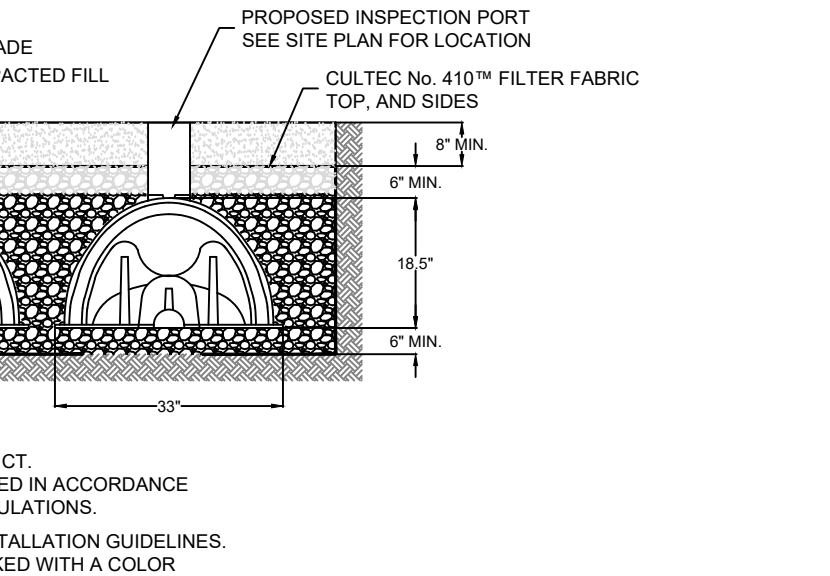
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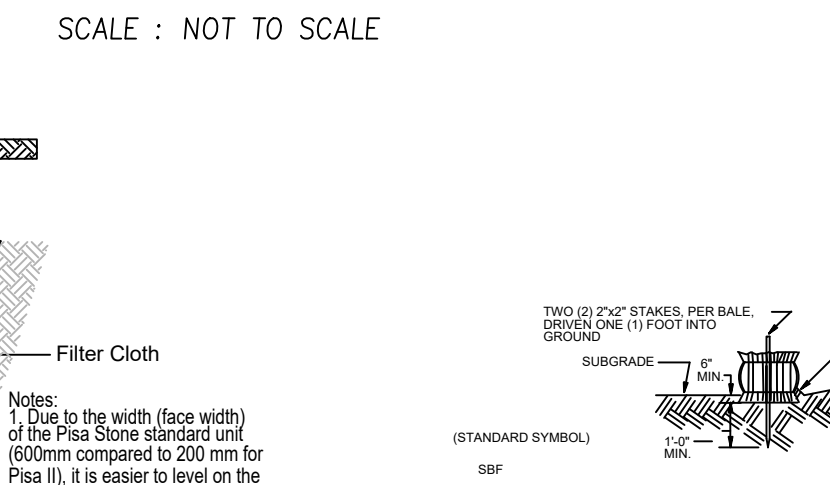
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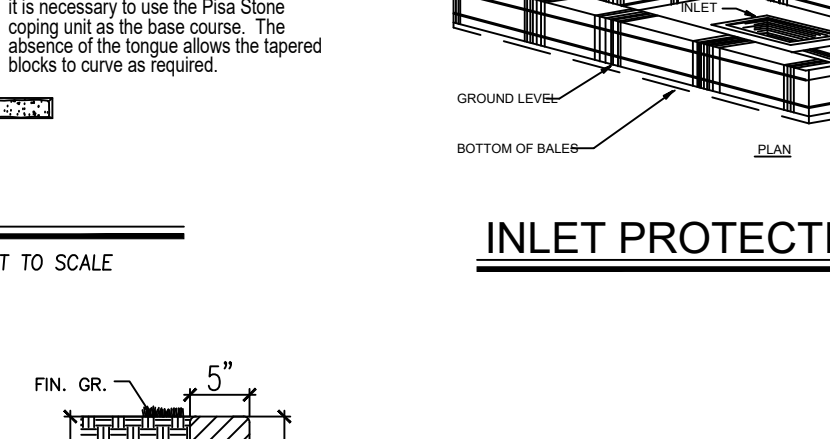
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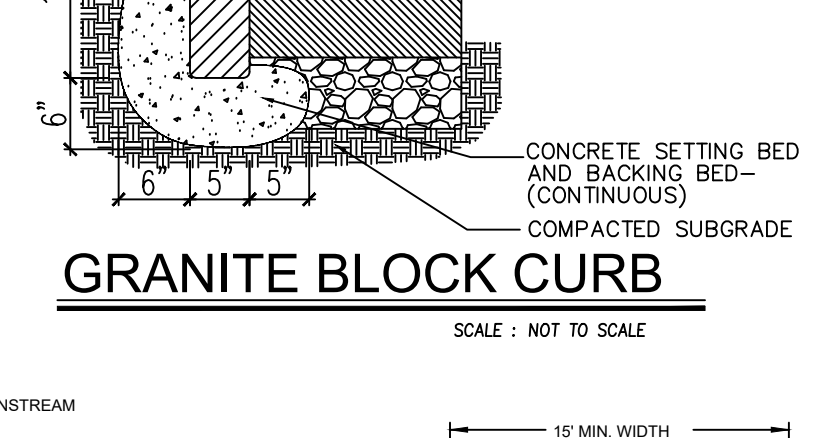
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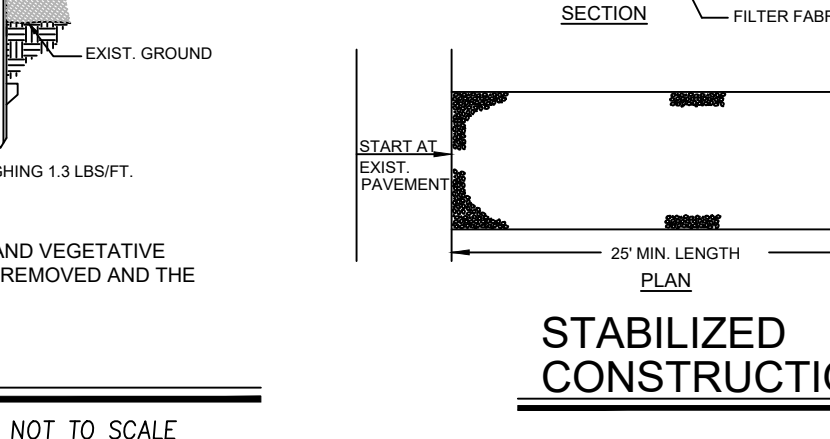
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PROPOSED ROCK REMOVAL  
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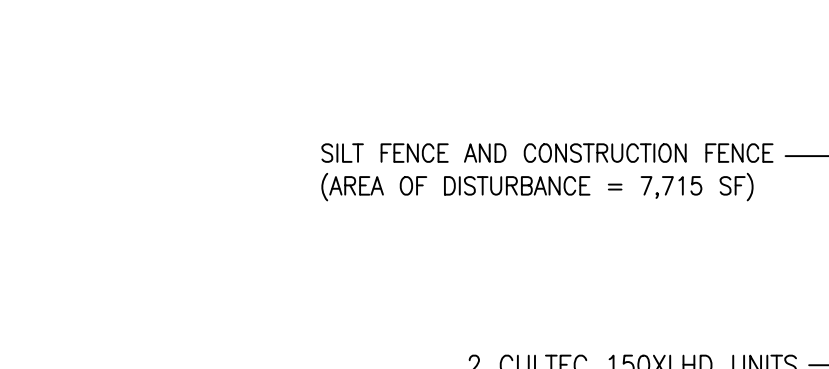


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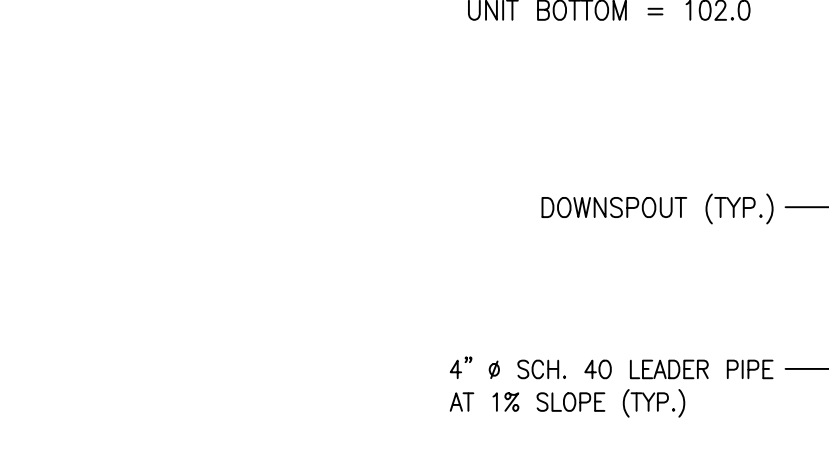


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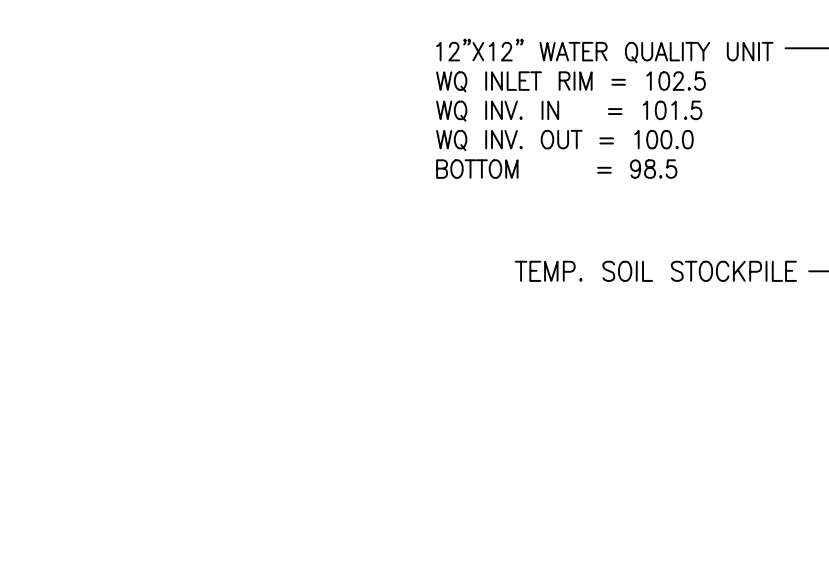
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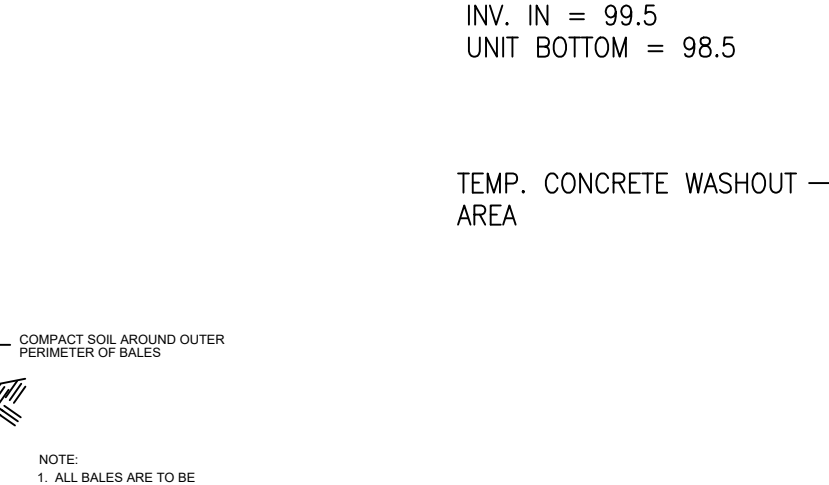
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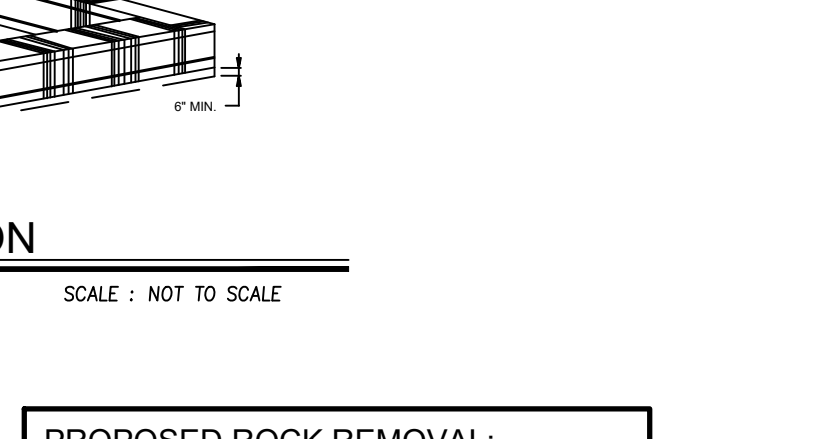
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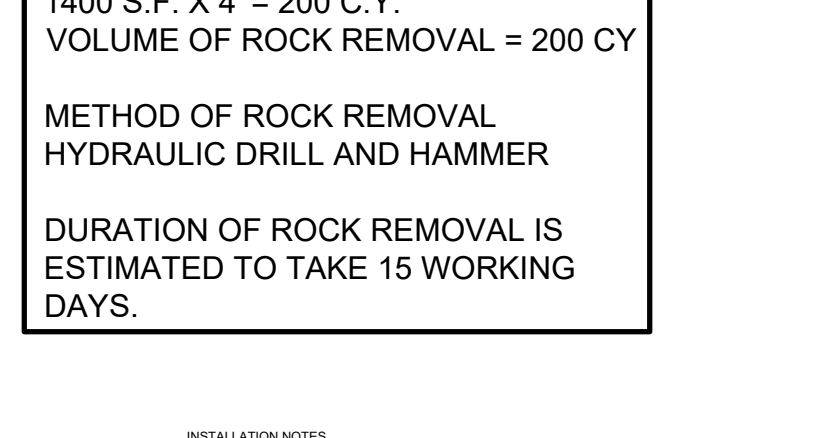
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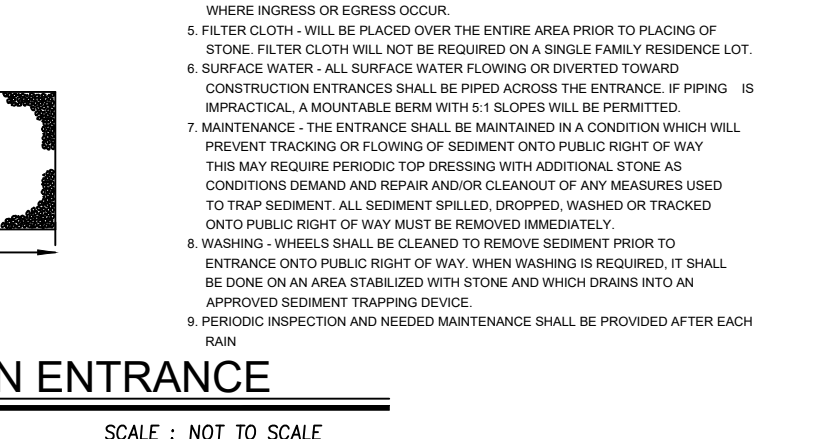
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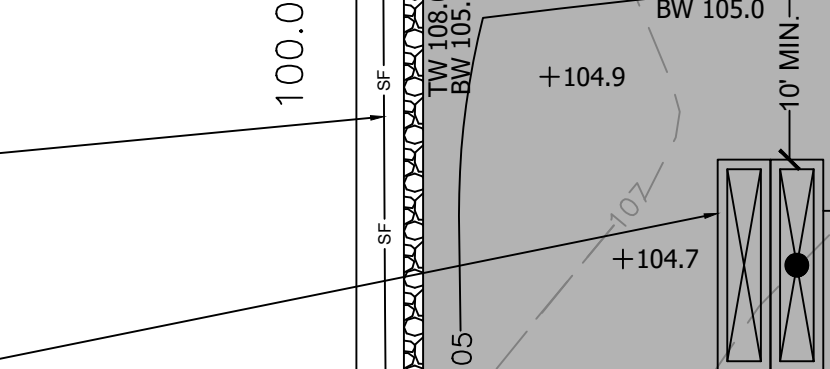


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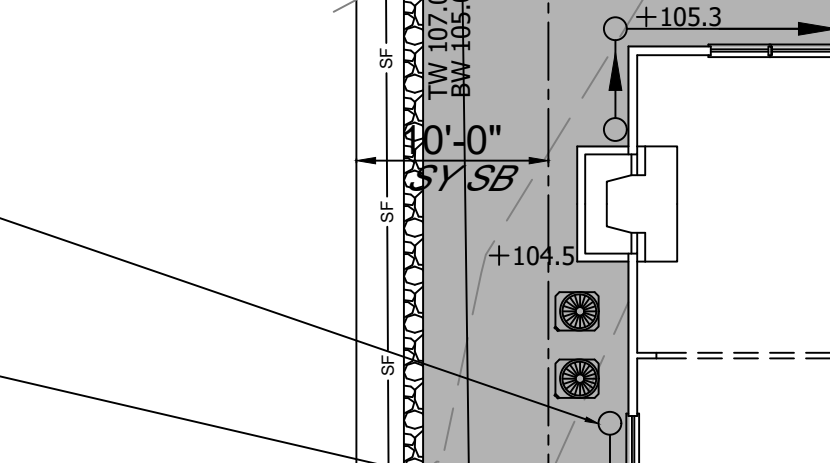


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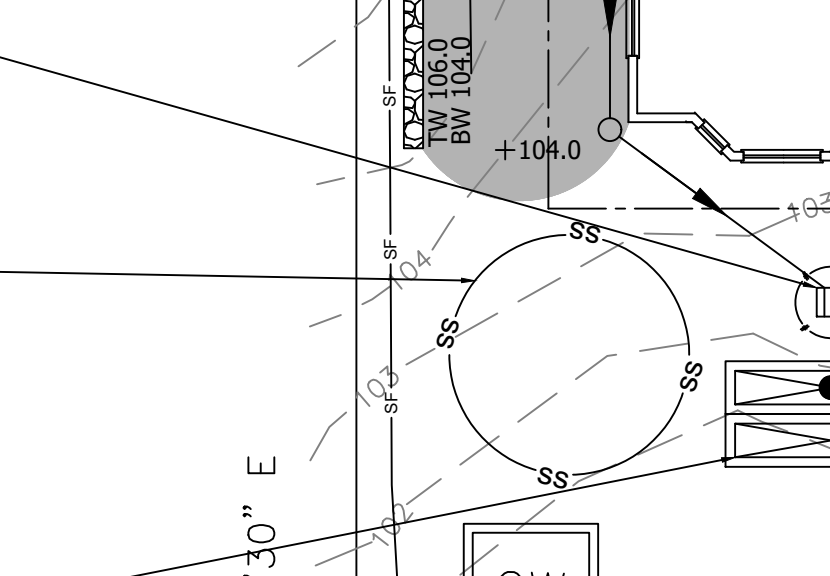
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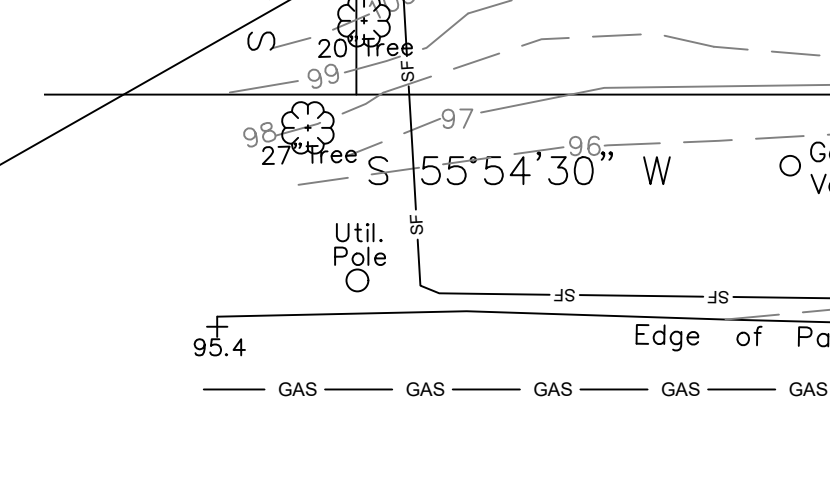
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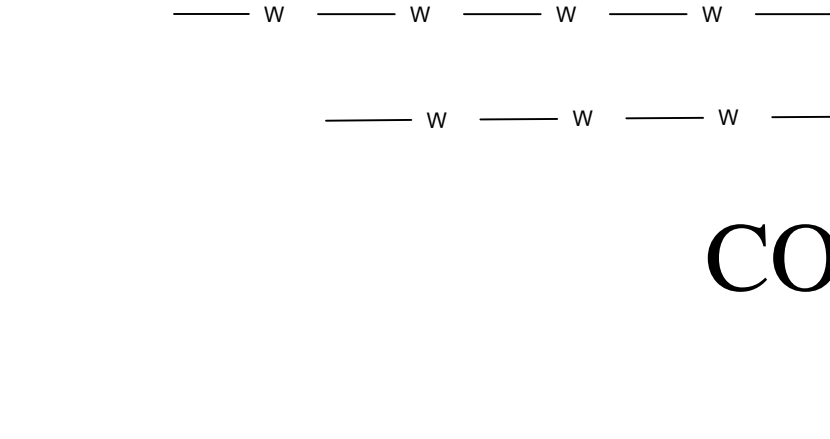
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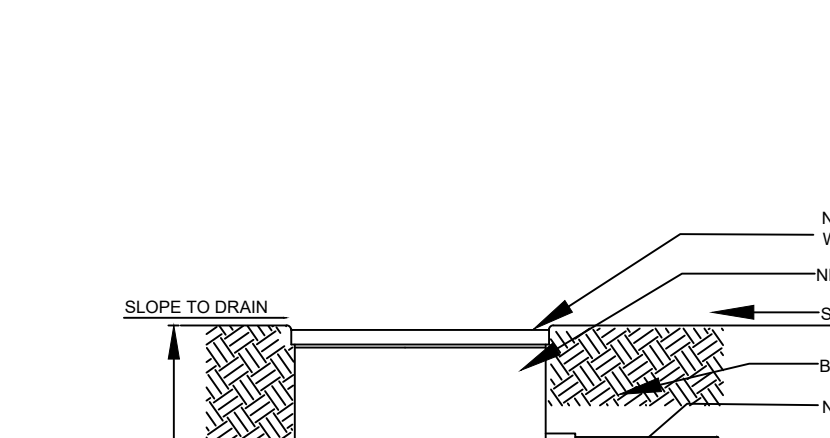
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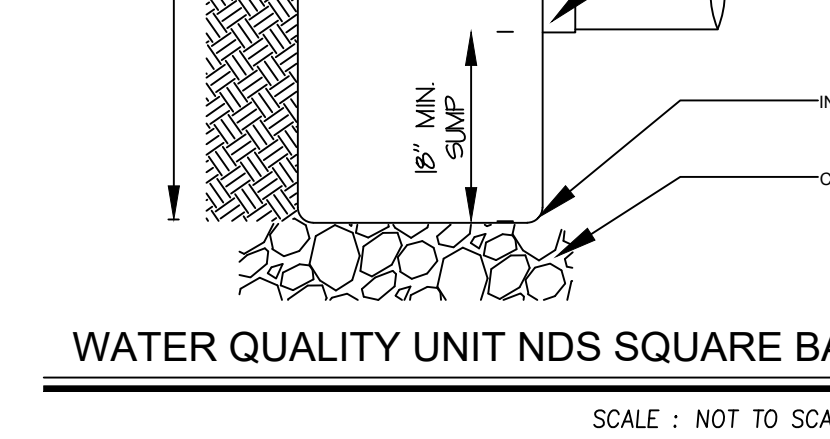
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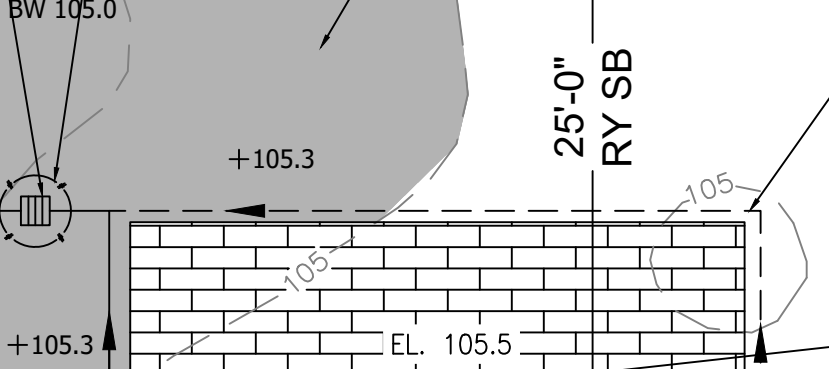


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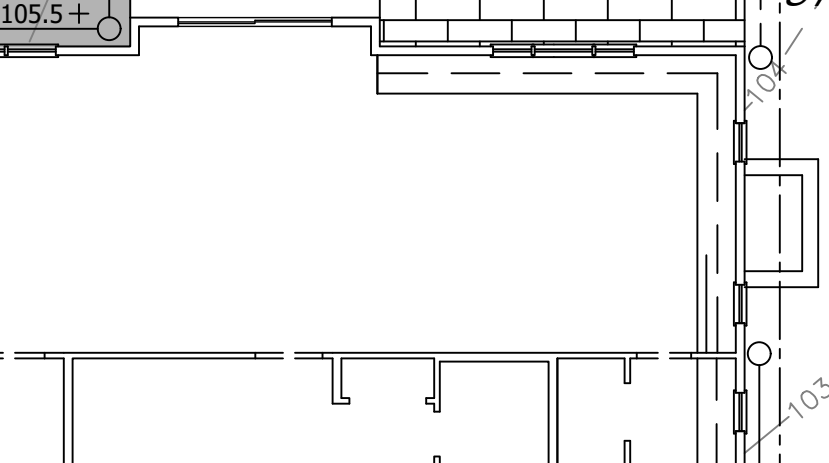


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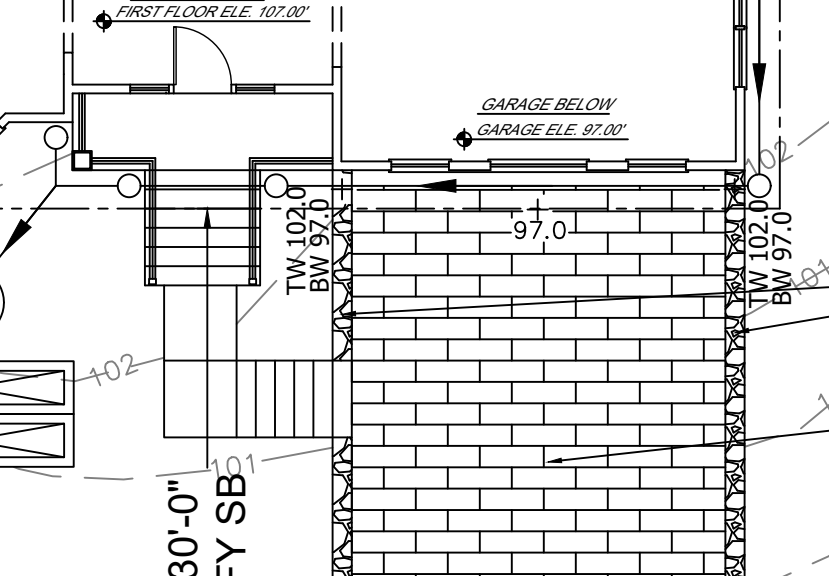
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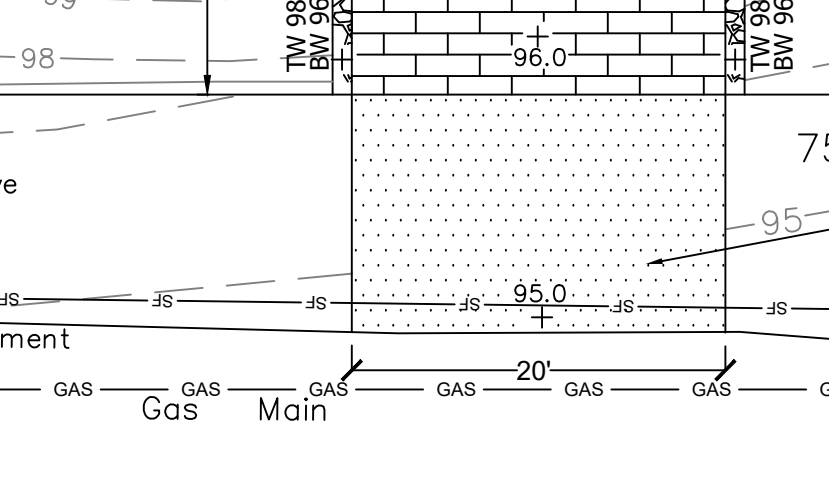
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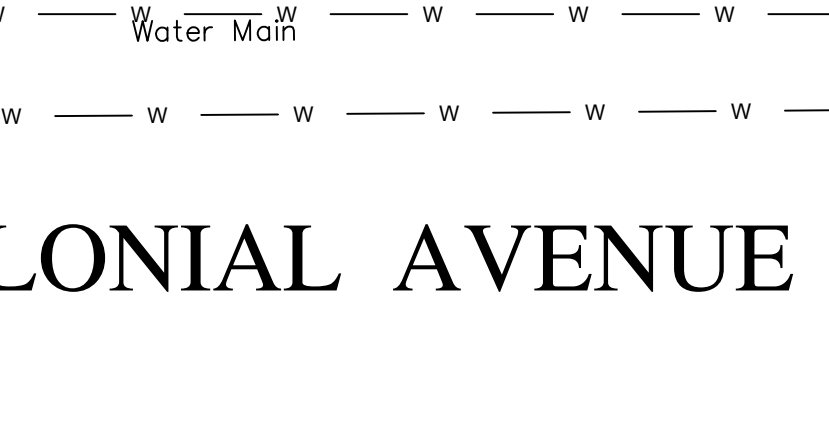
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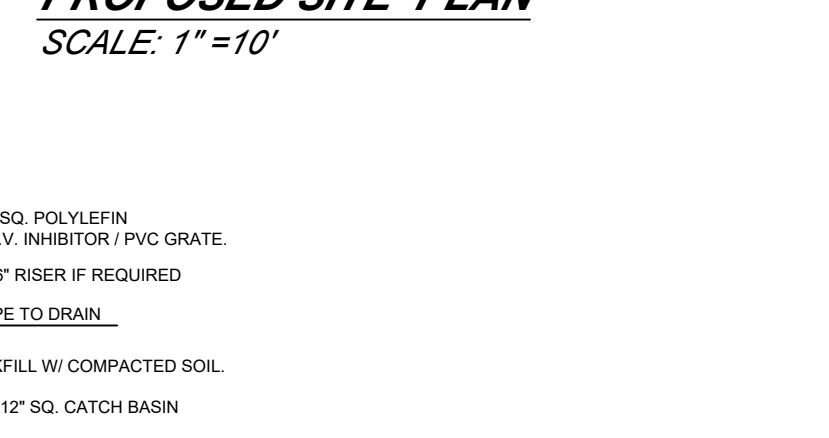
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PROPOSED ROCK REMOVAL  
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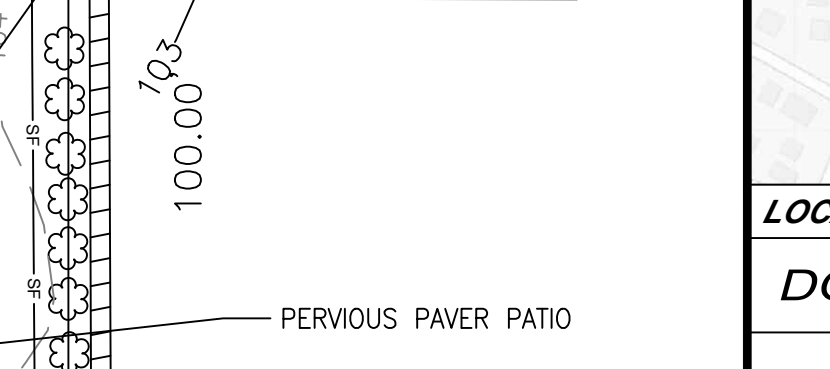


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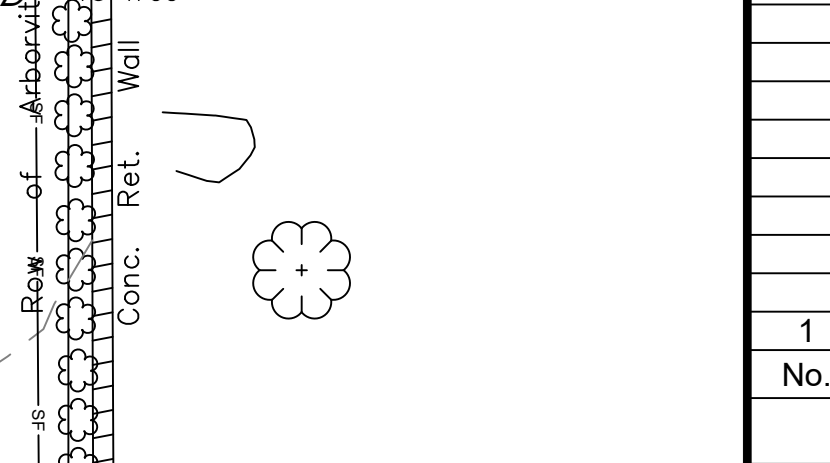


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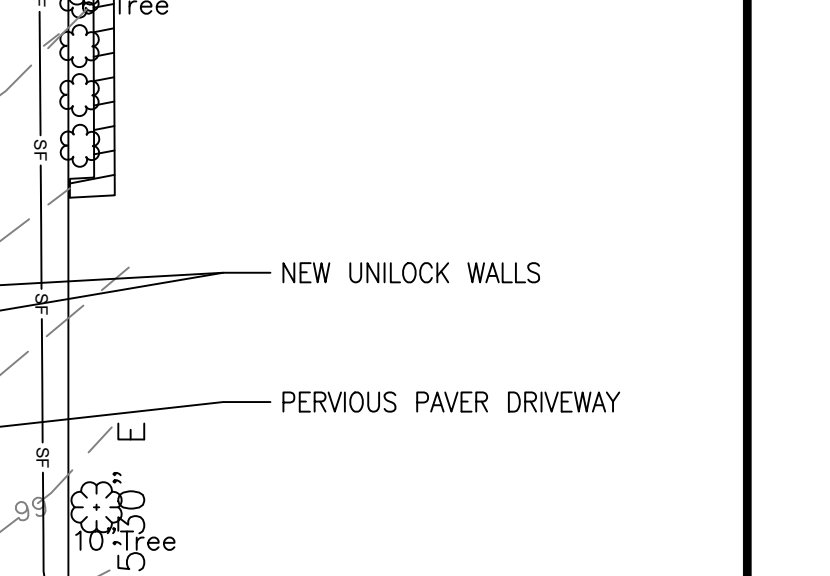
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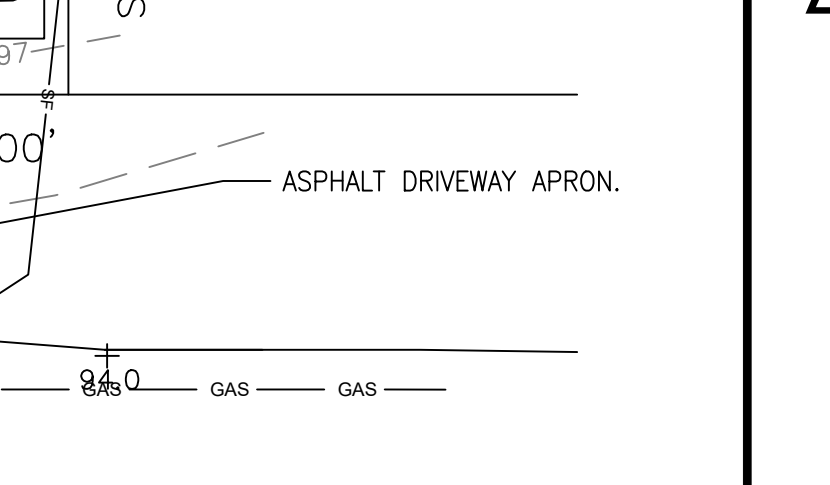
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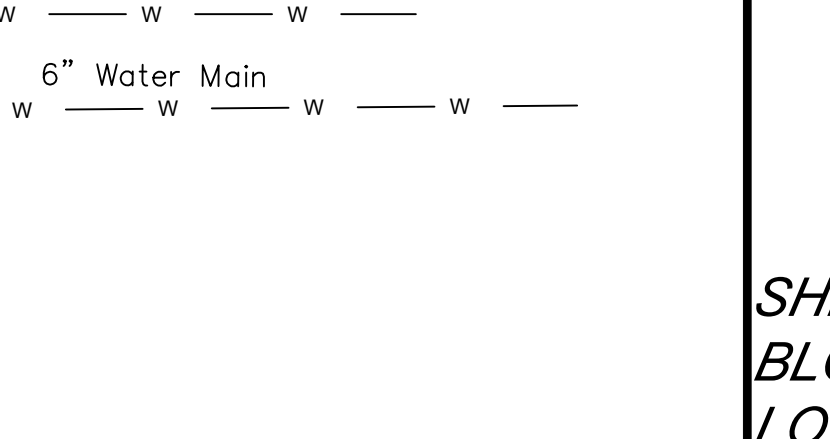
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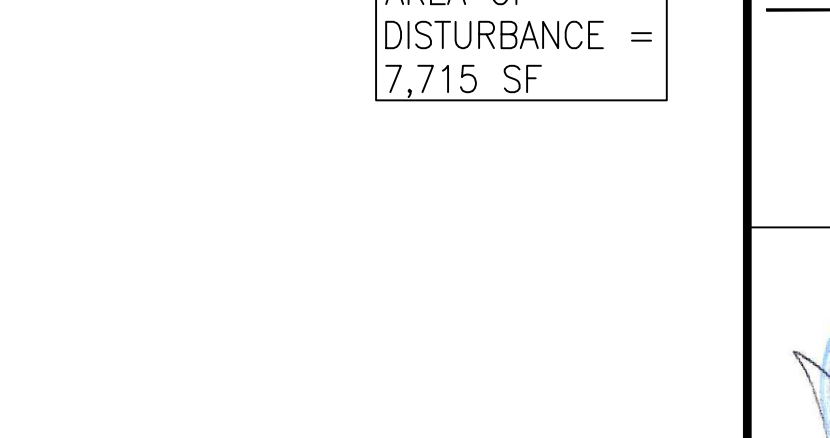
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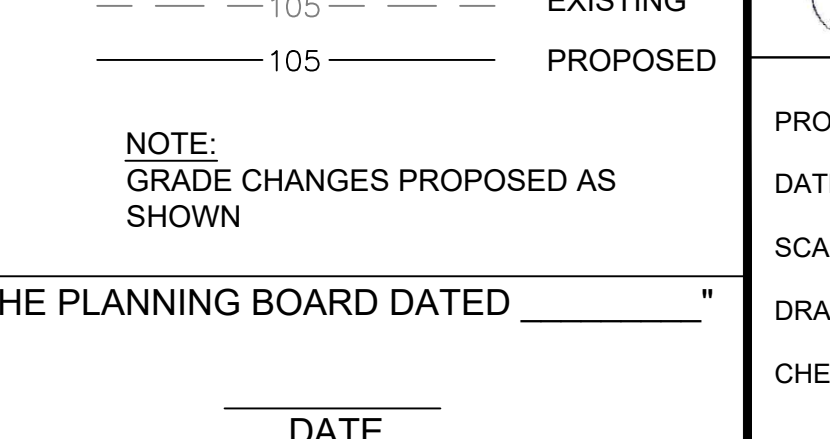
INLET PROTECTION  
SCALE : NOT TO SCALE



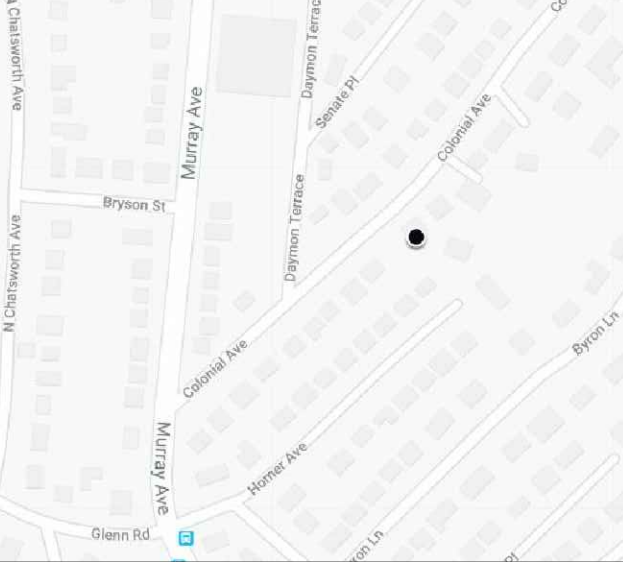
PROPOSED ROCK REMOVAL  
SCALE : NOT TO SCALE



METHODOLOGY OF ROCK REMOVAL  
SCALE : NOT TO SCALE



WATER QUALITY UNIT NDS SQUARE BASIN  
SCALE : NOT TO SCALE

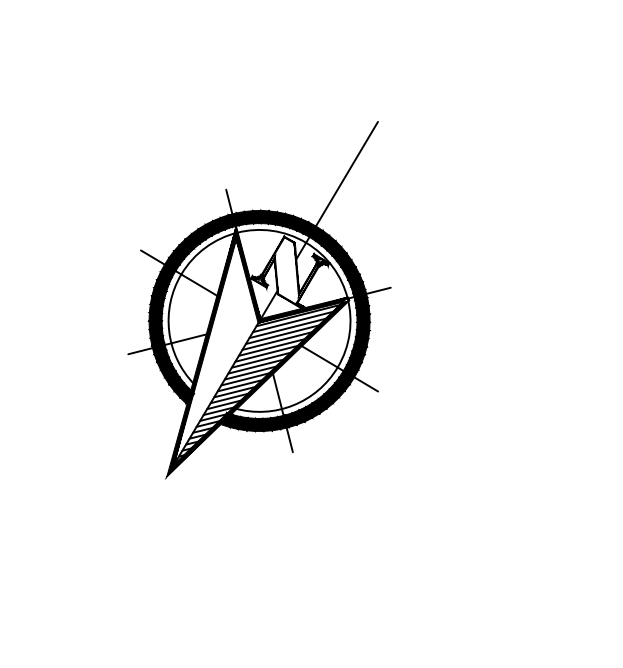


LOCATION MAP

DO NOT SCALE DRAWINGS

No.	DESCRIPTION	DATE
1	PEER REVIEW COMMENTS	05-11-2020

- REVISIONS -



## EROSION CONTROL AND SITE IMPROVEMENT PLAN FOR

COOPER LANE LLC RESIDENCE

32 COLONIAL AVENUE LARCHMONT NEW YORK 10538

SHEET: 1  
BLOCK: 20  
LOT: 269

Benedict A. Salanitro, P.E., PC

CIVIL ENGINEER

609 BROOK STREET Mamaroneck, New York 10543

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PROJECT No : 030820  
DATE : 03-08-20  
SCALE : AS NOTED  
DRAWN BY : V.S.  
CHECKED BY : B.S.

SHEET No  
**ER-2**

## COLONIAL AVENUE

### PROPOSED SITE PLAN SCALE: 1"=10'

AREA OF DISTURBANCE = 7,715 SF



NOTE: GRADE CHANGES PROPOSED AS SHOWN

"APPROVED BY RESOLUTION OF THE PLANNING BOARD DATED \_\_\_\_\_"

APPROVED BY TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_